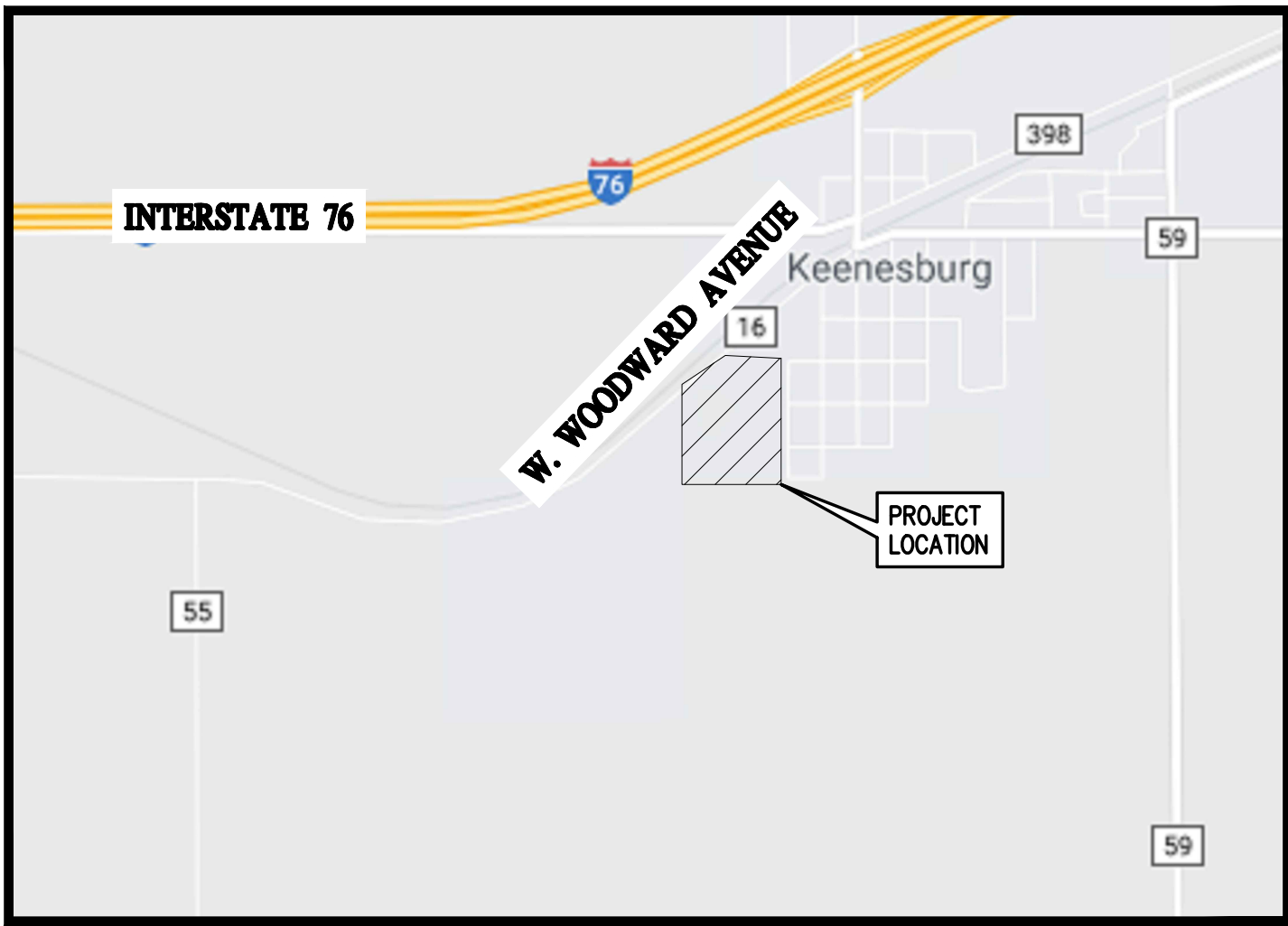


N:\co3490 - Summerfield - Keenesburg\Drawings\Sketch Plan\3490 COVER DETS.dwg, 5/10/2021 12:27:54 PM, Sean Collaton

SKETCH PLAN & PUD OVERLAY

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 34 AND SOUTHWEST
QUARTER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 64 WEST OF THE 6TH P.M.,
COUNTY OF WELD, STATE OF COLORADO

VISTA WEST



VICINITY MAP
SCALE: 1" = 1000'

INDEX OF SHEETS

SHEET NO.	SHEET DESCRIPTION	SHEET TITLE
1	C1	COVER SHEET
2	C2	PROJECT NOTES
3	E1	EXISTING CONDITIONS & DEMO PLAN
4	S1	SITE PLAN
5	U1	UTILITY PLAN
6	G1	GRADING PLAN
7	DR1	EX. DNG PLAN
8	DR2	PR. DNG PLAN
9	L1	LANDSCAPING & TRAILS PLAN
10	L2	LANDSCAPING DETAILS
11	D1	SITE DETAILS
12	E1	ELEVATIONS

CONTACTS:

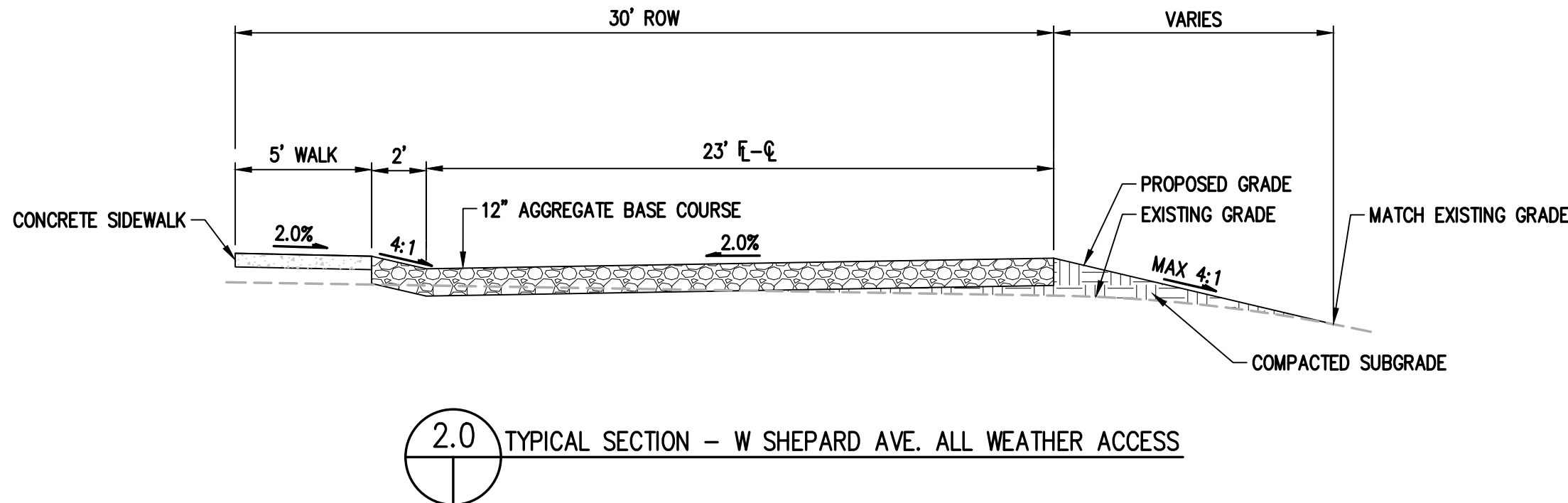
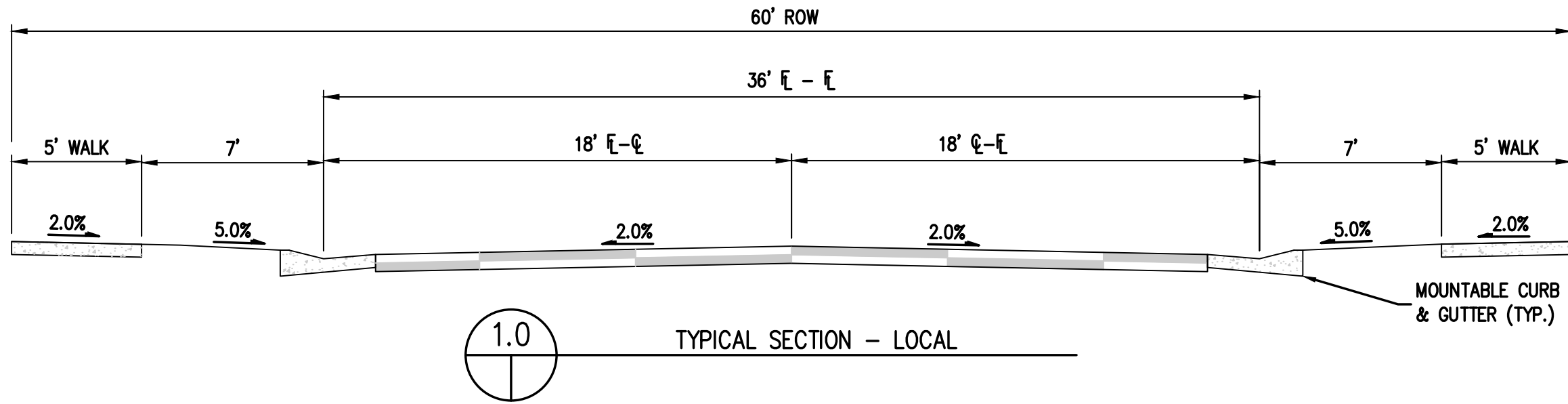
MUNICIPALITY
TOWN OF KEENESBURG
91 W. BROADWAY AVENUE
KEENESBURG, CO 80643
TELEPHONE: (303) 732-4281

APPLICANT:
MSP INVESTMENT CO., LLP
SUITE 940 NORTH TOWER
720 S. COLORADO BLVD.
DENVER, CO 80246
TELEPHONE: (303)399-9804
EMAIL: CHAD@MSPCOMPANIES.COM
CONTACT: CHAD RODRIGUEZ

**PLANNING, CIVIL ENGINEER, &
LANDSCAPE ARCHITECTURE**
BASELINE ENGINEERING
112 N. RUBEY DRIVE, #210
GOLDEN, CO 80403
TELEPHONE: (303) 940-9966
CONTACTS:
PLANNING - JESSIE STONBERG
ENGINEERING - MICHAEL LUJAN
LANDSCAPE ARCHITECTURE - JESSIE STONBERG

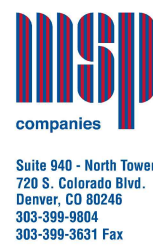
FIRE DISTRICT
SOUTHEAST WELD FIRE PROTECTION DISTRICT
95 W BROADWAY STREET
KEENESBURG, CO 80643
TELEPHONE: (303) 732-4203
CONTACTS: THOMAS BEACH

WATER & SANITATION DISTRICT
TOWN OF KEENESBURG
91 W BROADWAY AVENUE
KEENESBURG, CO 80643
TELEPHONE: (303) 732-4281



BENCHMARK
SET #4 REBAR WITH 1" PINK PLASTIC CAP MARKED "FLATIRONS CONTROL"
ELEVATION: 4958.74'

BASIS OF BEARING
GPS DERIVED BEARINGS BASED ON A BEARING OF N89°14'01"E ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 2 NORTH, RANGE 64 WEST OF THE 6TH P.M., BETWEEN A FOUND 3-1/4" ALUMINUM CAP MARKED "ALPHA ENGRG. 1, S27, T2N, R64W, S34, 10-1988, LS 12330" AT THE NORTH QUARTER CORNER OF SAID SECTION 34 AND A FOUND 3-1/4" ALUMINUM CAP MARKED "T2N, R64W, S27, S26, S34, S35, 1999, PLS 13155" AT THE NORTHEAST COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.



