

N:\c03519 - Summerfield Keenesburg East\Drawings\Sketch Plan\CoverDetails\3519 COVER DETS.dwg, 9/8/2021 11:34:57 AM, Jake Jackson

PARCEL DESCRIPTION:
(PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY DEED RECORDED ON 09/11/2013 AT REC. NO. 3963031
PARCEL 1:
LOT 2, SLOAN MINOR SUBDIVISION, COUNTY OF WELD, STATE OF COLORADO
HORIZONTAL DATUM:
COORDINATE VALUES AND DISTANCES SHOWN HEREON ARE MODIFIED COLORADO STATE PLANE, NORTH ZONE, NORTH AMERICAN DATUM 1983 [NAD83(2011)]. SCALED FROM A LATITUDE N40°06'14.24797", LONGITUDE W104°31'33.09681", AT AN ELLIPSOID HEIGHT OF 4896.84' WITH A COMBINED SCALE FACTOR OF 1.0002735867.
VERTICAL DATUM:
NAVD 88. VERTICAL CONTROL BASED ON A GPS DERIVED ELEVATION, ESTABLISHED AT AN ONSITE BENCHMARK NEAR THE MIDDLE OF THE SITE, BEING A FOUND #6 REBAR WITH 2-1/2" ALUMINUM CAL MARKED "AMERICAN WEST LS 37971, WC 50, E1/16, S26, S35, 2013, WITH AN ELEVATION OF 4899.02 FEET. A CHECK SHOT, 0.1+/-, WAS TAKEN ON NGS POINT K62, BEING AN NGS DISK, MARKED "K 962 1934", IN TOP OF CONCRETE MONUMENT, WITH A PUBLISHED ELEVATION OF 4953.71 FEET (NAVD88). NO DIFFERENTIAL LEVELING WAS PERFORMED TO ESTABLISH THIS ELEVATION.

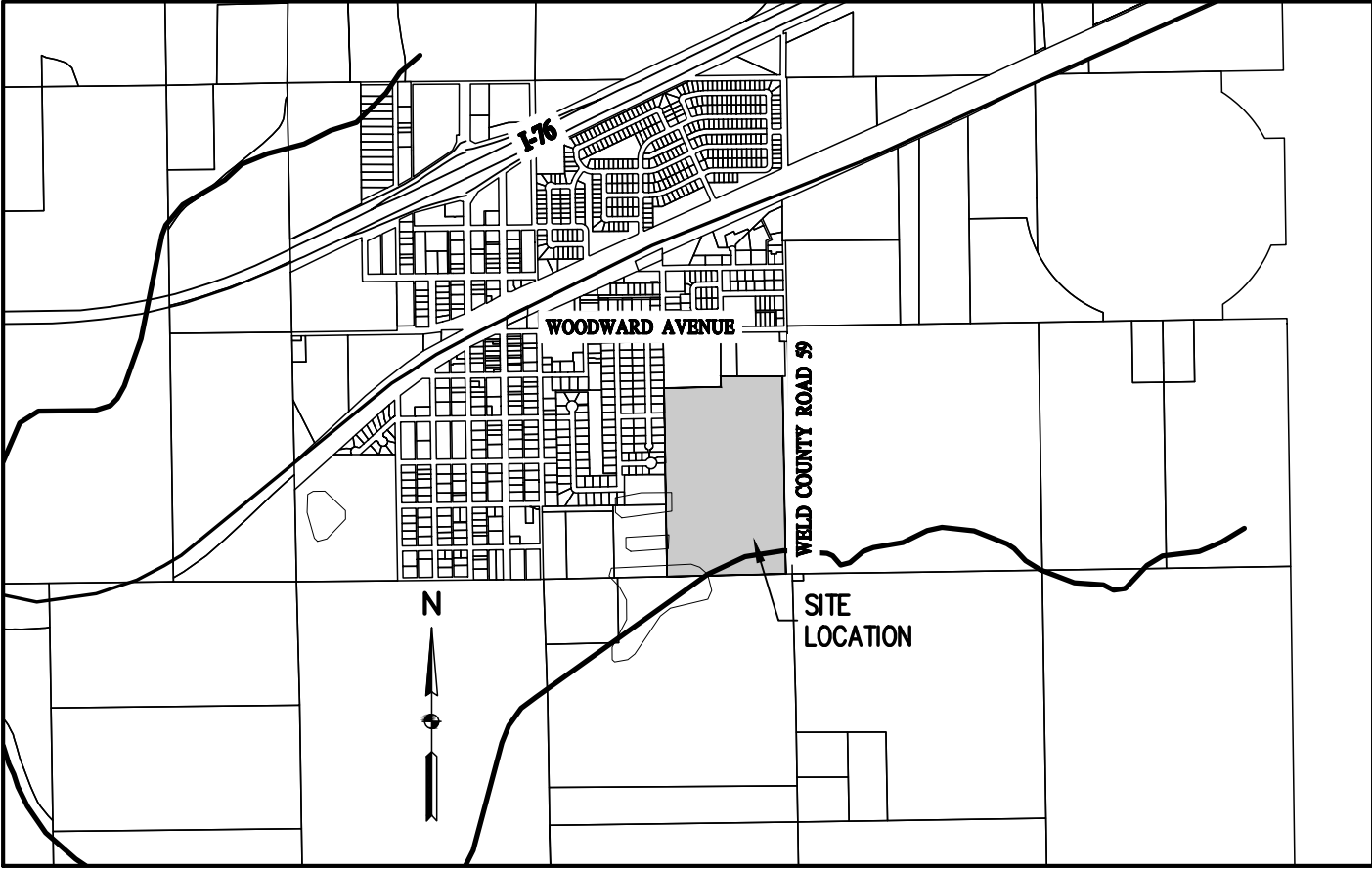
SKETCH PLAN

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26,

TOWNSHIP 2 NORTH, RANGE 64 WEST OF THE 6TH P.M.,

COUNTY OF WELD, STATE OF COLORADO

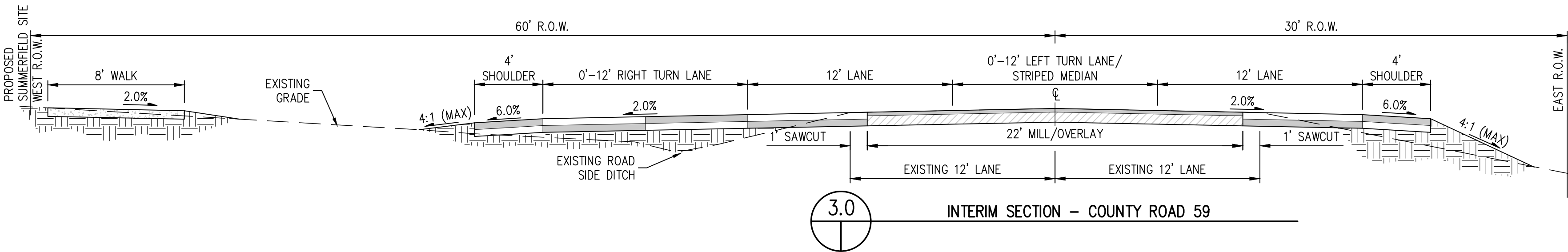
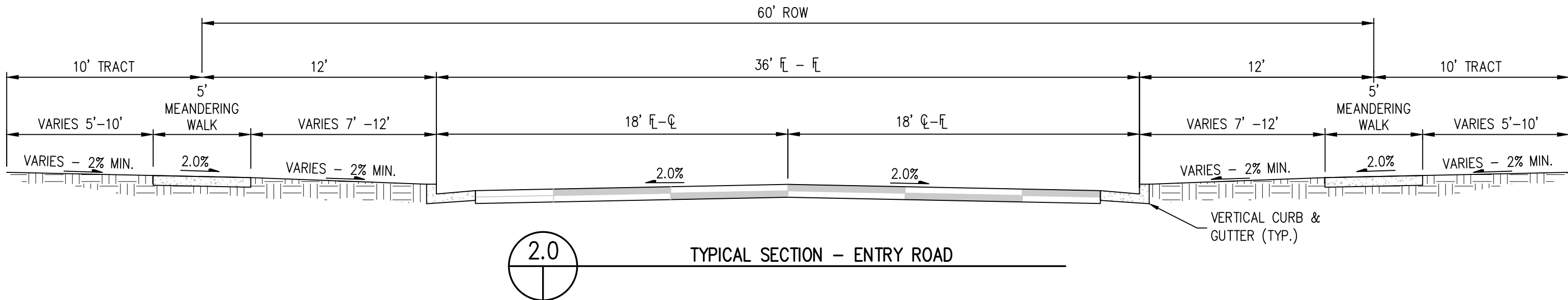
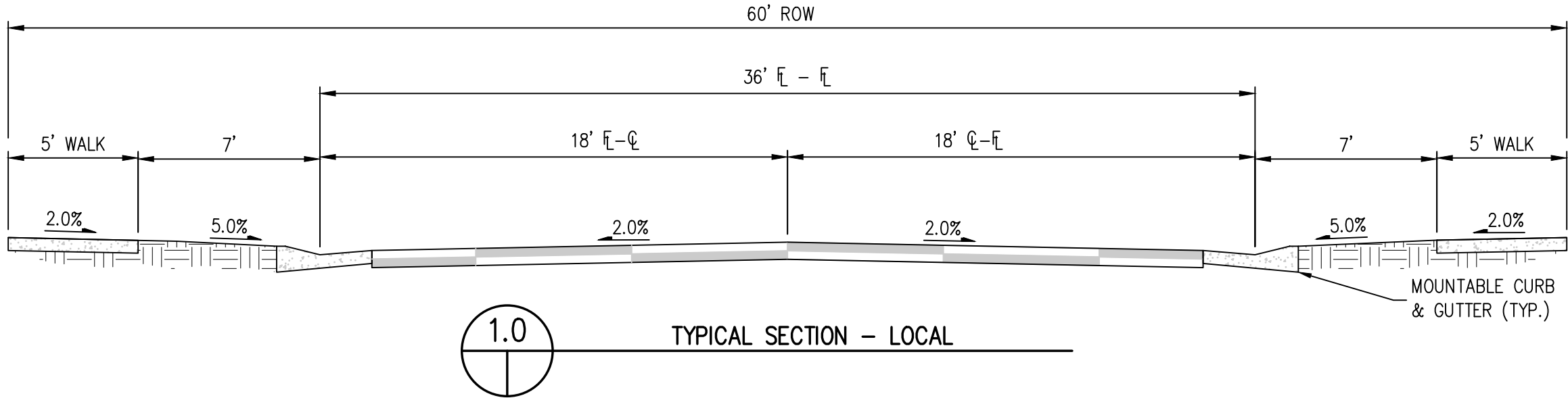
SUMMERFIELD