Know what's below.
Call before you dig.



DESIGNED BY
SPC

DRAWN BY
SPC

CHECKED BY
MLL

DATE

PREPARED BY

REVISION DESCRIPTION

MSP COMPANIES

WELD COUNTY

TOWN OF KEENESBURG

VISTA WEST

COVER SHEET

PREPARED UNDER THE DIRECT SUPERVISION OF

PRELIMINARY
NOT FOR
CONSTRUCTION

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 05/10/2021

DRAWING SIZE 24" X 36"

SURVEY FIRM FLATIRONS SURVEY DATE 10/02/2020

JOB NO. C03490

DRAWING NAME 3490 COVER DETS.dwg

SHEET 1 OF 12

C1

N:\co3490 - Summerfield - Keenesburg\Drawings\Sketch Plan\3490 COVER DETS.dwg, 5/10/2021 12:27:57 PM, Sean Collahan

SKETCH PLAN AND PLANNED UNIT DEVELOPMENT/
OVERLAY (PUD) REPORT

PROJECT CONCEPT AND THEME

THIS ACTIVE, ECOLOGICALLY MINDED PROJECT WILL PROVIDE FOR A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT IN THE TOWN OF KEENESBURG. WORKING WITH EXISTING NATURAL DRAINAGE SYSTEMS AND ENHANCING AREA CONNECTIVITY, THE PROJECT PROVIDES AMPLE OPPORTUNITIES FOR RESIDENTS TO INTERACT WITH THE NATURAL ENVIRONMENT. THE RESIDENTIAL TYPES ARE INTENDED TO PROVIDE DIVERSITY AND AN ARCHITECTURAL STYLE CONSISTENT WITH MODERN COMMUNITIES FOUND IN NORTHERN COLORADO.

THIS PROJECT WILL BE CONSISTENT WITH THE TOWN OF KEENESBURG COMPREHENSIVE PLAN. THE DEVELOPMENT OF THE RESIDENTIAL AREAS WITHIN THIS PROPERTY WILL BE COMPLEMENTARY TO THIS REGION AND WILL PROVIDE AN ADDITIONAL NECESSARY RESIDENTIAL BASE FOR THE TOWN OF KEENESBURG AND THE EXPANDING EMPLOYMENT CENTERS OF THIS REGION.

INTENT – THE PURPOSE OF THIS PD OVERLAY IS TO ALLOW LOTS UNDER 9,000 SQUARE FEET IN THE R–1 SINGLE-FAMILY ZONING WITHIN THE TOWN OF KEENESBURG, COLORADO. SINGLE-FAMILY DETACHED HOMES WILL BE DESIGNED AND CONSTRUCTED WITHIN THE GUIDELINES OF KEENESBURG CODE AND LANDSCAPING WILL BE INSTALLED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION (HOA).

VISTA WEST, AS A SINGLE-FAMILY RESIDENTIAL COMMUNITY, IS COMPLIANT WITH THE CURRENT ZONING AND LAND USE DESIGNATION OF THE PROPERTY FOR RESIDENTIAL USES. THE MASTER PLAN SUPPORTS RESIDENTS DESIRE TO RETAIN THE SMALL-TOWN CHARACTER WITH DIVERSITY OF HOMES WITH INTEGRATED PARKS, OPEN SPACE, TRAILS AND SIDEWALKS THAT ARE CONNECTED TO THE EXISTING STREET AND NEIGHBORHOOD FRAMEWORK.

COMPREHENSIVE PLAN

THE VISTA WEST MASTER PLAN THEME AND PATTERN SUPPORTS THE KEENESBURG COMPREHENSIVE PLAN IN THE FOLLOWING WAYS:

PREDICTABILITY

- THE SKETCH PLAN AND PUD OVERLAY FOR VISTA WEST PROVIDES THE TOWN WITH A PREDICTABLE PLAN FOR DEVELOPING A DESIRED EXPANSION OF THE RESIDENTIAL HOUSING STOCK IN KEENESBURG.

BALANCE

- VISTA WEST WILL CONTRIBUTE TO A DIVERSE COMMUNITY WHERE PEOPLE CAN LIVE, WORK, SHOP, ENJOY RECREATION, AND HAVE ACCESS TO ESSENTIAL SERVICES.

FLEXIBILITY

- VISTA WEST WILL BE DEVELOPED TO ALLOW FOR DIVERSITY OF HOME DESIGNS IN THE COMMUNITY.

THE FOLLOWING KEY ELEMENTS ARE ADDRESSED:

LAND USES

- VISTA WEST, AS A SINGLE-FAMILY RESIDENTIAL COMMUNITY, IS COMPLIANT WITH THE CURRENT ZONING AND LAND USE DESIGNATION OF THE PROPERTY FOR RESIDENTIAL USES. THE MASTER PLAN SUPPORTS RESIDENTS DESIRE TO RETAIN THE SMALL-TOWN CHARACTER WITH DIVERSITY OF HOMES WITH INTEGRATED PARKS, OPEN SPACE, TRAILS AND SIDEWALKS THAT ARE CONNECTED TO THE EXISTING STREET AND NEIGHBORHOOD FRAMEWORK. A PUD OVERLAY IS INCLUDED TO ADDRESS CERTAIN NEEDED AMENDMENTS FOR THE EXISTING ZONING.

PARKS AND OPEN SPACE

- VISTA WEST HAS INTEGRATED A LARGE CENTER PARK AND OPEN SPACE INTO ITS DEVELOPMENT PLAN. THIS PARK AND OPEN SPACES WILL SERVE THE RECREATIONAL NEED OF RESIDENTS AS WELL AS PROVIDING AND INTEGRATED WATER QUALITY AND STORM WATER MANAGEMENT SYSTEM.
- THE CENTER PARK AND POCKET PARKS ARE CONNECTED VIA THE TRAILS AND STREET SYSTEM.

PUBLIC UTILITIES

- PUBLIC UTILITIES WILL BE EFFICIENTLY EXTENDED INTO VISTA WEST THROUGH ITS INTERCONNECTED SYSTEM OF STREETS. WILL-SERVE LETTERS FOR VISTA WEST HAVE BEEN RECEIVED FROM UNITED POWER, THE ELECTRIC SERVICE PROVIDER, AND ATMOS ENERGY, THE NATURAL GAS PROVIDER.

WATER

- WATER WILL BE EXTENDED INTO THE COMMUNITY VIA THE EXISTING DISTRIBUTION SYSTEM. A NATIVE AND NATURALIZED LANDSCAPE WILL BE DEVELOPED FOR PARKS AND OPEN SPACES THAT FOCUSES ON CAPTURING AND DIRECTING RAINWATER TO THE OPEN SPACES SYSTEM WHERE IT WILL SUPPORT THE LANDSCAPE, ENHANCE WATER QUALITY AND RECHARGE THE GROUNDWATER WITHIN THE WATERSHED.

STORMWATER MANAGEMENT

- THE STORMWATER MANAGEMENT SYSTEM FOR VISTA WEST WILL MINIMIZE THE NEED FOR STRUCTURED IMPROVEMENTS AND FOCUS ON USING SURFACE FLOWS THROUGH THE OPEN SPACE SYSTEM.

TRANSPORTATION

- COMMUNITY ENTRIES DISTRIBUTE TRAFFIC INTO THE LOCAL STREET SYSTEM USING THE EXISTING GRID SYSTEM. THE STREET AND BLOCK DESIGN USES INTERSECTIONS, VARYING BLOCK CONFIGURATIONS TO SLOW TRAFFIC AND ENHANCE STREET SCENES.

BICYCLE AND PEDESTRIAN TRAILS

- INTERCONNECTED STREETS, SIDEWALKS AND OPEN SPACE TRAILS PROVIDE MULTIPLE ROUTES THROUGHOUT THE COMMUNITY.

ROADWAY NETWORK

- THE EXISTING STREET GRID OF THE TOWN WILL BE EXTENDED INTO THE NEIGHBORHOOD FOR ACCESS AND CONNECTIVITY TO THE CENTER OF TOWN.

INTERCONNECTED ROADWAY AND PEDESTRIAN CIRCULATION

- VISTA WEST WILL HAVE AN INTERCONNECTED SYSTEM OF ROADWAY, SIDEWALKS AND OPEN SPACE TRAILS. MID-BLOCK PEDESTRIAN CORRIDORS WILL BE USED TO SHORTEN BLOCK LENGTHS RATHER THAN ADDITIONAL ROADWAY, INCREASING OPEN SPACE AND REDUCING IMPERVIOUS PAVING.

LAND USE

VISTA WEST WILL HAVE 119 SINGLE FAMILY HOMES WITHIN THE 31.5 ACRES WITH A GROSS DENSITY OF 3.78 UNITS PER ACRE. VISTA WEST WILL FOLLOW ALL OF THE STANDARDS OF THE R–1 ZONE DISTRICT WITH LOTS AT A MINIMUM OF 5,500 SQUARE FEET.

DIVERSITY

- HOME DIVERSITY AT VISTA WEST WILL BE ACHIEVED BY PROVIDING THREE DIFFERENT LOT SIZES TO ACCOMMODATE A RANGE OF HOME DESIGNS AND SIZES. THESE SIZES INCLUDE 70' X 120', 60' X 110'–120' AND 50' X 110'–120' LOTS.3

LAND USE AND OPEN SPACE

- THE LAND USE IS SINGLE FAMILY HOMES. ADDITIONAL LAND USES INCLUDE PARKS AND OPEN SPACES, A WATER QUALITY AND STORM WATER MANAGEMENT PLAN, AND UTILITIES TO SERVE THE HOMES.

RELATIONSHIP TO EXISTING NEIGHBORHOODS.

- WHERE VISTA WEST ABUTS THE EXISTING NEIGHBORHOODS ALONG CEDAR STREET, LOT SIZES TRANSITION FROM 70' X 120' ON THE EAST SIDE OF THE SUBDIVISION TO 60' X 110'-120' AND THEN 50' X 110'-120' LOTS TO THE WEST, ALL WITH STREET SIDE LANDSCAPE BUFFERS. EXISTING STREETS ARE EXTENDED INTO THE VISTA WEST NEIGHBORHOOD FOR PEDESTRIAN AND VEHICULAR CONNECTIVITY.

SETBACKS

SETBACKS WILL REMAIN ALIGNED WITH ZONE DISTRICT STANDARDS:

- FRONT YARD SETBACK: 20'
- REAR YARD SETBACK: 15'
- SIDE YARD SETBACK: 5'
- STREET SIDE YARD SETBACKS: 15'

COMMON AREAS

PARKS, TRAILS, AND OPENS SPACE

- THE PURPOSE OF THE PARK, TRAIL AND OPEN SPACE NETWORK AT VISTA WEST IS TO PROVIDE FOR THE ACTIVE AND PASSIVE RECREATION NEEDS OF THE COMMUNITY AS WELL AS PROVIDING INTEGRATED WATER QUALITY ENHANCEMENT AND STORM WATER MANAGEMENT.
- VISTA WEST IS ANCHORED BY A CENTRAL PARK. THE PARK WILL INCLUDE ACTIVE TURF AND PLAY AREAS WITH NATIVE LANDSCAPES.
- OPEN SPACE, TRAILS AND SIDEWALKS ARE PLANNED TO PROVIDE CONNECTIVITY WITHIN THE COMMUNITY, AND OTHER LOCATIONS.
- MANAGEMENT AND MAINTENANCE OF ALL PARKS AND OPEN SPACES WILL BE PROVIDED BY THE VISTA WEST HOMEOWNERS ASSOCIATION.

DRAINAGE

THIS SITE IS GENTLY SLOPING WITH DRAINAGE RUNNING FROM HIGH AREAS IN THE NORTH TO THE DRAINAGE WAY OFFSITE TO THE SOUTH. IT IS NOT ANTICIPATED THAT MAJOR GRADING CHANGES ARE TO OCCUR. DRAINAGE IS PROPOSED TO BE CONVEYED BY THE CURB AND GUTTER AND STORM DRAINAGE NETWORK, INTEGRATED WITH THE PARK AND OPEN SPACE TRAIL SYSTEM, AND ROUTED TO A STORMWATER DETENTION FACILITY ADJACENT TO THE SOUTH PROPERTY BOUNDARY WITHIN THE COMMUNITY. THE PROPOSED DETENTION LOCATION HAS BEEN IDENTIFIED ON THE SKETCH PLAN ALONG WITH CONCEPTUAL SIZING.

FENCING

ALL FENCING ABUTTING OPEN SPACES WILL BE A TWO-RAIL VINYL FENCE. FOR INTERNAL LOTS AND FOR SITES ADJACENT TO STREETS FENCING WILL BE A 5' HEIGHT VINYL PRIVACY FENCE.

AMENITIES

THE PROPOSED PARKS AND OPEN SPACE TRAIL SYSTEM WILL BE THE MAJOR AMENITY FOR THE COMMUNITY AND WILL BE MANAGED BY A HOMEOWNERS' ASSOCIATION.

ENTRY ENHANCEMENTS

THE PROJECT ENTRIES ADJACENT TO CEDAR STREET WILL INCLUDE ENTRY MONUMENTS OF STONE WITH SIGNAGE AND COLUMNS (SEE SHEET D1). THE ENHANCED LANDSCAPE IN THESE AREAS WILL INCLUDE ORNAMENTAL AND EVERGREEN TREES AND DRIFTS OF NATIVE PLANTS FOR SEASONAL COLOR.

HOME ARCHITECTURE

ALL RESIDENTIAL HOMES WILL BE "STICK BUILT" AND HAVE A MINIMUM OF A TWO-CAR GARAGE. ARCHITECTURAL DETAILS SHOWING THE DESIGN OF THE HOMES IS SHOWN ON SHEET E1.

THE FOLLOWING HOME STANDARDS SHALL APPLY:

- ENHANCED ARCHITECTURE FOR ANY ELEVATION THAT FACES THE SIDE STREET FOR A CORNER LOT OR FACES PARK AND OPEN SPACE AREAS WILL BE PROVIDED. GENERALLY, SUCH ARCHITECTURE MAY INCLUDE THE ADDITION OF BAY WINDOWS AND/OR GABLES, ARCHITECTURAL DETAILING IN TERMS OF COLOR AND MATERIALS, THE ADDITION OF ROCK, BRICK OR STONE, AND PORCHES IN THE REAR YARDS.
- HOME MODELS SHALL VARY ON ADJACENT LOTS.
- ALL HOMES SHALL HAVE A MINIMUM OF TWENTY PERCENT (20%) OF ANY SINGLE-FAMILY HOUSE WALLS FACING THE STREET, EXCLUDING THE DOORS AND WINDOWS, AND THE ROOF AREAS, SHALL BE MASONRY, SUCH AS BRICK, STONE, ARTIFICIAL STONE OR STUCCO, AS ALLOWED BY THE HOA.
- SIZE OF FINISHED AREA SHALL BE A MINIMUM OF 1,200 SQUARE FEET FOR A SINGLE-STORY RESIDENCE AND 1,400 SQUARE FEET WITH NOT LESS THAN 650 SQUARE FEET OF LIVING SPACE ON THE MAIN FLOOR FOR TWO-STORY HOMES.

HOME LANDSCAPE

ALL RESIDENTIAL HOMES WILL BE REQUIRED TO INSTALL THE FRONT YARD LANDSCAPE PRIOR TO THE SALE AND CLOSING OF THE HOME IF DURING THE GROWING SEASON (APRIL – OCTOBER). HOMES CLOSING OUTSIDE OF THE GROWING SEASON WILL HAVE 45 DAYS TO COMPLETE ITS LANDSCAPING AFTER APRIL 1 OF THE FOLLOWING YEAR.

THE FOLLOWING MINIMUM LANDSCAPE STANDARDS SHALL APPLY:

- 1 TREE IN THE FRONT YARD OF EVERY LOT AND EACH CORNER LOT DIRECTLY ADJACENT TO A STREET SHALL HAVE 1 TREE IN THE FRONT YARD AND ONE TREE IN THE STREET SIDE YARD.
- 1 TREE IN THE BACKYARD.
- EACH HOME SHALL HAVE AN AVERAGE OF 500 SQUARE FEET OF IRRIGATED LANDSCAPE IN THE FRONT YARD OF THE LOT OR AN HOA APPROVED ALTERNATE XERISCAPING PLAN.

WATER

POTABLE WATER WILL BE SUPPLIED TO THE SITE BY THE TOWN OF KEENESBURG EXISTING PIPELINES. THE DEVELOPMENT WILL HAVE A LOOPED WATER SYSTEM CONNECTING TO EXISTING FACILITIES IN CEDAR STREET.

SANITARY SEWER

THE DEVELOPMENT WILL CONNECT TO THE EXISTING TOWN OF KEENESBURG SANITARY SEWER INFRASTRUCTURE ON THE EAST SIDE OF CEDAR STREET.

PARKING

NO ADDITIONAL PARKING SPACES ARE REQUIRED OTHER THAN ON-STREET PARKING AND PRIVATE SINGLE-FAMILY HOME DRIVEWAYS AND GARAGES PER TOWN CODE.

LIGHTING

STREETLIGHTS WILL BE INSTALLED BY UNITED POWER AND INDIVIDUAL HOME OWNERS CAN INSTALL EXTERIOR LIGHTING. LIGHTING WILL BE LIMITED IN PARKS AND OPEN SPACES TO MINIMIZE NIGHT SKY AND SURROUNDING HOMEOWNER IMPACTS.

OIL & GAS

THERE ARE NO CONFLICTS BETWEEN THE PROJECT AND ANY OIL AND GAS DEVELOPMENT AND NO WELL SITES EXIST ON THE PROPERTY.

NOBLE ENERGY/CHEVRON OWN THE LEASE HOLD DRILLING RIGHTS TO THE PROPERTY. THE LANDOWNER OWNS THE MINERAL RIGHTS FOR THE LAND.

PUD OVERLAY TABLE:

PLANNING AREA	TOTAL ACREAGE	# OF LOTS	DU/ACRE	MIN. LOT SIZE	MAX. LOT SIZE
PARCEL #130526300007	31.5	119	3.78	5,500 SF	8,400 SF



Engineering • Planning • Surveying
102 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403
P: 303.940.9958 • F: 303.940.9959 • www.baselinecorp.com

DESIGNED BY	SPC
DRAWN BY	SPC
CHECKED BY	MLL

REVISION	DESCRIPTION	DATE	PREPARED BY

MSP COMPANIES	WELD COUNTY
TOWN OF KEENESBURG	VISTA WEST
	PROJECT NOTES

PREPARED UNDER THE DIRECT SUPERVISION OF

PRELIMINARY
NOT FOR
CONSTRUCTION

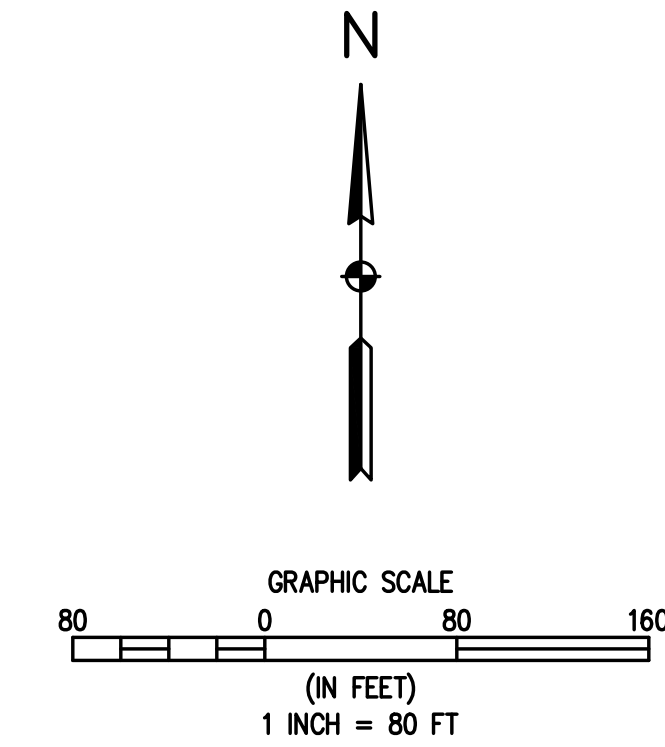
FOR AND ON BEHALF OF BASELINE CORPORATION	
INITIAL SUBMITTAL	05/10/2021
DRAWING SIZE	24" X 36"
SURVEY FIRM	SURVEY DATE
FLATIRON3	10/02/2020
JOB NO.	C03490
DRAWING NAME	
3490 COVER DETS.dwg	
SHEET	2 OF 12

N:\co3490 - Summerfield - Keenesburg\Drawings\Sketch Plan\3490 EXISTING CONDITIONS & DEMO.dwg, 5/10/2021 12:28:06 PM, Sean Callahan