VICINITY MAP

SCALE: 1" = 2000

INDEX OF SHEETS		
SHEET NO.	SHEET DESCRIPTION	SHEET TITLE
01	CV01	COVER SHEET
02	EX01	EXISTING CONDITIONS & DEMOLITION PLAN
03	SP01	SITE PLAN
04	UT01	OVERALL UTILITY
05	GD01	OVERALL GRADING
06	DR01	EXISTING DRAINAGE PLAN
07	DR02	PROPOSED DRAINAGE
08	LS01	LANDSCAPING & TRAILS PLAN
09	LS02	LANDSCAPING DETAILS
10	DT01	SITE DETAILS
11	EL01	ELEVATIONS



CONTACTS:

MUNICIPALITY
TOWN OF KEENESBURG
91 W. BROADWAY AVENUE
KEENESBURG, CO 80643
TELEPHONE: (303) 732-4281

OWNER/APPLICANT:
MSP INVESTMENT CO, LLP
SUITE 940 NORTH TOWER
720 S. COLORADO BLVD.
DENVER, CO 80246
TELEPHONE: (303)399-9804
EMAIL: MARCUS@MSPCOMPANIES.COM
CONTACT: MARCUS PALKOWITSH

PLANNING, CIVIL ENGINEER, & LANDSCAPE ARCHITECTURE
BASELINE ENGINEERING
112 N. RUBEY DRIVE, #210
GOLDEN, CO 80403
TELEPHONE: (303) 940-9966
CONTACTS:
PLANNING - JESSIE STONBERG
ENGINEERING - MICHAEL LUJAN
LANDSCAPE ARCHITECTURE - JESSIE STONBERG

FIRE DISTRICT
SOUTHEAST WELD FIRE PROTECTION DISTRICT
95 W BROADWAY STREET
KEENESBURG, CO 80643
TELEPHONE: (303) 732-4203
CONTACTS: THOMAS BEACH

WATER & SANITATION DISTRICT
TOWN OF KEENESBURG
91 W BROADWAY AVENUE
KEENESBURG, CO 80643
TELEPHONE: (303) 732-4281



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DRAWN BY: MBR
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DATE: _____

PREPARED BY: _____

REVISION DESCRIPTION: _____

WELD COUNTY

SUMMERFIELD
SKETCH PLAN
COVER SHEET

TOWN OF KEENESBURG

PREPARED UNDER THE DIRECT SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 09/08/2021
DRAWING SIZE 24" X 36"
SURVEY FIRM FLATIRON SURVEY DATE 05/06/2021
JOB NO. C03519
DRAWING NAME 3519 COVER DETS.dwg
SHEET 01 OF 11

CV01



N: \\c03519 - Summerfield Keenesburg East\\Drawings\\Sketch Plan\\Existing\\3519 EXISTING CONDITIONS.dwg, 9/8/2021 11:35:17 AM, Jake Jackson

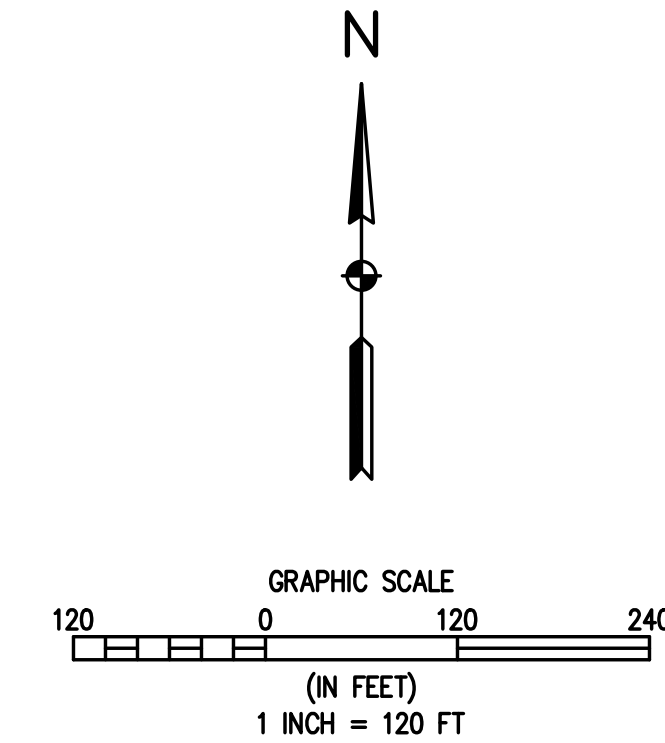
- LEGEND**
- PROPERTY BOUNDARY
 - SECTION LINE
 - MINOR CONTOUR (2' INTERVAL)
 - MAJOR CONTOUR (10' INTERVAL)
 - RIGHT-OF-WAY
 - LOT LINE
 - EASEMENT
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - CURB AND GUTTER
 - CHAINLINK FENCE
 - WATER LINE
 - SANITARY SEWER
 - FORCE MAIN
 - FLOODPLAIN
 - WETLANDS

SYMBOLS LEGEND

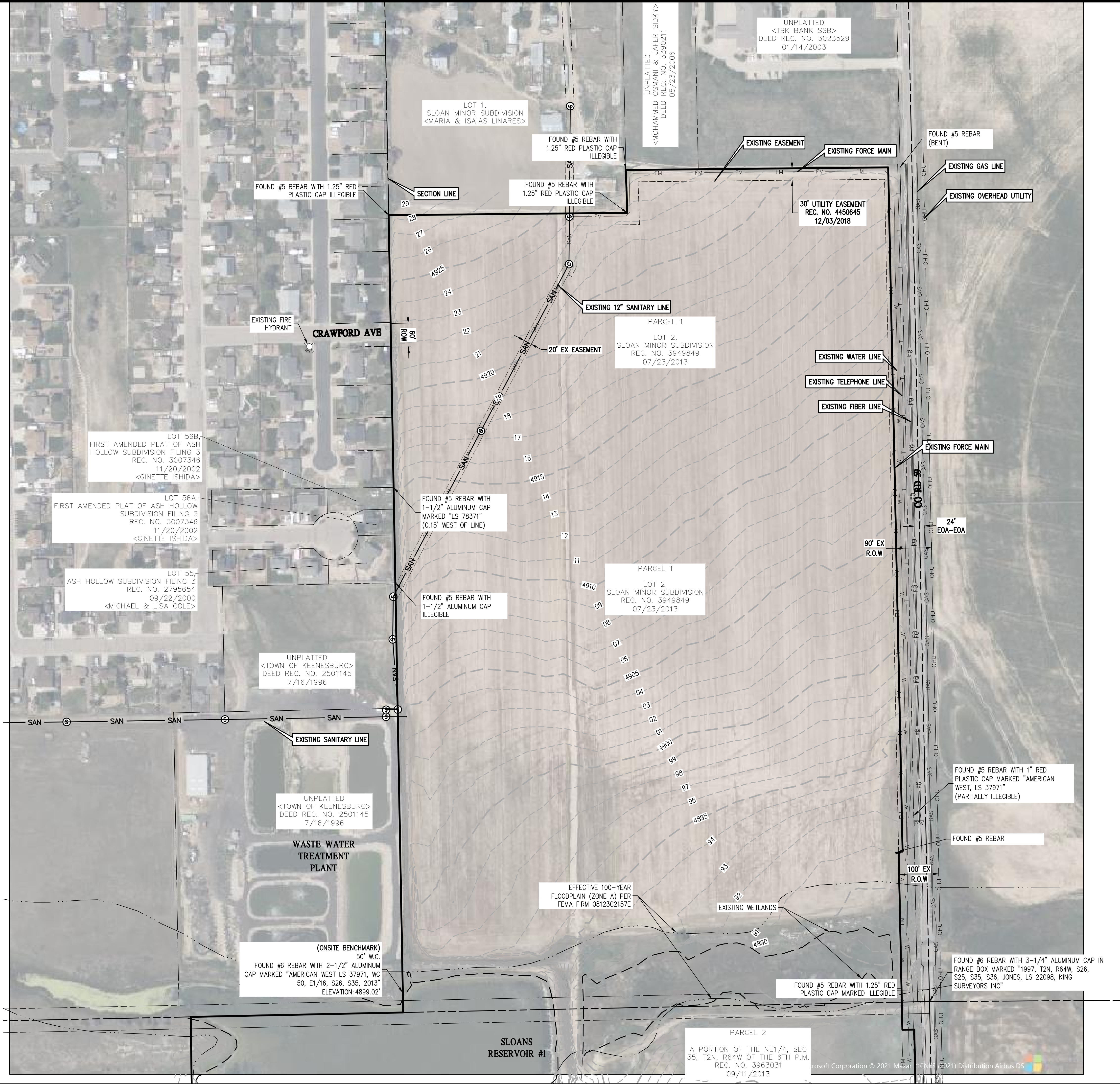
- SANITARY MANHOLE
- FIRE HYDRANT

NOTES:

1. IT IS THE OWNER AND/OR THE CONTRACTORS RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE TOWN OF KEENESBURG RESPECTIVELY.