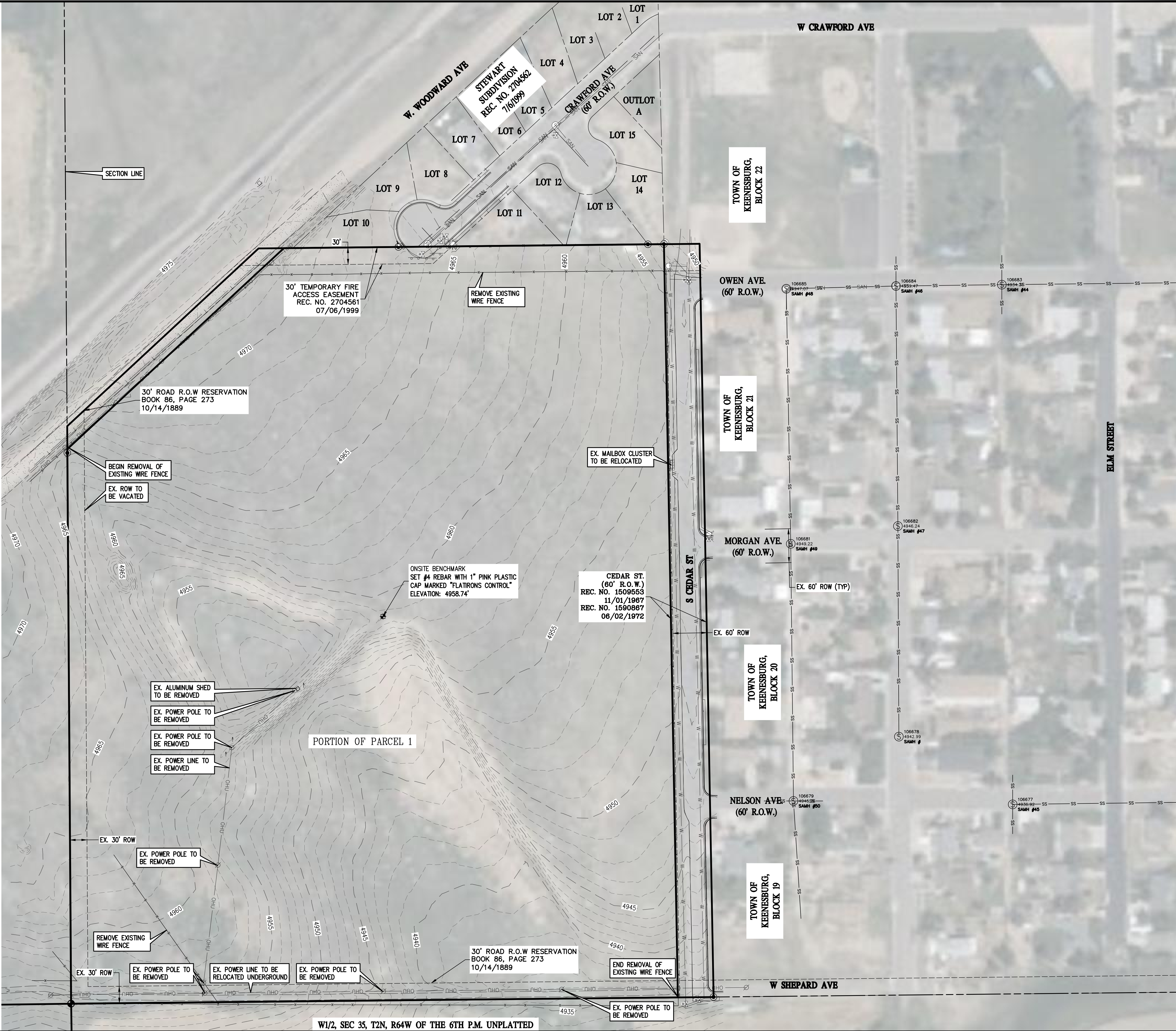
- LEGEND**
- PROPERTY BOUNDARY
 - SECTION LINE
 - MINOR CONTOUR (2' INTERVAL)
 - MAJOR CONTOUR (10' INTERVAL)
 - RIGHT-OF-WAY
 - LOT LINE
 - EASEMENT
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - CURB AND GUTTER
 - CHAINLINK FENCE
 - W W WATER LINE
 - SAN SAN SANITARY SEWER

- SYMBOLS LEGEND**
- SANITARY MANHOLE

- NOTES:**
- IT IS THE OWNER AND/OR THE CONTRACTORS RESPONSIBILITY TO ATTAIN ALL APPROPRIATE PERMITS AND REVIEW APPROVALS FROM THE TOWN OF KEENESBURG RESPECTIVELY.



1
E1/E1 EXISTING CONDITIONS & DEMO PLAN



BASELINE Engineering - Planning - Surveying 102 N RIBEY DRIVE SUITE 210 • GOLDEN, COLORADO 80403 P. 303.940.9966 • F. 303.940.9968 • www.baselinecorp.com	
DESIGNED BY SPC	DATE
DRAWN BY SPC	PREPARED BY
CHECKED BY MLL	REVISION DESCRIPTION
MSP COMPANIES VISTA WEST EXISTING CONDITIONS & DEMO PLAN	
TOWN OF KEENESBURG WELD COUNTY	
FOR AND ON BEHALF OF BASELINE CORPORATION	
PRELIMINARY NOT FOR CONSTRUCTION	
INITIAL SUBMITTAL 05/10/2021	
DRAWING SIZE 24" X 36"	
SURVEY FIRM FLATRONS	
SURVEY DATE 10/02/2020	
JOB NO. C03490	
DRAWING NAME 3490 EXISTING CONDITIONS & DEMO.dwg	
SHEET 3 OF 12	
E1	

N:\co3490 - Summerfield - Keenesburg\Drawings\Sketch Plan\3490 SKETCH.dwg, 5/10/2021 12:28:15 PM, Sean Callahan

LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
		PROPERTY BOUNDARY
		RIGHT-OF-WAY
		LOT LINE
		EASEMENT
		BUILDING SETBACK
		EDGE OF ASPHALT
		EDGE OF GRAVEL
		CURB AND GUTTER (SPILL/CATCH)

EXISTING PROPOSED
SYMBOLS SYMBOLS

	110' X 50' LOTS
	110' X 60' LOTS
	120' X 70' LOTS
	OPEN SPACE/PARKS
	TRAILS/SIDEWALKS
	ASPHALT ROADWAY

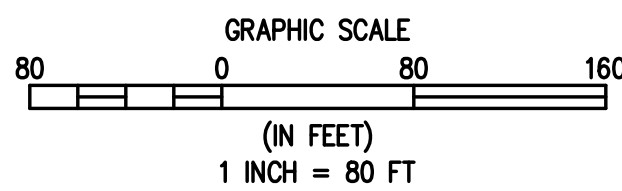
LAND USE

COVERAGE	AREA (ACRES)	PERCENT TOTAL
OPEN SPACE, PARKS, TRAILS	5.26	17.07%
PROPOSED RIGHT-OF-WAY	7.56	24.53%
50'x110' LOTS	8.47	27.48%
60'x110' LOTS	6.84	22.19%
70'x120' LOTS	2.69	8.73%
OVERALL SITE AREA	30.82	100%

LOT SUMMARY

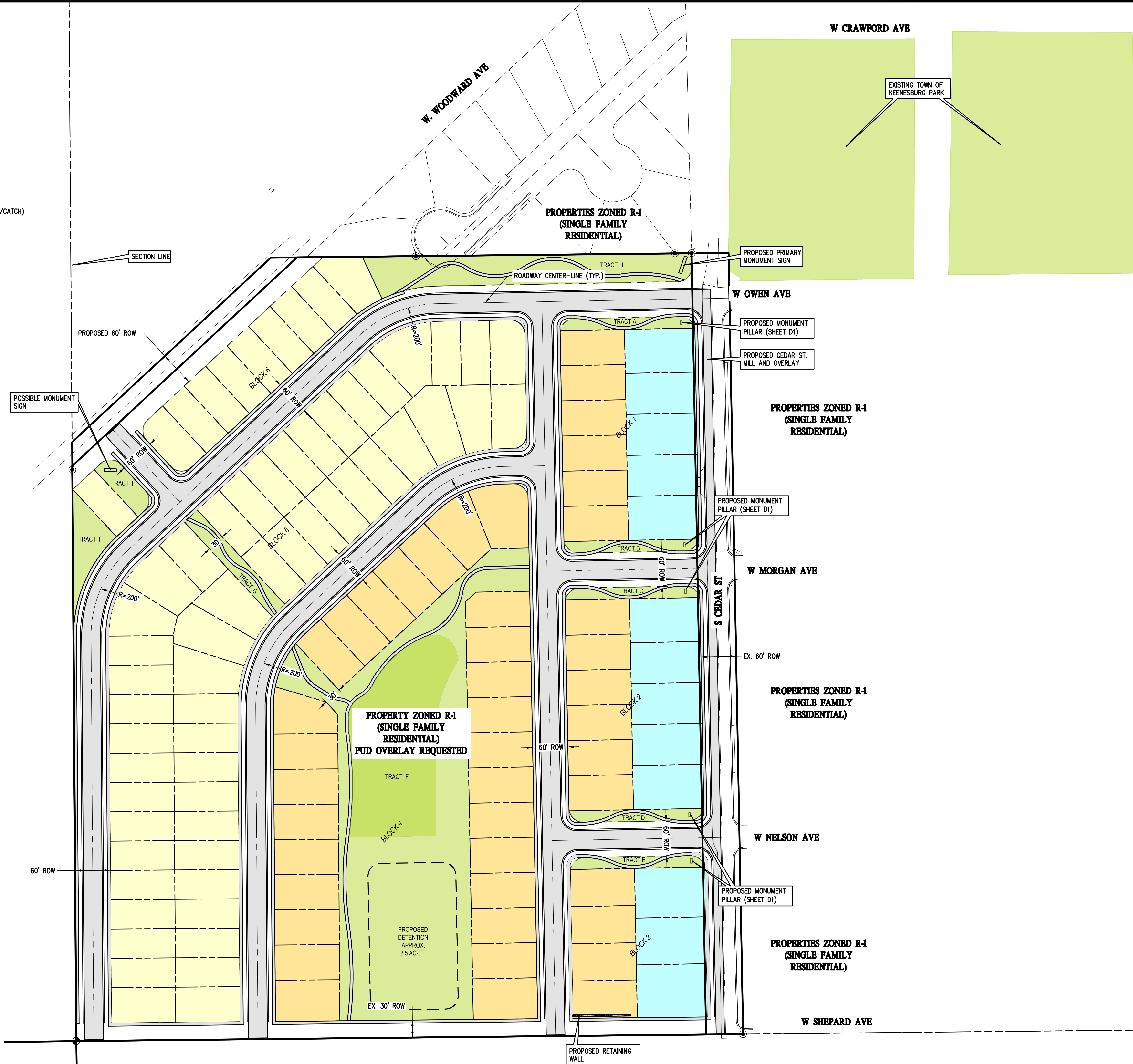
LOT TYPE	NUMBER OF LOTS
50'x110' LOTS	62
60'x110' LOTS	44
70'x120' LOTS	13
TOTAL	119

N



1
S1 S1

SITE PLAN



BASELINE

Engineering - Planning - Surveying
102 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403
P. 303.940.9966 • F. 303.940.9968 • www.baselinecorp.com

DESIGNED BY SPC
DRAWN BY SPC
CHECKED BY MILL

DATE
PREPARED BY

REVISION DESCRIPTION

WELD COUNTY

MSP COMPANIES
VISTA WEST
SITE PLAN

TOWN OF KEENESBURG

PREPARED UNDER THE DIRECT SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 05/10/2021

DRAWING SIZE 24" X 36"

SURVEY FIRM FLATIRON SURVEY DATE 10/02/2020

JOB NO. C03490

DRAWING NAME 3490 SKETCH.dwg

SHEET 4 OF 12

S1

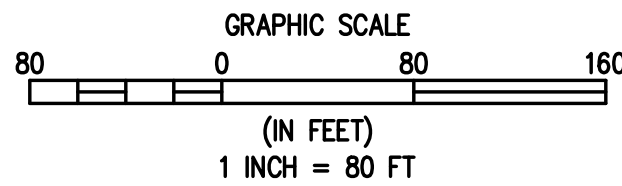
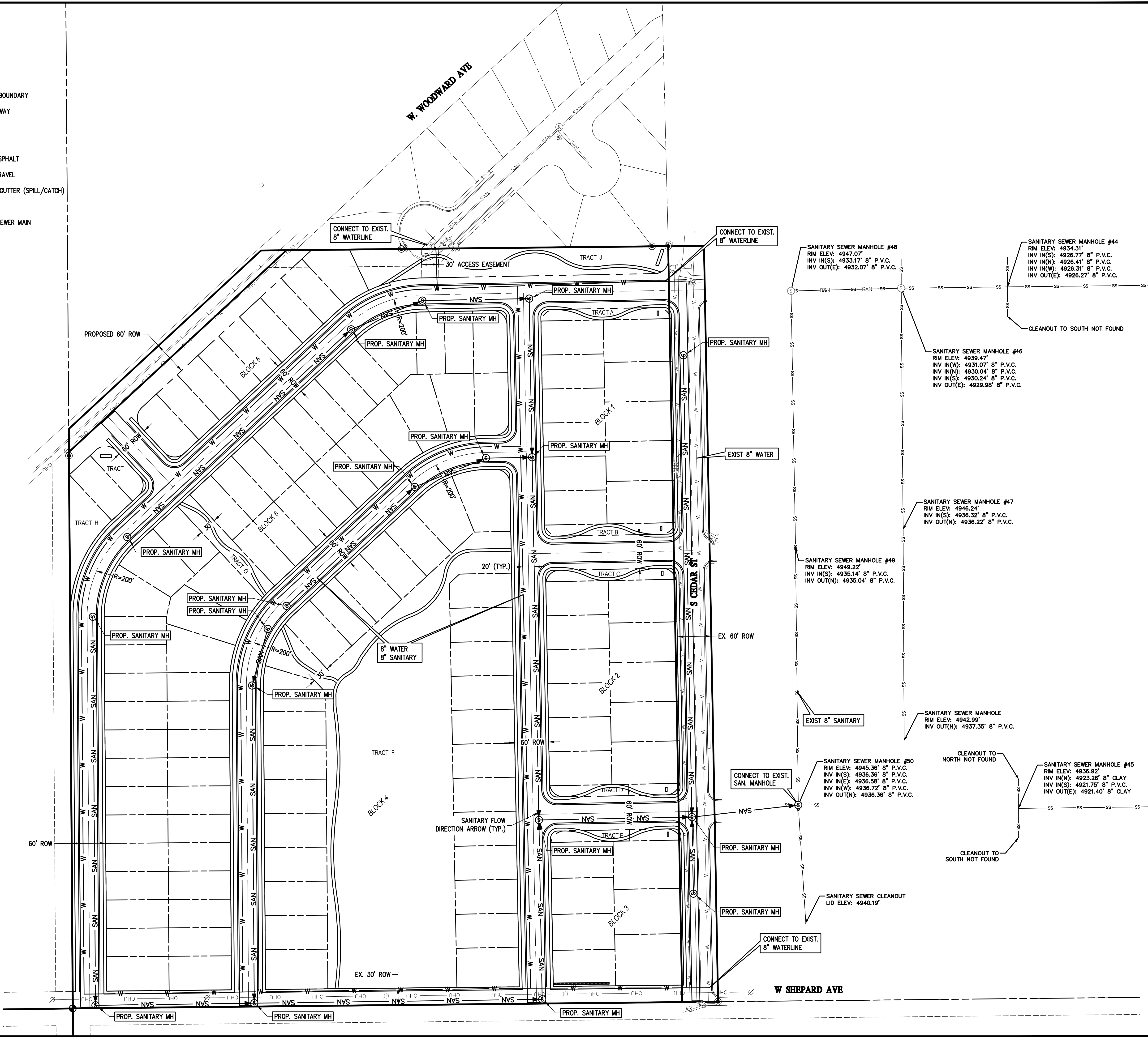
N:\co3490 - Summerfield - Keenesburg\Drawings\Sketch Plan\3490 UTILITY.dwg, 5/10/2021 12:28:21 PM, Sean Colahon

LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
		PROPERTY BOUNDARY
		RIGHT-OF-WAY
		LOT LINE
		EASEMENT
		EDGE OF ASPHALT
		EDGE OF GRAVEL
		CURB AND GUTTER (SPILL/CATCH)
		WATER LINE
		SANITARY SEWER MAIN
		SANITARY MANHOLE
		SANITARY MANHOLE

NOTES:

- ALL PROPOSED WATER LINES SHALL HAVE 4.5' MINIMUM COVER.
- ALL WATER PIPES SHALL BE CLASS C-900 PVC, MAINS SHALL BE 8" DIAMETER, FIRE HYDRANT LATERALS SHALL BE 6".
- ALL PROPOSED WATER SERVICE LINE PIPES SHALL BE POLY MATERIAL (PRESSURE RATED TO 150 PSI).
- ALL PROPOSED SANITARY LINES SHALL HAVE 4.0' MINIMUM COVER AT THE CONNECTION THE BUILDING AND AT CLEANOUTS.
- ALL SANITARY SEWER LINES SHALL BE 8" DIAMETER SDR-35 PVC.
- DRY UTILITIES, ELECTRIC AND LIGHTING TO BE DESIGNED BY OTHERS.



1
U1/U1
UTILITY PLAN

BASELINE
Engineering - Planning - Surveying

102 N RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403
P. 303.940.9966 • F. 303.940.9965 • www.baselinecorp.com

DESIGNED BY: SPC
DRAWN BY: SPC
CHECKED BY: MLL

REVISION DESCRIPTION	DATE	PREPARED BY

MSP COMPANIES
WELLS COUNTY
VISTA WEST
UTILITY PLAN

TOWN OF KEENESBURG
PREPARED UNDER THE DIRECT SUPERVISION OF

**PRELIMINARY
NOT FOR CONSTRUCTION**

FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL 05/10/2021
DRAWING SIZE 24" X 36"
SURVEY FIRM SURVEY DATE
FLATIRON 10/02/2020
JOB NO. C03490
DRAWING NAME
3490 UTILITY.dwg
SHEET 5 OF 12

U1

N:\co3490 - Summerfield - Keenesburg Drawings\Sketch Plan\3490 GRADING PLAN.dwg, 5/10/2021 12:28:27 PM, Sean Colclough

LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
		CURB AND GUTTER (SPILL/CATCH)
		PROPERTY BOUNDARY
		RIGHT-OF-WAY
		LOT LINE
		MINOR CONTOUR (1' INTERVAL)
		MAJOR CONTOUR (5' INTERVAL)

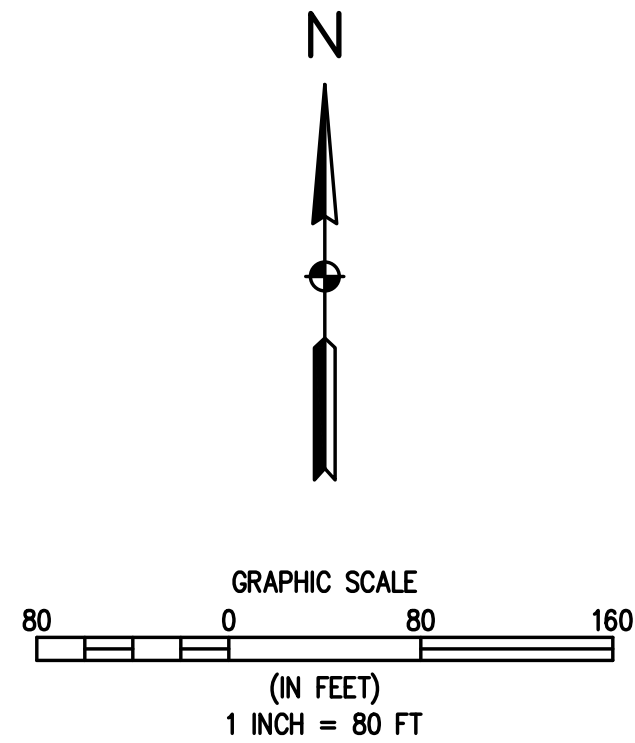
EXISTING PROPOSED
SYMBOLS SYMBOLS

TRAILS/SIDEWALKS

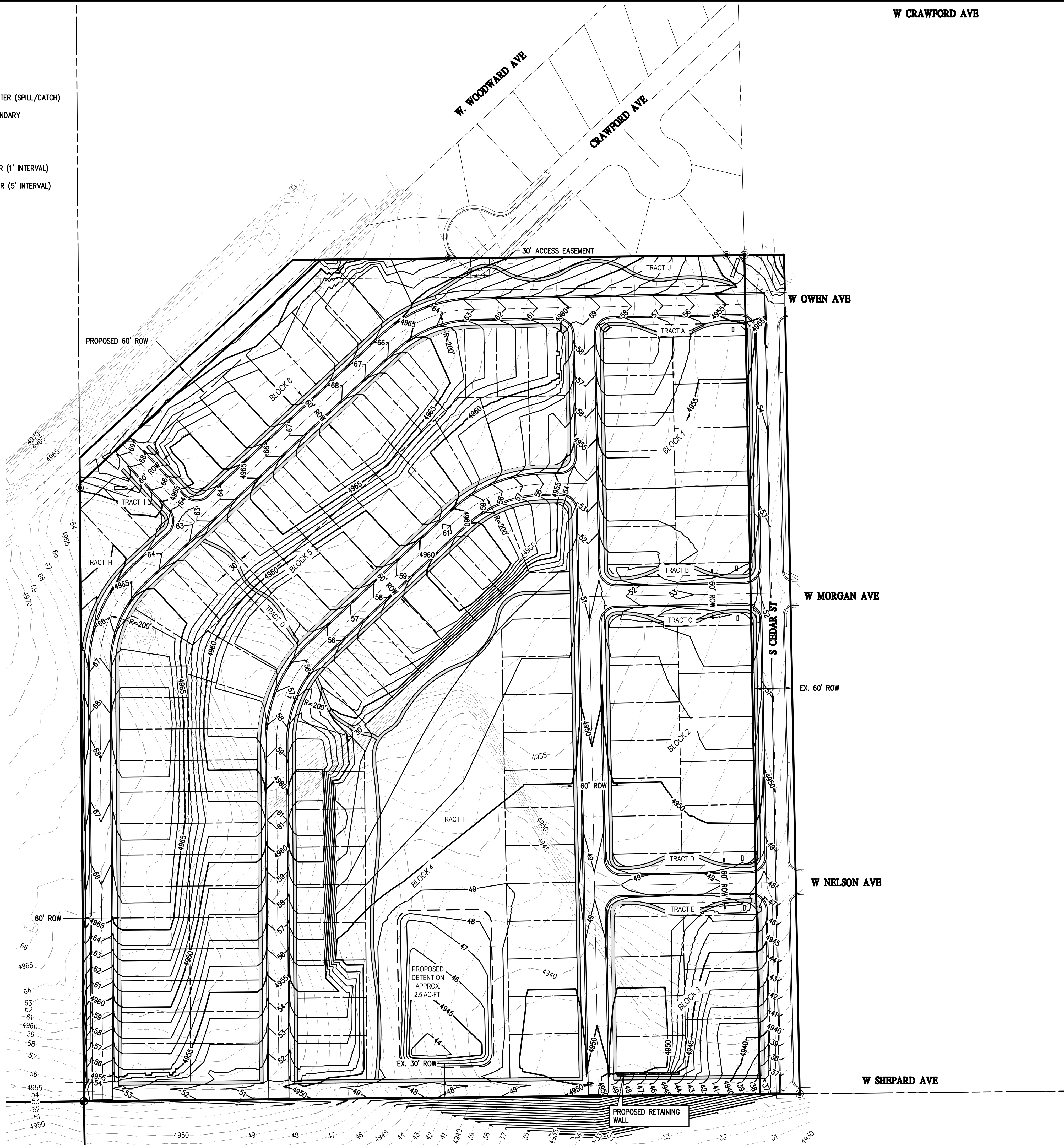
AREA OF DISTURBANCE = 33.00 ACRES

OVERLOT GRADING EARTHWORK SUMMARY
SURFACE FILL = +91,580 CU-YD
SURFACE CUT = -82,755 CU-YD
NET = +8,825 CU-YD (FILL)

1. THE ABOVE EARTHWORK CALCULATIONS ARE AN ENGINEER'S ESTIMATE AND NOT TO BE USED FOR CONTRACTUAL OR BIDDING PURPOSES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN EARTHWORK ESTIMATE.
2. EARTHWORK SUMMARY DOES NOT INCLUDE SHRINKAGE OF FILL MATERIAL.
3. PAVEMENT AND HARDSCAPE AREAS ARE NOT ACCOUNTED FOR IN THIS ESTIMATE.