1 EXISTING CONDITIONS & DEMOLITION PLAN
EX01 EX01



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MSP INVESTMENT CO., LLP
SUMMERFIELD
SKETCH PLAN
EXISTING CONDITIONS & DEMOLITION PLAN
TOWN OF KEENESBURG
WELD COUNTY

PREPARED UNDER THE DIRECT SUPERVISION OF
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FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL 09/08/2021
DRAWING SIZE 24" X 36"
SURVEY FIRM FLATIRON SURVEY DATE 05/06/2021
JOB NO. C03519
DRAWING NAME 3519 EXISTING CONDITIONS.dwg
SHEET 02 OF 11
EX01

N:\co3519 - Summerfield Keenesburg East\Drawings\Sketch Plan\3519 Site Plan.dwg, 9/8/2021 11:35:36 AM, Luke Jackson

LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
		PROPERTY BOUNDARY
		RIGHT-OF-WAY
		LOT LINE
		EASEMENT
		BUILDING SETBACK
		EDGE OF ASPHALT
		EDGE OF GRAVEL
		CURB AND GUTTER (SPILL/CATCH)
		FLOODPLAIN
		WETLANDS

EXISTING PROPOSED
SYMBOLS SYMBOLS

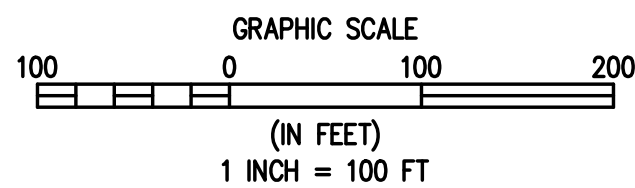
	150' X 70' LOTS
	120' X 50' LOTS
	115' X 50' LOTS
	110' X 50' LOTS
	110' X 60' LOTS
	OPEN SPACE/PARKS
	TRAILS/SIDEWALKS
	ASPHALT ROADWAY
	MULTI-FAMILY

LAND USE

COVERAGE	AREA (ACRES)	PERCENT TOTAL
OPEN SPACE, PARKS, TRAILS	14.81	24.22%
PROPOSED RIGHT-OF-WAY	10.58	17.30%
MULTI-FAMILY	6.61	10.81%
50'x110' LOTS	8.47	13.85%
50'x120' LOTS	7.28	11.91%
60'x110' LOTS	6.94	11.35%
50'x115' LOTS	3.31	5.41%
70'x150' LOTS	1.96	3.21%
30' ADDITION ROW DEDICATED FOR CO RD-59	1.18	1.93%
OVERALL SITE AREA	61.14	100.00%

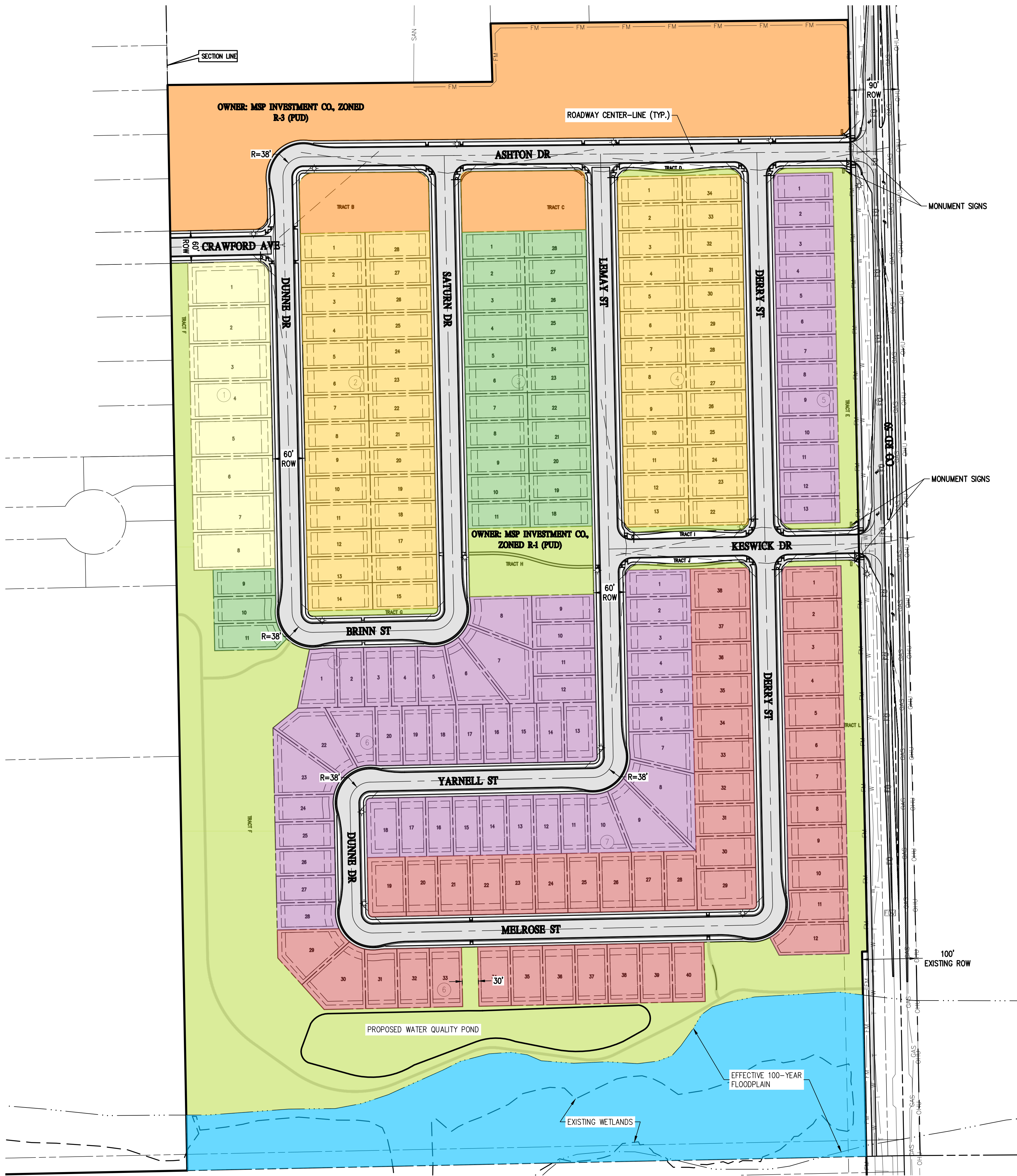
LOT SUMMARY

LOT TYPE	NUMBER OF SINGLE FAMILY LOTS
50'x110' LOTS	59
50'x120' LOTS	54
60'x110' LOTS	44
50'x115' LOTS	25
70'x150' LOTS	8
TOTAL	190



1
SP01 SP01

SITE PLAN



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PREPARED BY

REVISION DESCRIPTION

MSP INVESTMENT CO., LLP

WELD COUNTY

SUMMERFIELD
SKETCH PLAN
SITE PLAN

PREPARED UNDER THE DIRECT SUPERVISION OF

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FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 09/08/2021

DRAWING SIZE 24" X 36"