1
G1 G1 GRADING PLAN



BASELINE

Engineering - Planning - Surveying
102 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403
P. 303.940.9966 • F. 303.940.9968 • WWW.BASELINECORP.COM

DESIGNED BY SPC
DRAWN BY SPC
CHECKED BY MILL

DATE
PREPARED BY

REVISION DESCRIPTION

WELD COUNTY

MSP COMPANIES
VISTA WEST
GRADING PLAN

TOWN OF KEENESBURG

PREPARED UNDER THE DIRECT SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 05/10/2021

DRAWING SIZE 24" X 36"

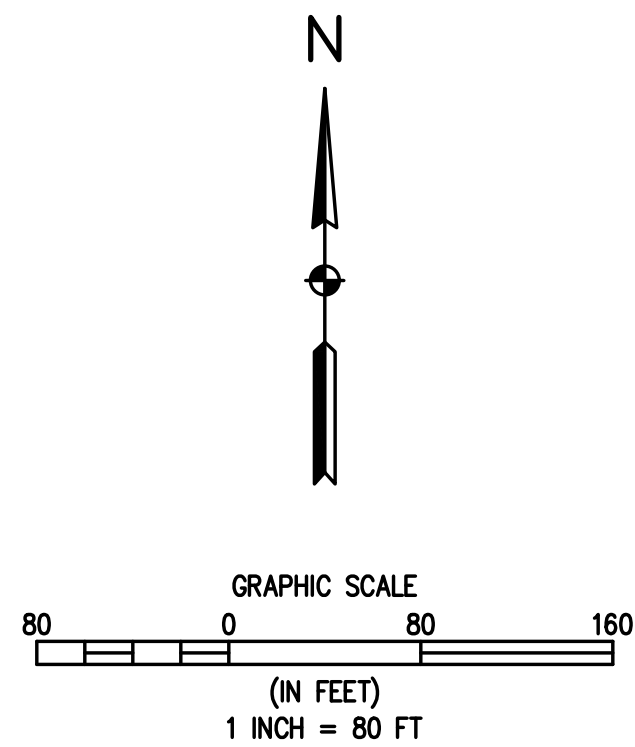
SURVEY FIRM SURVEY DATE
FLATIRON 10/02/2020

JOB NO. C03490

DRAWING NAME
3490 GRADING PLAN.dwg

SHEET 6 OF 12

G1



EX. DNG PLAN

EXISTING LINETYPES

81
5280

PROPOSED LINETYPES

_____ 81 _____

_____ 5280 _____

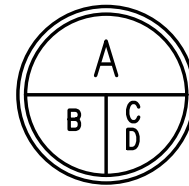
PROPERTY BOUNDARY
RIGHT-OF-WAY
LOT LINE
MINOR CONTOUR (1' INTERVAL)
MAJOR CONTOUR (5' INTERVAL)

EXISTING PROPOSED
SYMBOLS SYMBOLS

DEVELOPED DRAINAGE BASIN

DESIGN POINT DESIGNATION

A= DEVELOPED BASIN ID
B= DEVELOPED BASIN AREA (ACRES)
C= DEVELOPED 100YR COEFFICIENT
D= DEVELOPED 5YR COEFFICIENT


BASLINE

Engineering • Planning • Surveying

112 N RUBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403
P: 303.940.9966 • F: 303.940.9959 • www.jasellincorp.com

DESIGNED BY	SPC
DRAWN BY	SPC
CHECKED BY	MLL

PREPARED BY	DATE

REVISION DESCRIPTION

MSP COMPANIES

TOWN OF KEENESBURG

VISTA WEST

EX. DNG PLAN

PREPARED UNDER THE DIRECT
SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL	05/10/2021
DRAWING SIZE	24" X 36"

SURVEY FIRM	SURVEY DATE
FLATIRONS	10/02/2020

JOB NO.	C03490
DRAWING NAME	

3490 DRAINAGE PLANS.dwg

DR1

DIXI

N:\co3490 - Summerfield - Keenesburg\Drawings\Sketch Plan\3490 DRAINAGE PLANS.dwg, 5/10/2021 12:28:38 PM, Sean Collehon

LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
		PROPERTY BOUNDARY
		RIGHT-OF-WAY
		LOT LINE
		MINOR CONTOUR (1' INTERVAL)
		MAJOR CONTOUR (5' INTERVAL)

EXISTING SYMBOLS



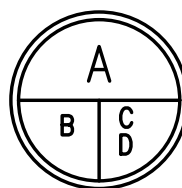
TRAILS/SIDEWALKS



DEVELOPED DRAINAGE BASIN



DESIGN POINT DESIGNATION

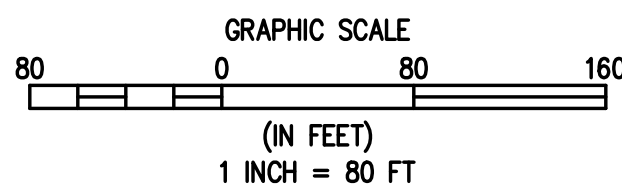


A= DEVELOPED BASIN ID

B= DEVELOPED BASIN AREA (ACRES)

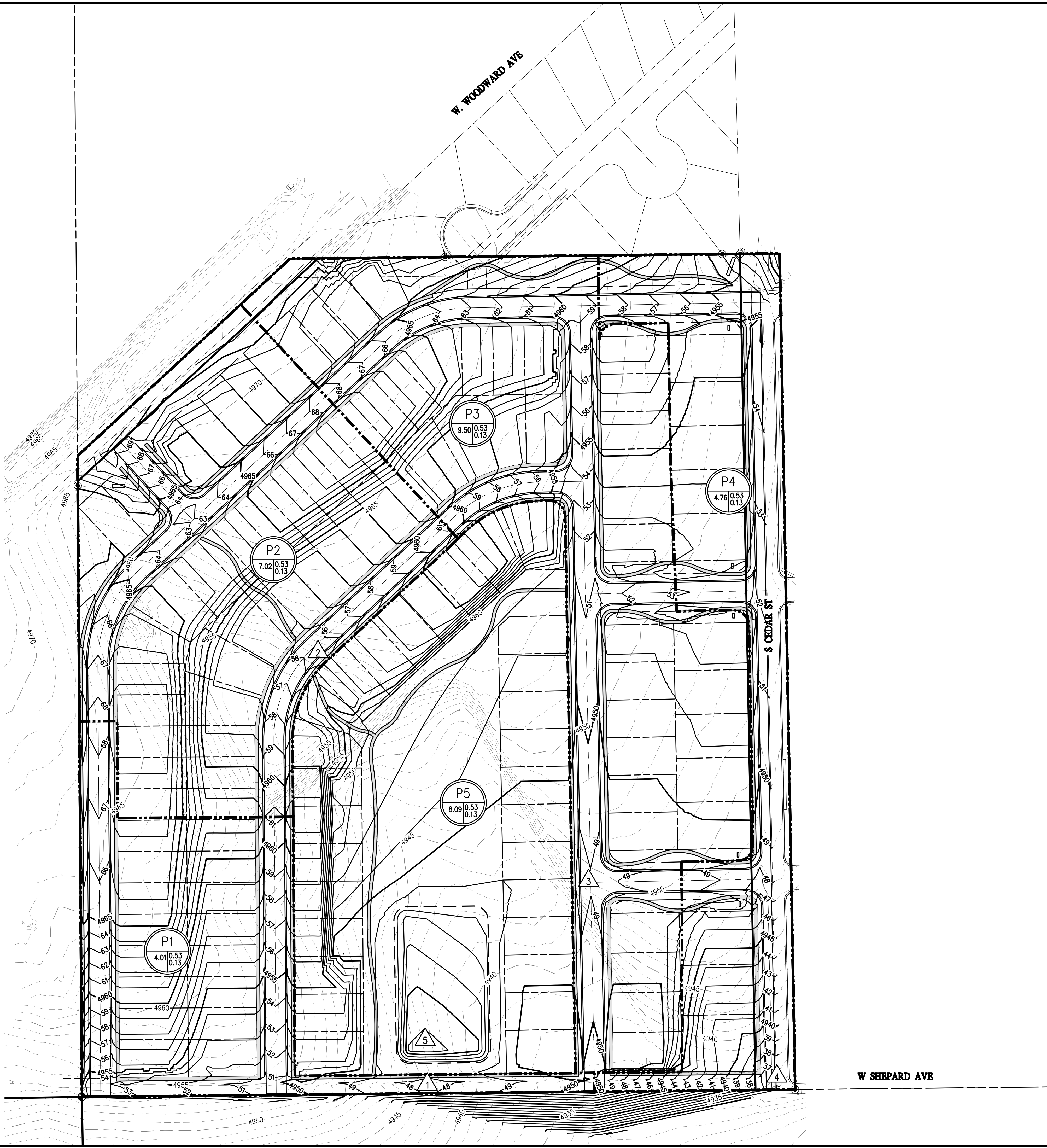
C= DEVELOPED 100YR COEFFICIENT

D= DEVELOPED 5YR COEFFICIENT



1
DR2 | DR2

PR DNG PLAN



MSP COMPANIES

TOWN OF KEENESBURG
WELD COUNTY
VISTA WEST
PR DNG PLAN

PREPARED UNDER THE DIRECT SUPERVISION OF

PRELIMINARY
NOT FOR
CONSTRUCTION

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL	05/10/2021
DRAWING SIZE	24" x 36"
SURVEY FIRM	FLATIRON
SURVEY DATE	10/02/2020
JOB NO.	C03490
DRAWING NAME	3490 DRAINAGE PLANS.dwg
SHEET	8 OF 12

DR2

BASELINE

Engineering • Planning • Surveying

102 N RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403
P: 303.940.9966 • F: 303.940.9969 • www.baselinecorp.com

DESIGNED BY	SPC
DRAWN BY	SPC
CHECKED BY	MLL

REVISION	DESCRIPTION	DATE	PREPARED BY

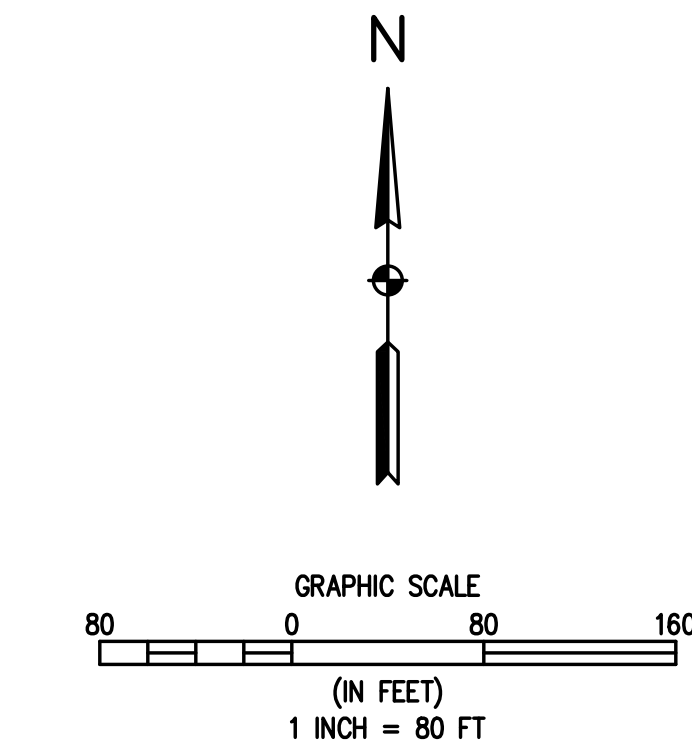
[illegible]

MSP COMPANIES	
TOWN OF KEENESBURG	WELD COUNTY
VISTA WEST	
LANDSCAPING & TRAILS PLAN	

PREPARED UNDER THE DIRECT
SUPERVISION OF

**PRELIMINARY
NOT FOR
CONSTRUCTION**

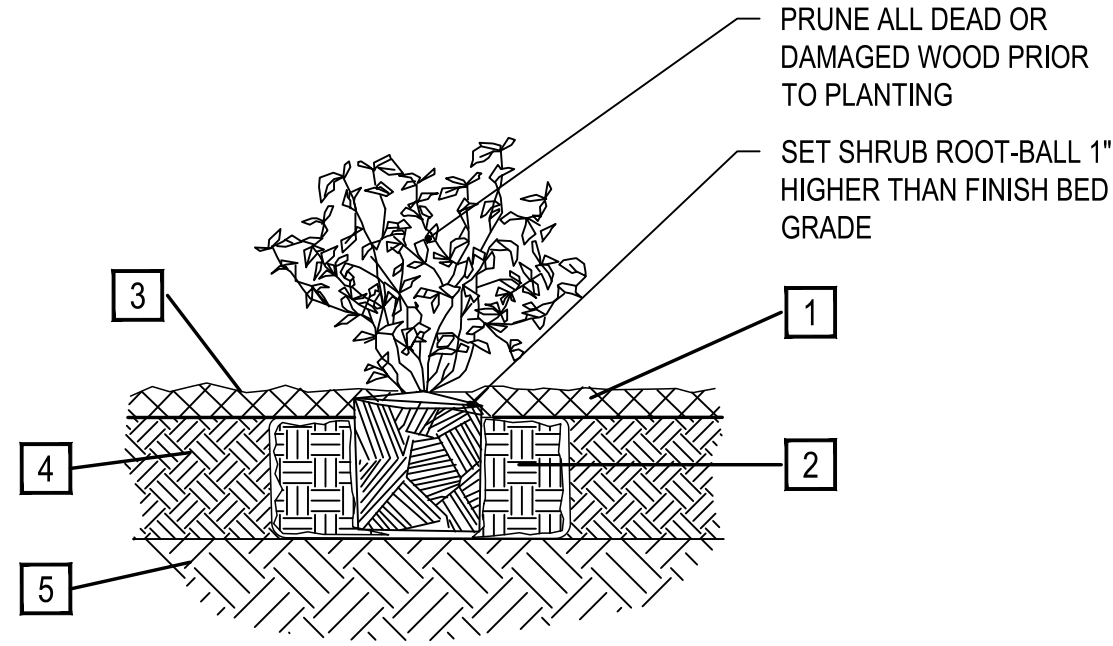
FOR AND ON BEHALF OF BASELINE CORPORATION	
INITIAL SUBMITTAL	05/10/2021
DRAWING SIZE	24" X 36"
SURVEY FIRM	SURVEY DATE
FLATRONS	10/02/2020
JOB NO.	C03490
DRAWING NAME	
3490 LANDSCAPING PLAN.dwg	
SHEET	9 OF 12



N:\co3490 - Summerfield - Keenesburg\Drawings\Sketch Plan\3490 LANDSCAPING PLAN.dwg, 5/10/2021 12:28:52 PM, Sean Callahan

1 SHRUB PLANTING

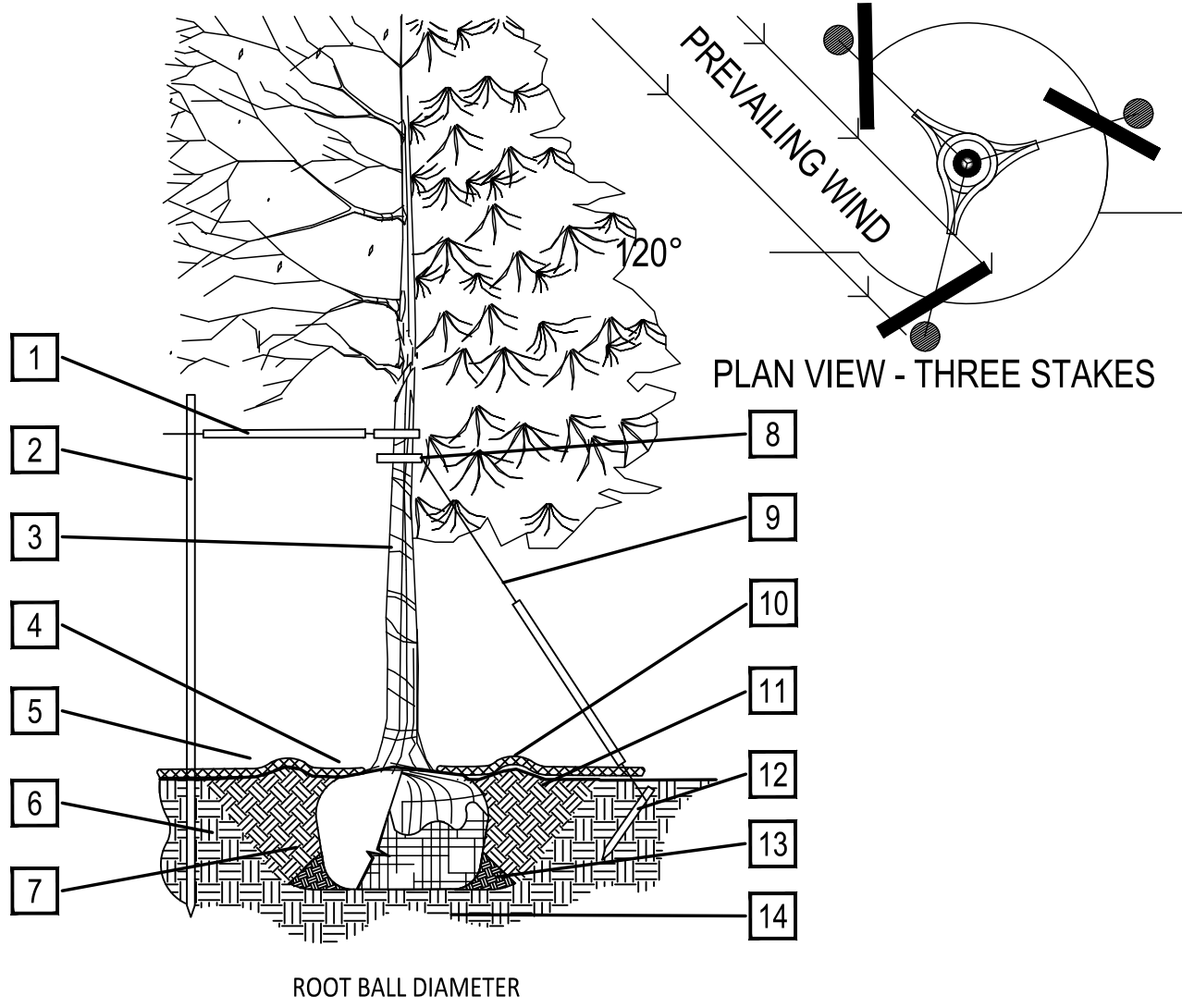
SCALE: 1-1/2" = 1'-0"



- 1 SPECIFIED MULCH
2 AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
3 FINISH GRADE (TOP OF MULCH)
4 AMENDED TOPSOIL
5 EXISTING SUBGRADE
- NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

2 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



- PRUNING NOTES:
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY 120° CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:
1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
2. 1.1 1-3/4" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
1.2 1-3/4" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
1.3 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
3. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- 1 PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
2 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
3 TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
4 PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
5 3" DEEP WOOD MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
6 1:1 SLOPE ON SIDES OF PLANTING HOLE.
7 REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
8 GROMMETED NYLON STRAPS
9 GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
10 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
11 BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
12 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
13 PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
14 PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

BASELINE

Engineering - Planning - Surveying

102 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403
P. 303.940.9966 • F. 303.940.9968 • www.baselinecorp.com

DESIGNED BY
SPC

DRAWN BY
SPC

CHECKED BY
MLL

REVISION

DESCRIPTION

DATE

PREPARED BY

MSP COMPANIES

TOWN OF KEENESBURG

WELD COUNTY

VISTA WEST

LANDSCAPING DETAILS

FOR AND ON BEHALF OF
BASELINE CORPORATION

PREPARED UNDER THE DIRECT
SUPERVISION OF

PRELIMINARY
NOT FOR
CONSTRUCTION

INITIAL SUBMITTAL

05/10/2021

DRAWING SIZE

24" x 36"

SURVEY FIRM

FLATIRON

SURVEY DATE

10/02/2020

JOB NO.