SURVEY FIRM SURVEY DATE
FLATIRON 05/06/2021

JOB NO. C03519

DRAWING NAME
3519 Site Plan.dwg

SHEET 03 OF 11

SP01

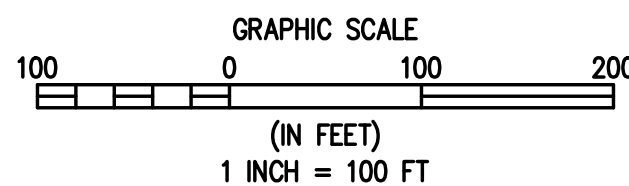
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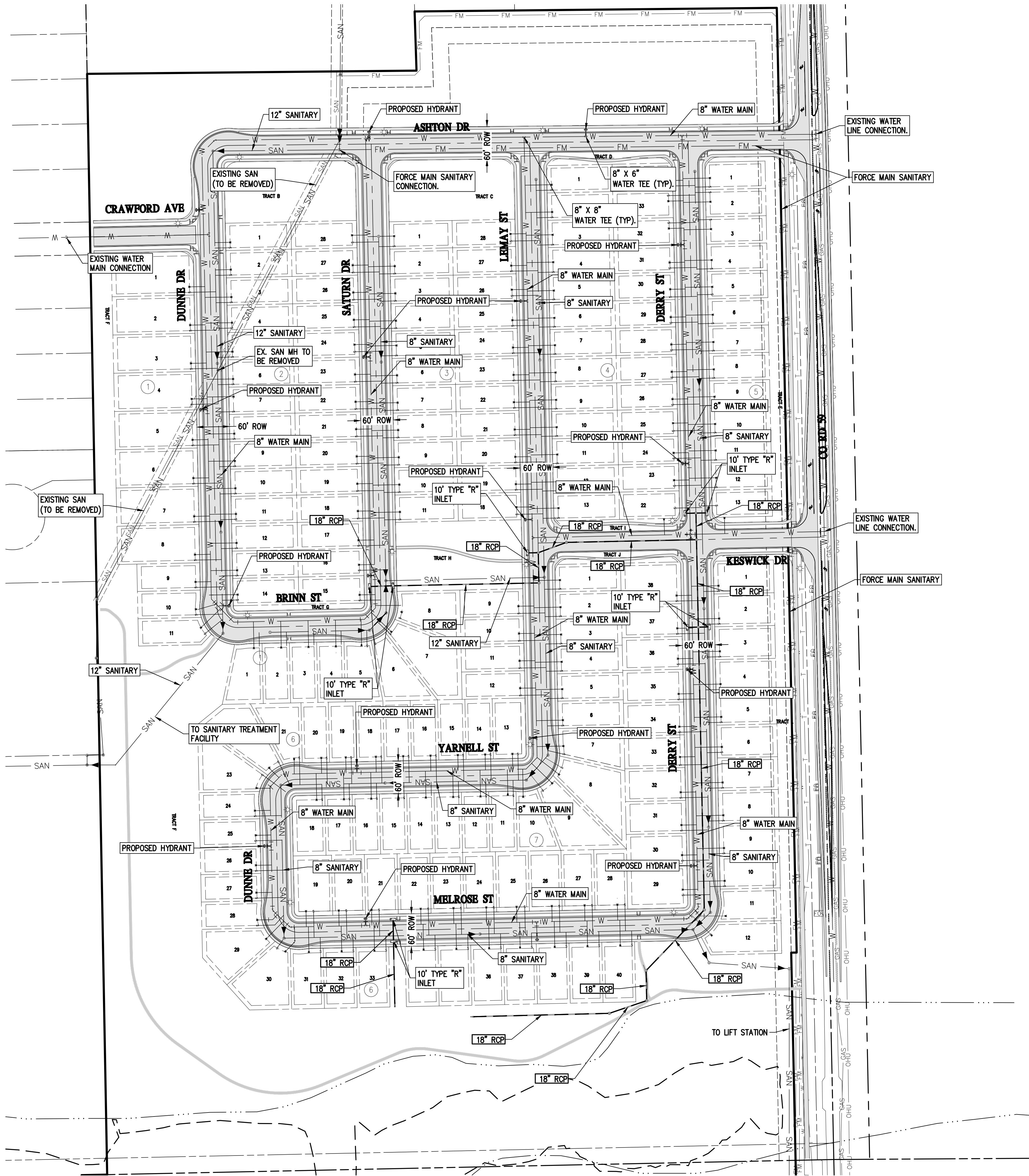
EXISTING LINETYPES	PROPOSED LINETYPES	
		PROPERTY BOUNDARY
		RIGHT-OF-WAY
		LOT LINE
		EASEMENT
		EDGE OF ASPHALT
		EDGE OF GRAVEL
		CURB AND GUTTER (SPILL/CATCH)
		WATER LINE
		WATER SERVICE
		SANITARY SEWER MAIN
		SANITARY SEWER SERVICE
		FORCE MAIN
		STORM SEWER

EXISTING SYMBOLS	PROPOSED SYMBOLS	
		SANITARY MANHOLE
		WATER VALVE
		WATER METER
		FIRE HYDRANT
		WATER MANHOLE
		WATER BEND
		WATER TEE AND CROSSING
		CURB STOP
		LIGHT POLE
		TYPE "R" INLET
		STORM DRAIN MANHOLE

- NOTES:
1. ALL PROPOSED WATER LINES SHALL HAVE 4.5' MINIMUM COVER.
 2. ALL WATER PIPES SHALL BE CLASS C-900 PVC. MAINS SHALL BE 8" DIAMETER, FIRE HYDRANT LATERALS SHALL BE 6".
 3. ALL PROPOSED WATER SERVICE LINE PIPES SHALL BE POLY MATERIAL (PRESSURE RATED TO 150 PSI).
 4. ALL PROPOSED SANITARY LINES SHALL HAVE 4.0' MINIMUM COVER AT THE CONNECTION THE BUILDING AND AT CLEANOUTS.
 5. SANITARY SEWER LINES SHALL BE AS NOTED ON PLANS.
 6. DRY UTILITIES, ELECTRIC AND LIGHTING TO BE DESIGNED BY OTHERS.



1
UT01/UT01 OVERALL UTILITY



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MBR
CHECKED BY
IMLL

DATE
PREPARED BY

REVISION DESCRIPTION

MSP INVESTMENT CO., LLP
TOWN OF KEENESBURG
WELD COUNTY
SUMMERFIELD
SKETCH PLAN
OVERALL UTILITY

PREPARED UNDER THE DIRECT SUPERVISION OF

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FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL 09/08/2021
DRAWING SIZE 24" X 36"
SURVEY FIRM SURVEY DATE
FLATIRON 05/06/2021
JOB NO. C03519
DRAWING NAME
3519 UTILITY.dwg
SHEET 04 OF 11

UT01

N:\co3519 - Summerfield Keenesburg East\Drawings\Sketch Plan\Grading\3519 OVERALL GRADING.dwg, 9/8/2021 11:36:11 AM, Jake Jackson

LEGEND

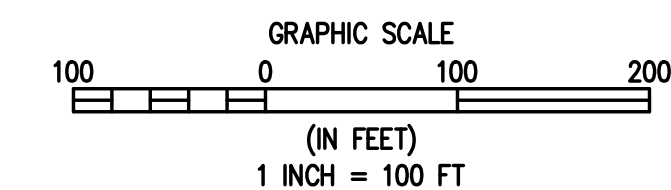
EXISTING LINETYPES	PROPOSED LINETYPES	
		PROPERTY BOUNDARY
		RIGHT-OF-WAY
		LOT LINE
		EASEMENT
		BUILDING SETBACK
		EDGE OF ASPHALT
		EDGE OF GRAVEL
		CURB AND GUTTER (SPILL/CATCH)
		DITCH FLOWLINE
		FLOODPLAIN
		WETLANDS

EXISTING SYMBOLS	PROPOSED SYMBOLS	
		NOMINAL SLOPE ON CUT OR FILL
		FLOW DIRECTION, TYPICALLY ON PAVED SURFACES
		ASPHALT PAVING - REFER TO SOILS REPORT FOR PAVING SECTION
		CONCRETE PAVING
		SIDEWALK PAVING

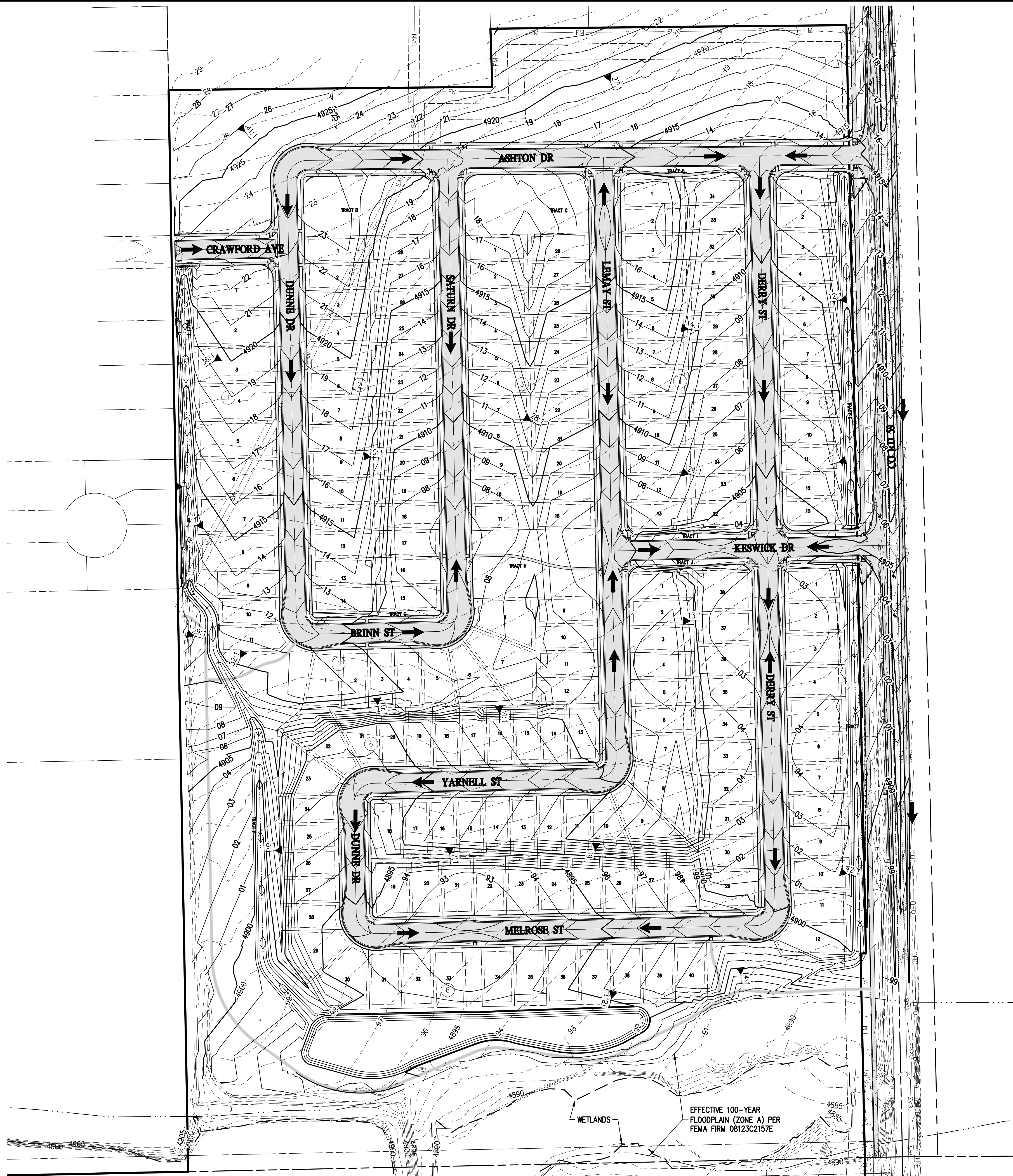
AREA OF DISTURBANCE = 58.86 ACRES

OVERLOT GRADING EARTHWORK SUMMARY	
SURFACE FILL	= +113,145 CU-YD
SURFACE CUT	= -109,095 CU-YD
NET	= +4,051 CU-YD (FILL)

- THE ABOVE EARTHWORK CALCULATIONS ARE AN ENGINEER'S ESTIMATE AND NOT TO BE USED FOR CONTRACTUAL OR BIDDING PURPOSES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN EARTHWORK ESTIMATE.
- EARTHWORK SUMMARY DOES NOT INCLUDE SHRINKAGE OF FILL MATERIAL.
- PAVEMENT AND HARDSCAPE AREAS ARE NOT ACCOUNTED FOR IN THIS ESTIMATE.
- FLOOD INSURANCE RATE MAP FOR WELD COUNTY, COMMUNITY PANEL MAP NO. 08123C2157E, EFFECTIVE DATE JANUARY 20TH, 2016. THE SITE IS LOCATED ADJACENT TO A ZONE A REGULATORY FLOODPLAIN.



1
GD01 GD01 OVERALL GRADING



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DATE	
PREPARED BY	

REVISION	DESCRIPTION

MSP INVESTMENT CO., LLP	WELD COUNTY
SUMMERFIELD	
SKETCH PLAN	
OVERALL GRADING	

TOWN OF KEENESBURG	
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FOR AND ON BEHALF OF	BASELINE CORPORATION
INITIAL SUBMITTAL	09/08/2021
DRAWING SIZE	24" X 36"
SURVEY FIRM	SURVEY DATE
FLATIRON	05/06/2021
JOB NO.	C03519
DRAWING NAME	3519 OVERALL GRADING.dwg
SHEET	05 OF 11

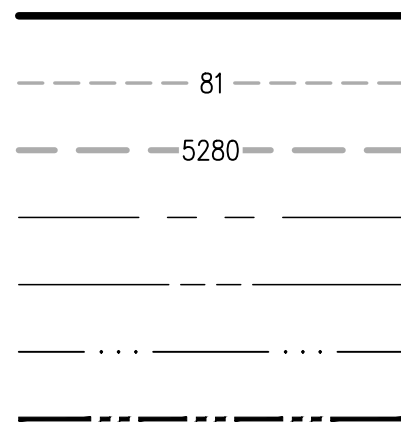
GD01

N:\co3519 - Summerfield Keenesburg East\Drawings\Drainage Maps\3519 Existing Drainage Map.dwg, 9/8/2021 11:36:34 AM, Luke Jackson

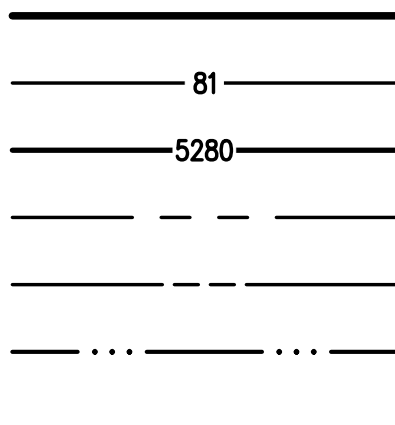


LEGEND

EXISTING LINETYPES



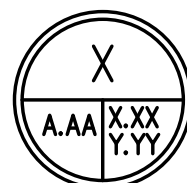
PROPOSED LINETYPES



- PROPERTY BOUNDARY
- MINOR CONTOUR (1' INTERVAL)
- MAJOR CONTOUR (5' INTERVAL)
- RIGHT-OF-WAY
- LOT LINE
- FLOODPLAIN
- DRAINAGE BASIN BOUNDARY

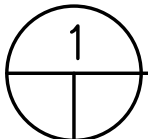
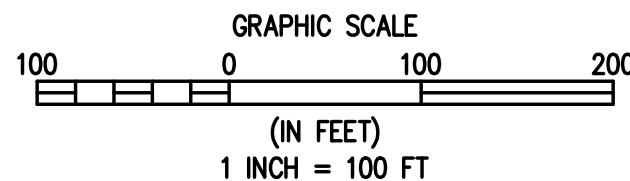
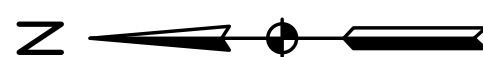


DESIGN POINT DESIGNATION



- X = BASIN ID
- A.AA = BASIN AREA (ACRES)
- X.XX = 100YR COEFFICIENT
- Y.YY = 5YR COEFFICIENT

BASIN LABEL	DESIGN POINT	AREA	% IMP	C5	C100	LOCAL (CFS)		NOTES
						Q5	Q100	
						0.03	2.65	
OS1	1	2.32	2	0.14	0.46	0.03	2.65	
OS2	2	11.4	2	0.14	0.46	0.18	15.11	
OS3	3	4.25	2	0.14	0.46	0.08	6.74	
OS4	4	1.20	2	0.14	0.46	0.02	2.05	
X1	5	76.8	2	0.14	0.46	1.16	95.97	HISTORIC ONSITE BASIN



EXISTING DRAINAGE PLAN



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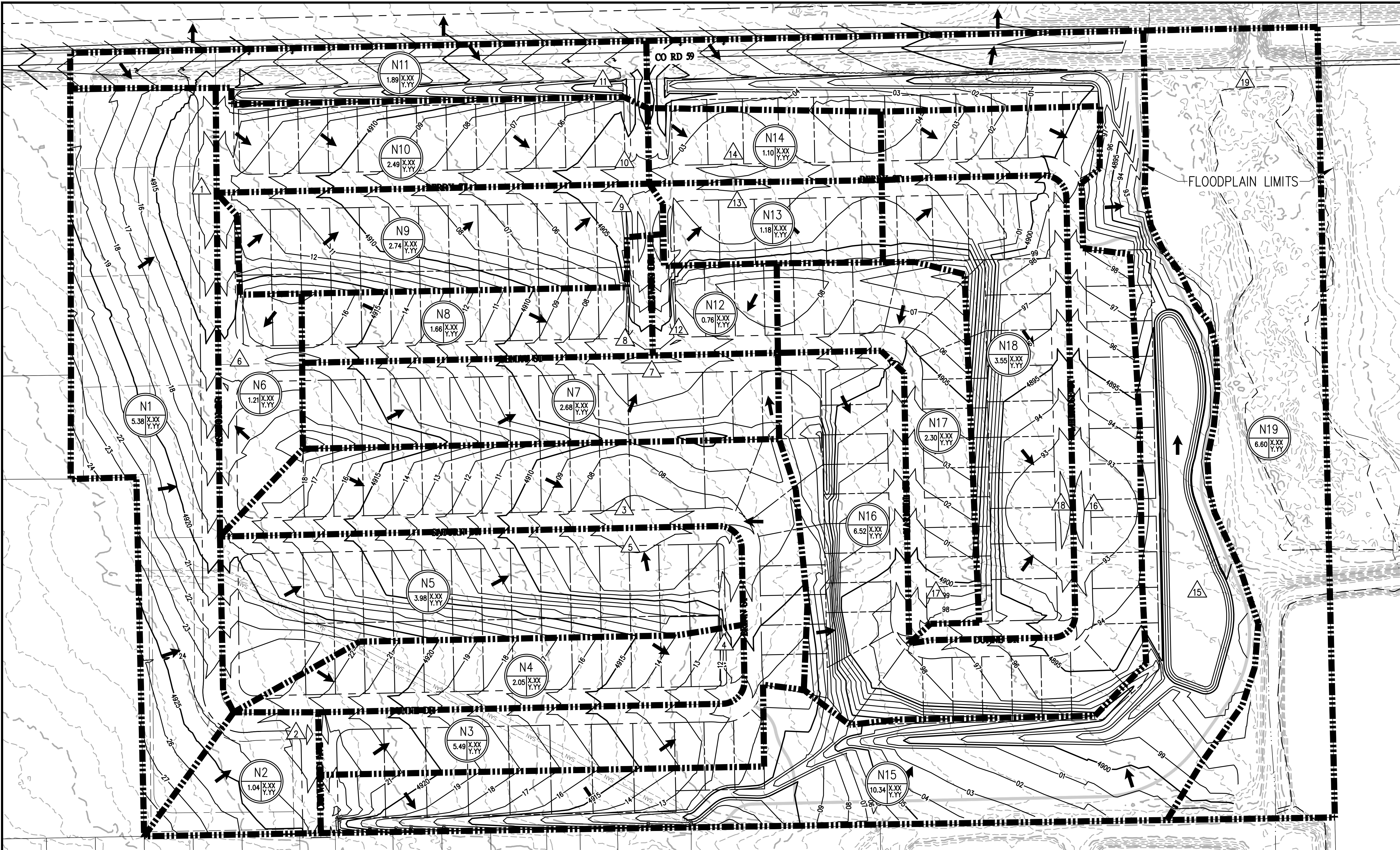
MSP INVESTMENT CO., LLP
TOWN OF KEENESBURG
WELD COUNTY
SUMMERFIELD
SKETCH PLAN
EXISTING DRAINAGE PLAN

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INITIAL SUBMITTAL 09/08/2021
DRAWING SIZE 24" X 36"
SURVEY FIRM FLATIRON SURVEY DATE 05/06/2021
JOB NO. C03519
DRAWING NAME 3519 Existing Drainage Map.dwg
SHEET 06 OF 11
DR01

N:\c03519 - Summerfield Keenesburg East\Drawings\Drainage Maps\3519 Proposed Drainage Map.dwg, 9/8/2021 11:37:03 AM, Jake Jackson



LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
81	81	PROPERTY BOUNDARY
5280	5280	MINOR CONTOUR (1' INTERVAL)
		MAJOR CONTOUR (5' INTERVAL)
		RIGHT-OF-WAY
		LOT LINE
		FLOODPLAIN
		DRAINAGE BASIN BOUNDARY



DESIGN FLOW DIRECTION



DESIGN POINT DESIGNATION

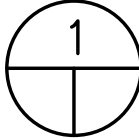
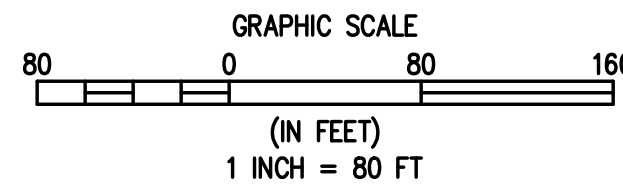


P = PROPOSED BASIN ID
A.A. = PROPOSED BASIN AREA (ACRES)
X.XX = PROPOSED 100YR COEFFICIENT
Y.YY = PROPOSED SYR COEFFICIENT

RUNOFF SUMMARY		
BASIN LABEL	DESIGN POINT	AREA
N1	1	5.38
N2	2	1.04
N3	3	5.49
N4	4	2.05
N5	5	3.98
N6	6	1.21
N7	7	2.68
N8	8	1.66
N9	9	2.74
N10	10	2.49
N11	11	1.89
N12	12	0.76
N13	13	1.18
N14	14	1.10
N15	15	10.34
N16	16	6.52
N17	17	2.30
N18	18	3.55
N19	19	6.60

NOTE:

BASINS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE



PROPOSED DRAINAGE PLAN



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DATE: _____
PREPARED BY: _____

REVISION DESCRIPTION: _____

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SUMMERFIELD
SKETCH PLAN
PRELIMINARY OVERALL DRAINAGE PLAN
TOWN OF KEENESBURG
WELD COUNTY

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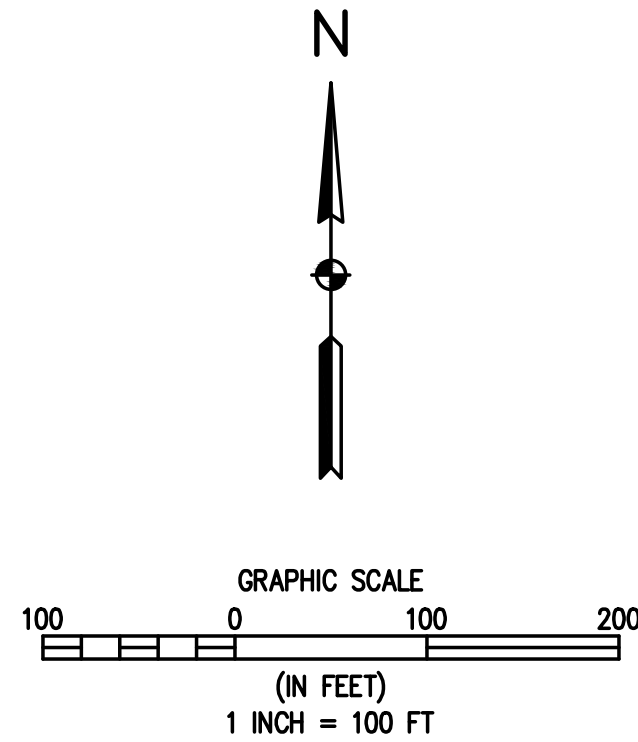
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FLATRONS 05/06/2021
JOB NO. C03519
DRAWING NAME
3519 Proposed Drainage Map.dwg
SHEET 07 OF 11
DR02

N:\co3519 - Summerfield Keenesburg East\Drawings\Sketch Plan\Landscape.dwg, 9/8/2021 11:48:22 AM, Jake Jackson

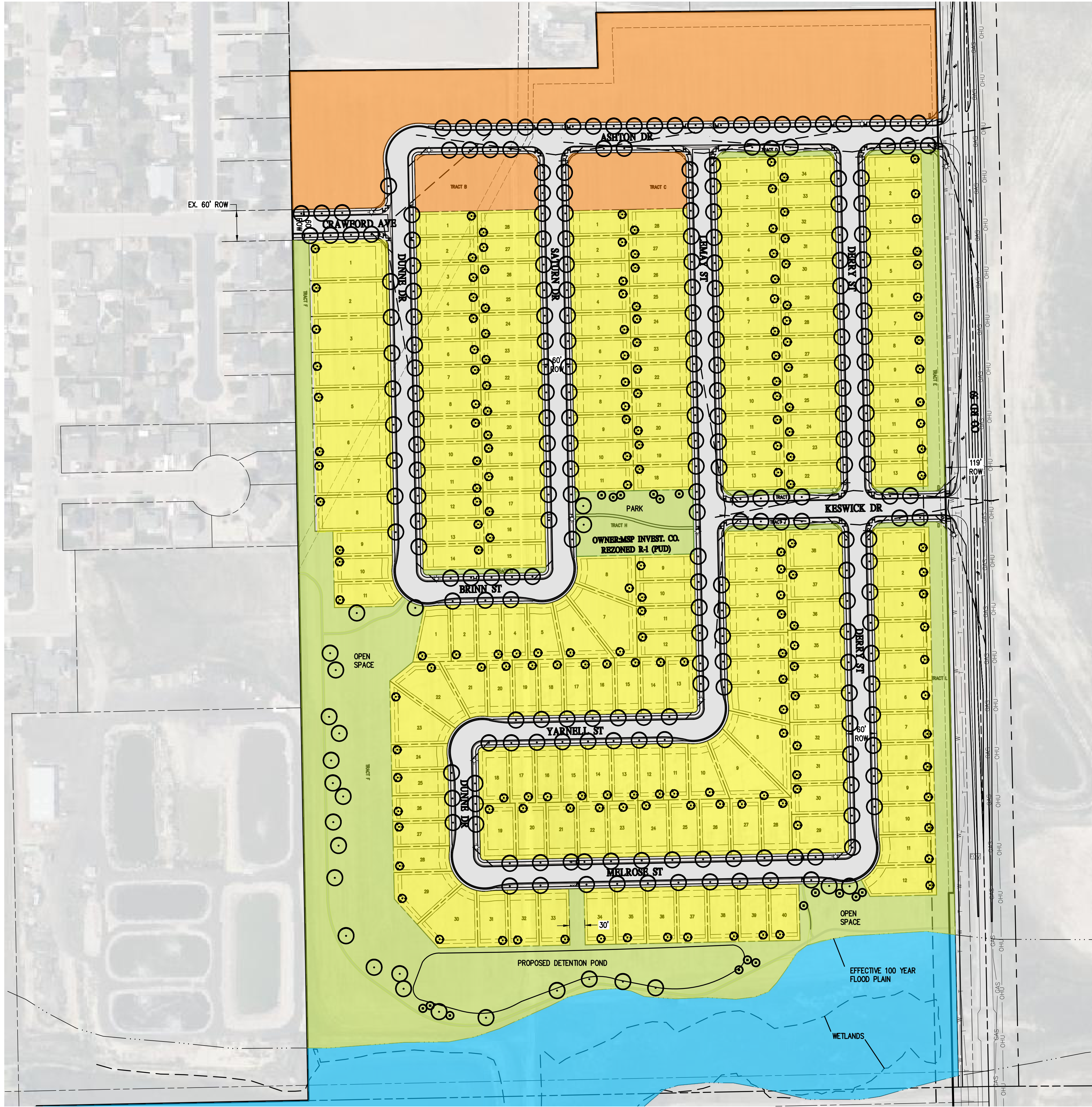
LEGEND:

		PROPERTY BOUNDARY
		RIGHT-OF-WAY
		LOT LINE
		EDGE OF ASPHALT
		CURB AND GUTTER (SPILL/CATCH)
		WETLANDS
		100 YEAR FLOOD PLAIN

	FLOOD_PLAIN
	ROW
	PARK / OPEN SPACE
	MULTI_FAMILY
	SINGLE_FAMILY
	DECIDUOUS CANOPY TREE
	EVERGREEN TREE
	BACKYARD ORNAMENTAL TREE



1 LANDSCAPING & TRAILS PLAN



BASELINE

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MLL

REVISION DESCRIPTION

DATE

PREPARED BY

MSP INVESTMENT CO., LLP

TOWN OF KEENESBURG

WELD COUNTY

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BASELINE CORPORATION

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DRAWING SIZE 24" X 36"

SURVEY FIRM SURVEY DATE
FLATIRON 05/06/2021

JOB NO. C03519

DRAWING NAME
3519 Landscape.dwg

SHEET 08 OF 11

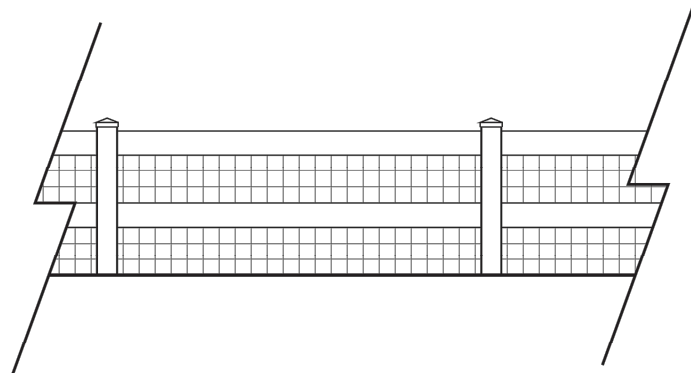
LS01

ENTRY MONUMENT- ELEVATION
SCALE= 1/4"= 1'-0"

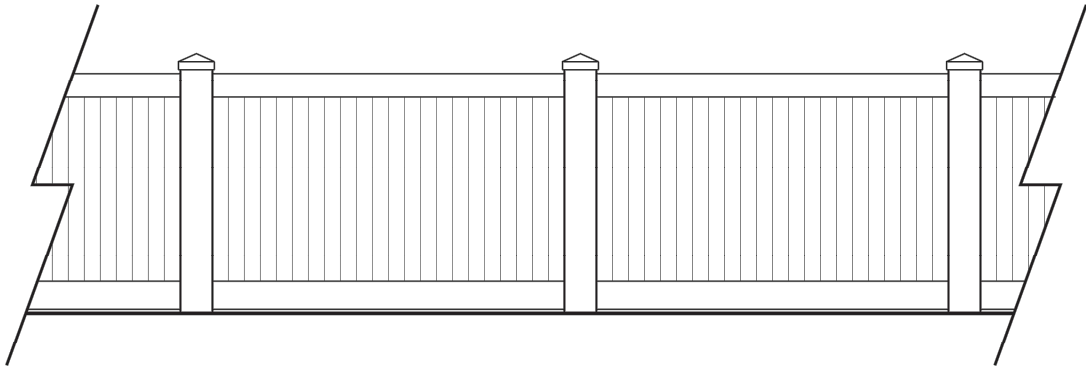


ENTRY COLUMN- ELEVATION
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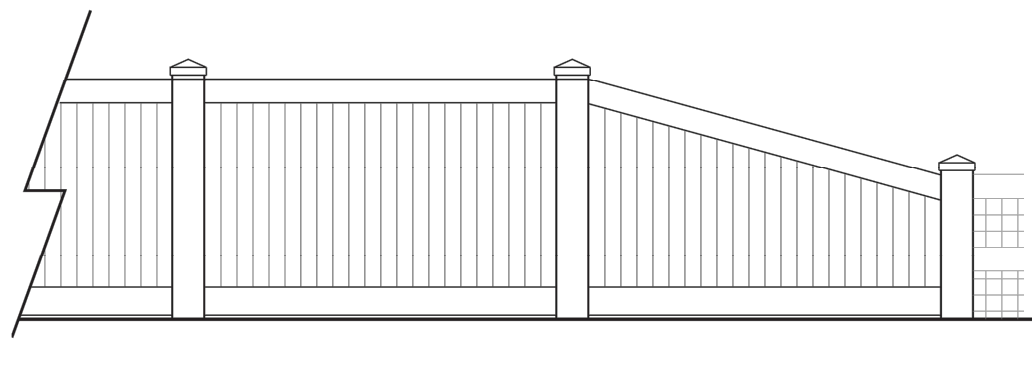
2- RAIL FENCE - ELEVATION
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PRIVACY FENCE - ELEVATION
SCALE= 1/4"= 1'-0"



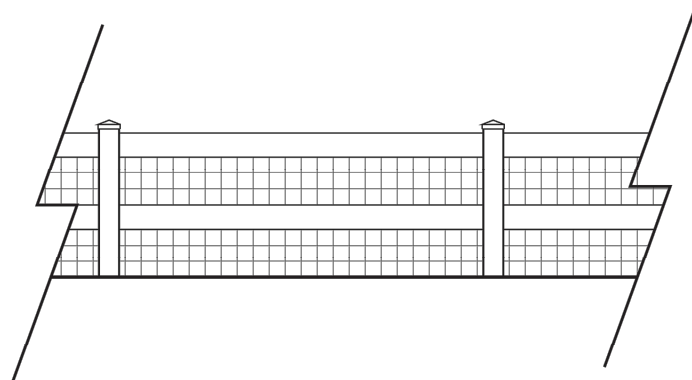
PRIVACY FENCE TRANSITION- ELEVATION
SCALE= 1/4"= 1'-0"



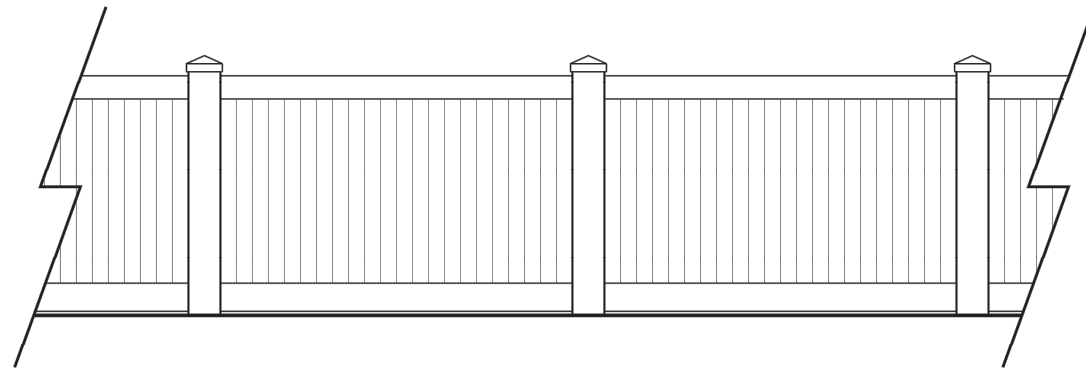
CONSILIUM DESIGN
LAND PLANNING | LANDSCAPE ARCHITECTURE | URBAN DESIGN

SUMMERFIELD | KEENESBURG, CO | ENTRY MONUMENT & FENCING 11/05/2020

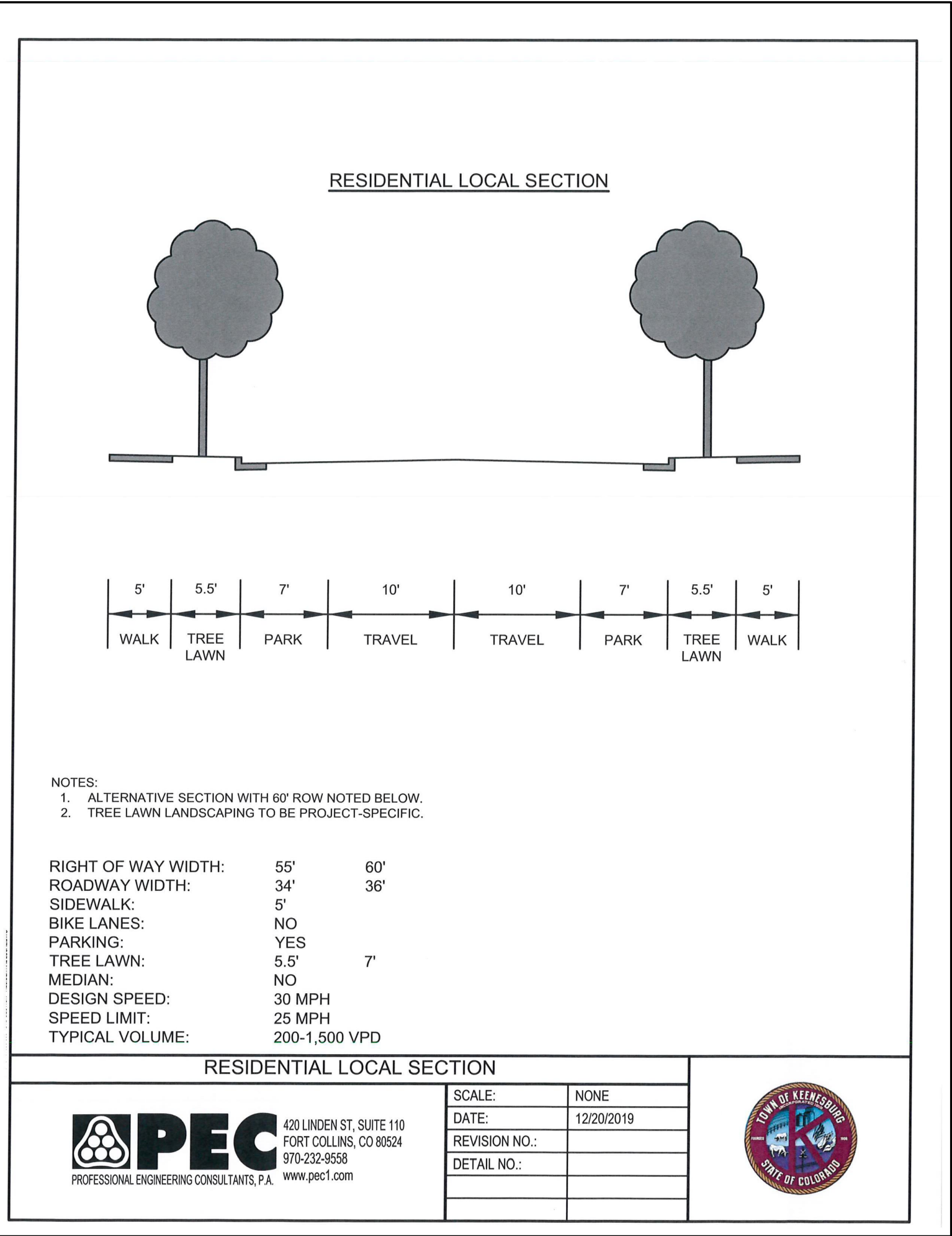
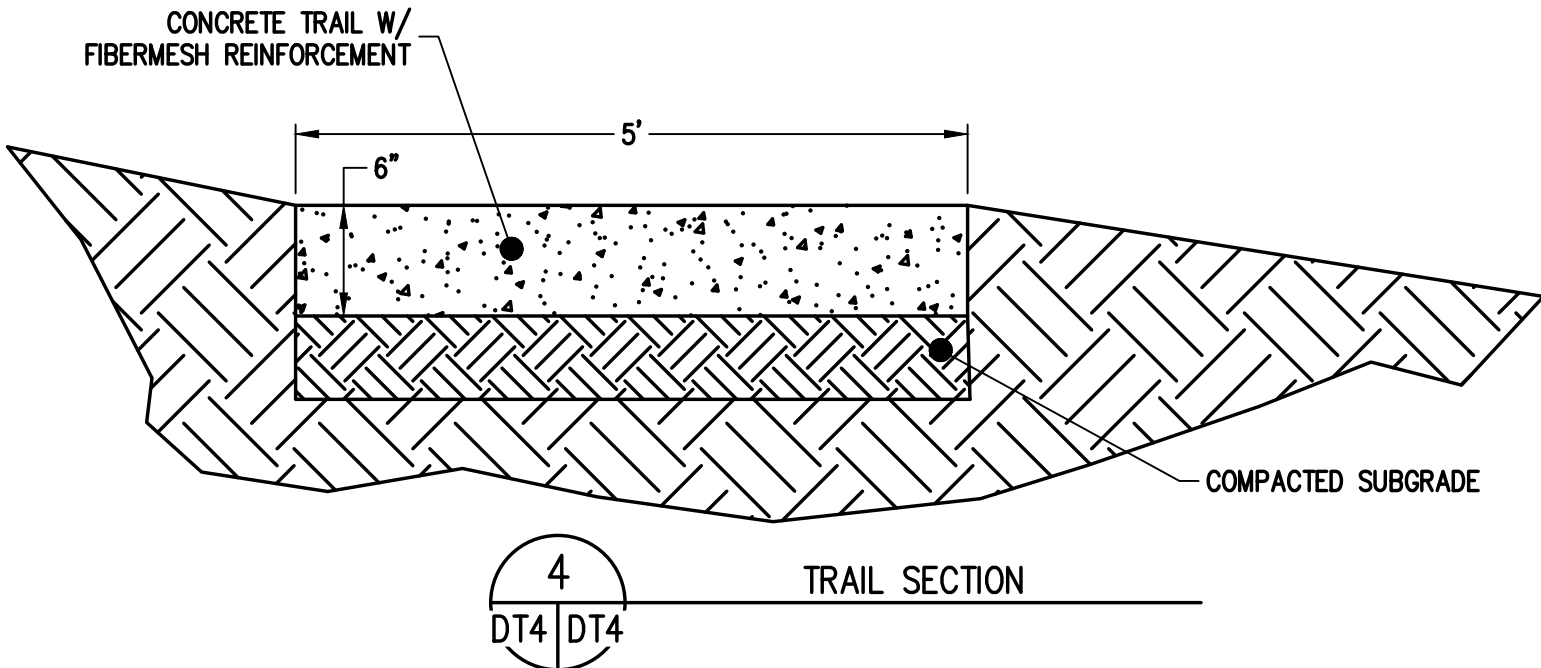
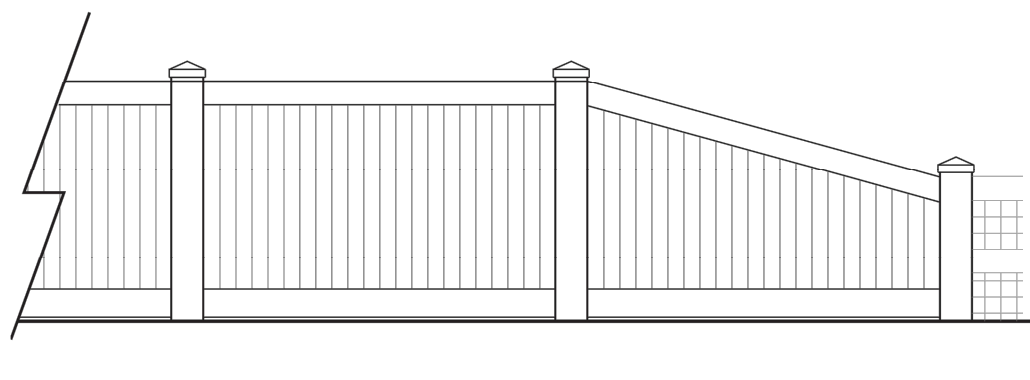
3' HEIGHT
2- RAIL FENCE - ELEVATION
SCALE= 1/4"= 1'-0"



5' HEIGHT
PRIVACY FENCE - ELEVATION
SCALE= 1/4"= 1'-0"



PRIVACY FENCE TRANSITION- ELEVATION
SCALE= 1/4"= 1'-0"



DESIGNED BY	DATE	PREPARED BY	REVISION	DESCRIPTION
MBR				
DRAWN BY				
MBR				
CHECKED BY				
IML				

MSP INVESTMENT CO., LLP	WELD COUNTY
SUMMERFIELD	
SKETCH PLAN	
SITE DETAILS	
TOWN OF KEENESBURG	
PREPARED UNDER THE DIRECT SUPERVISION OF	
PRELIMINARY NOT FOR CONSTRUCTION	
FOR AND ON BEHALF OF BASELINE CORPORATION	
INITIAL SUBMITTAL	09/08/2021
DRAWING SIZE	24" X 36"
SURVEY FIRM	SURVEY DATE
FLATIRON	05/06/2021
JOB NO.	C03519
DRAWING NAME	
3519 Site Plan.dwg	
SHEET	10 OF 11
DT01	

N:\co3519 - Summerfield Keenesburg East\Drawings\Sketch Plan\CoverDetails\3519 COVER DETS.dwg, 9/8/2021 11:38:03 AM, Jake Jackson



NOTE:
THE ARCHITECTURAL ELEVATIONS SHOWN HEREON ARE INTENDED
ONLY TO DEPICT THE ARCHITECTURAL QUALITY AND CHARACTER
OF HOUSING WITHIN THE SUBDIVISION AND MAY VARY BY SPECIFIC
BUILDER.

BASELINE

Engineering • Planning • Surveying

112 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403
P. 303.940.9966 • F. 303.940.9966 • WWW.BASELINECORP.COM

DESIGNED BY
MBR

DRAWN BY
MBR

CHECKED BY
MILL

REVISION

DESCRIPTION

DATE

PREPARED BY

MSP INVESTMENT CO., LLP

TOWN OF KEENESBURG

WELD COUNTY

SUMMERFIELD
SKETCH PLAN
ELEVATIONS

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 09/08/2021

DRAWING SIZE 24" X 36"

SURVEY FIRM FLATIRON SURVEY DATE 05/06/2021

JOB NO. C03519

DRAWING NAME 3519 COVER DETS.dwg

SHEET 11 OF 11

ELO1

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