C03490

DRAWING NAME

3490 LANDSCAPING PLAN.dwg

SHEET

10

OF

12

L2

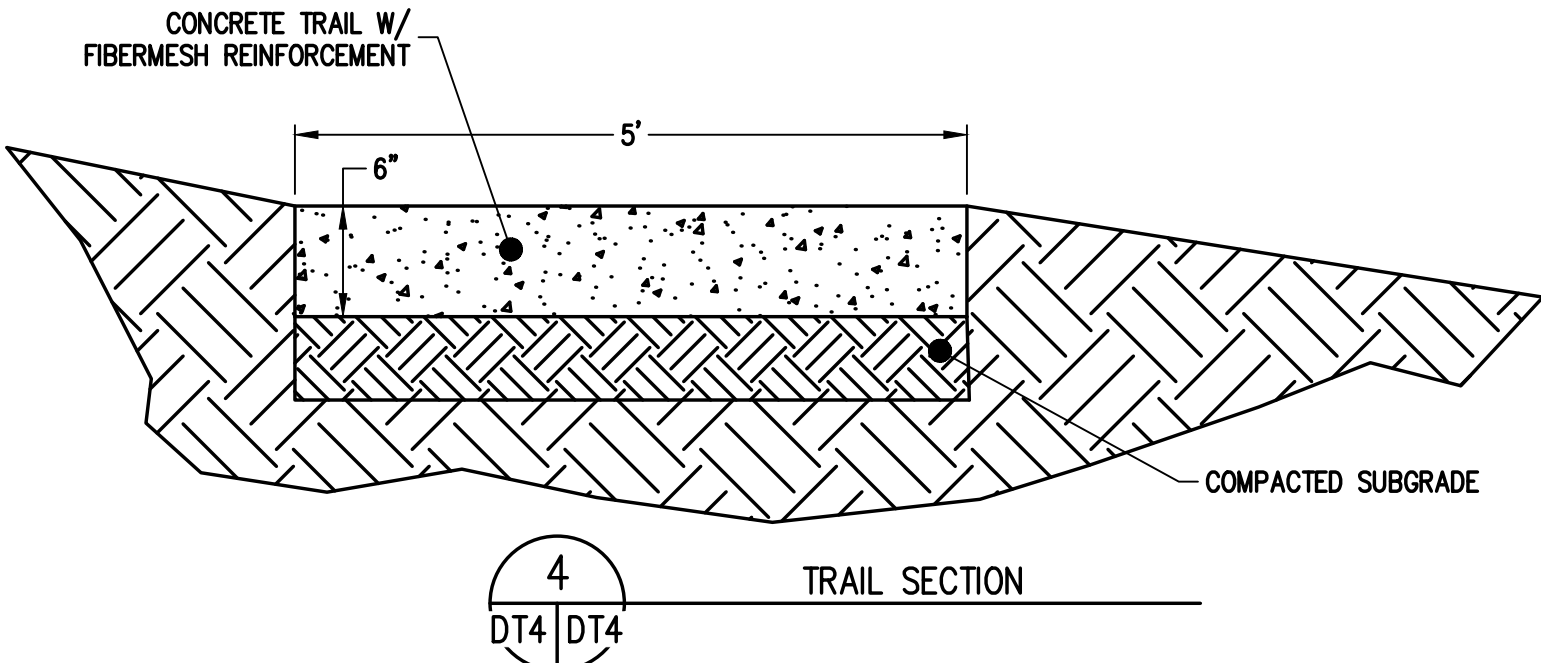
N:\co3490 - Summerfield - Keenesburg\Drawings\Sketch Plan\3490 COVER DETS.dwg, 5/10/2021 12:28:59 PM, Sean Colahan



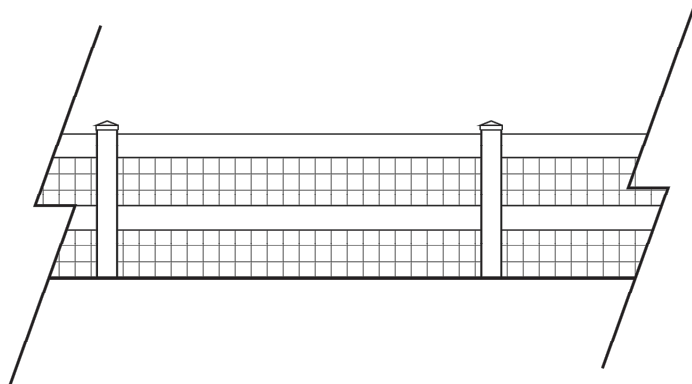
MONUMENT SIGN CONCEPT



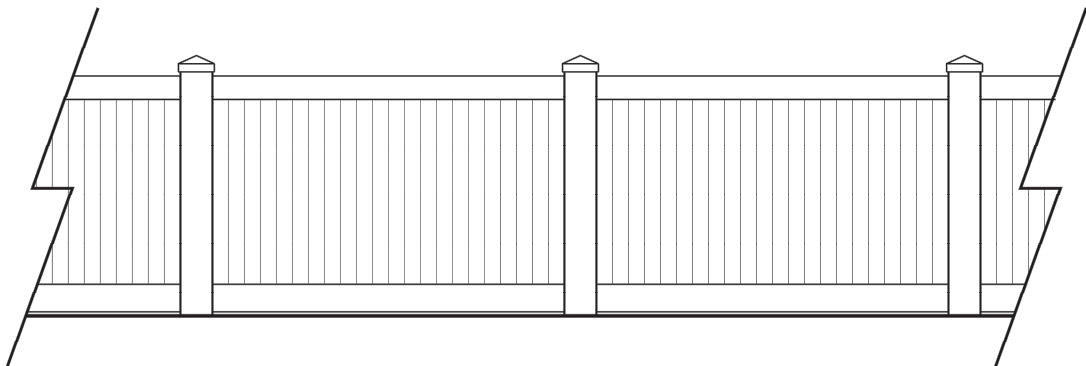
MONUMENT PILLAR CONCEPT



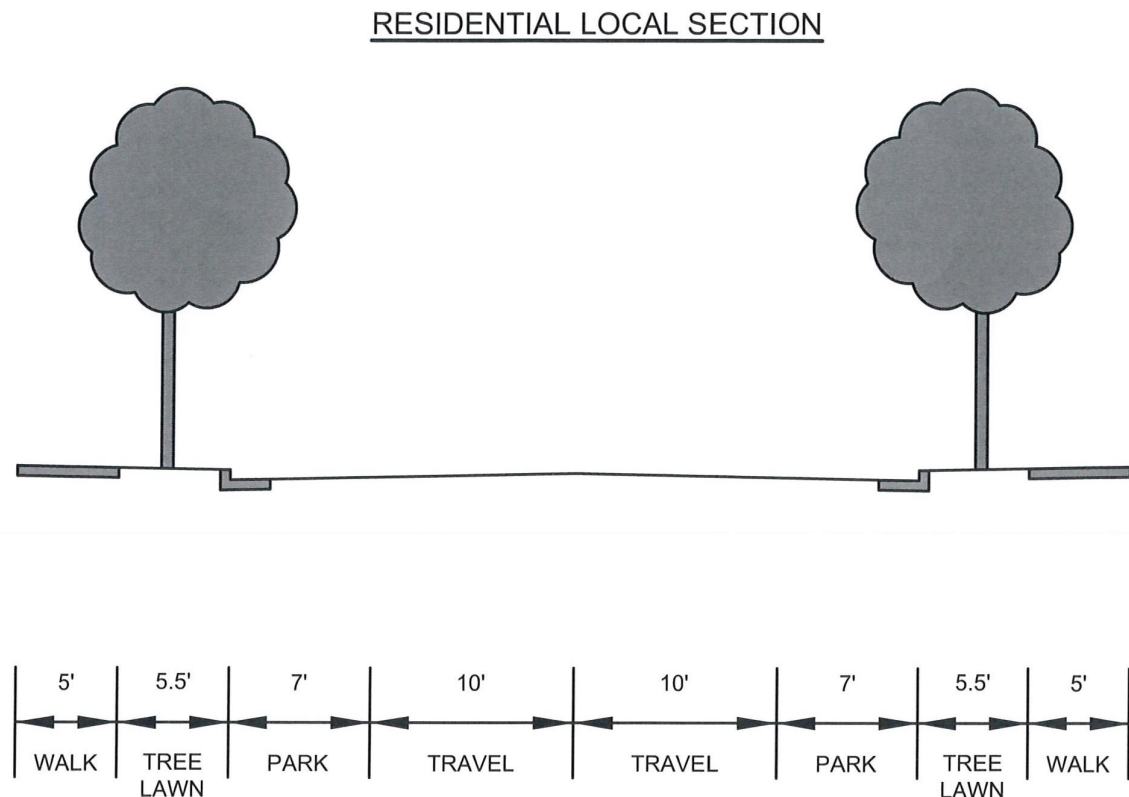
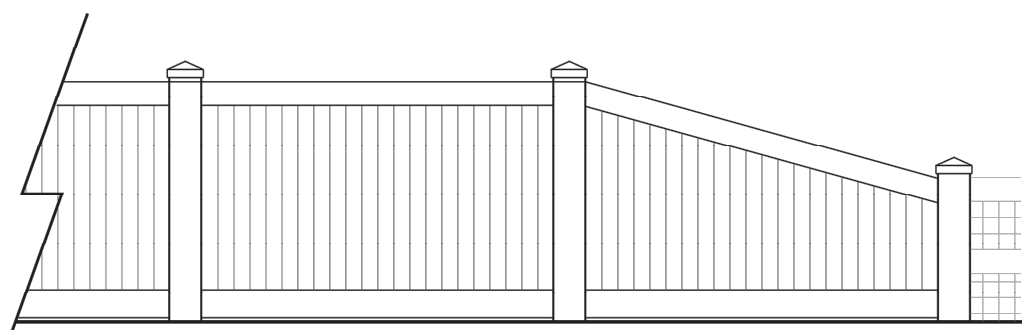
3' HEIGHT
2- RAIL FENCE - ELEVATION
SCALE= 1/4"= 1'-0"



5' HEIGHT
PRIVACY FENCE - ELEVATION
SCALE= 1/4"= 1'-0"



PRIVACY FENCE TRANSITION- ELEVATION
SCALE= 1/4"= 1'-0"



- NOTES:
1. ALTERNATIVE SECTION WITH 60' ROW NOTED BELOW.
 2. TREE LAWN LANDSCAPING TO BE PROJECT-SPECIFIC.

RIGHT OF WAY WIDTH: 55' 60'
ROADWAY WIDTH: 34' 36'
SIDEWALK: 5'
BIKE LANES: NO
PARKING: YES
TREE LAWN: 5.5' 7'
MEDIAN: NO
DESIGN SPEED: 30 MPH
SPEED LIMIT: 25 MPH
TYPICAL VOLUME: 200-1,500 VPD

RESIDENTIAL LOCAL SECTION



420 LINDEN ST, SUITE 110
FORT COLLINS, CO 80524
970-232-9559
www.pec1.com

SCALE: NONE
DATE: 12/20/2019
REVISION NO.:
DETAIL NO.:



3
DT3 DT3

LOCAL STREET SECTION



Engineering & Planning - Surveying
102 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403
P. 303.940.9966 • F. 303.940.9969 • www.baselinecorp.com

DESIGNED BY: SPC
DRAWN BY: SPC
CHECKED BY: MILL

DATE: _____
PREPARED BY: _____

REVISION DESCRIPTION: _____

MSP COMPANIES
VISTA WEST
SITE DETAILS
WELD COUNTY
TOWN OF KEENESBURG

PREPARED UNDER THE DIRECT SUPERVISION OF

PRELIMINARY
NOT FOR
CONSTRUCTION

FOR AND ON BEHALF OF
BASELINE CORPORATION

INITIAL SUBMITTAL 05/10/2021

DRAWING SIZE 24" X 36"

SURVEY FIRM FLATIRON

SURVEY DATE 10/02/2020

JOB NO. C03490

DRAWING NAME 3490 COVER DETS.dwg

SHEET 11 OF 12

D1



BASELINE

Engineering • Planning • Surveying

112 N. RIBEY DRIVE, SUITE 210 • GOLDEN, COLORADO 80403

P. 303.940.9966 • F. 303.940.9968 • WWW.BASELINECORP.COM

DESIGNED BY

SPC

DRAWN BY

SPC

CHECKED BY

MLL

REVISION	DESCRIPTION	DATE	PREPARED BY

MSP COMPANIES

TOWN OF KEENESBURG

WELD COUNTY

VISTA WEST

ELEVATIONS

FOR AND ON BEHALF OF

BASELINE CORPORATION

INITIAL SUBMITTAL

05/10/2021

DRAWING SIZE

24" X 36"

SURVEY FIRM

FLATIRON

SURVEY DATE

10/02/2020

JOB NO.

C03490

DRAWING NAME

3490 COVER DETS.dwg

SHEET

12

OF

12

PRELIMINARY

NOT FOR

CONSTRUCTION

NOTE:

THE ARCHITECTURAL ELEVATIONS SHOWN HEREON ARE INTENDED

ONLY TO DEPICT THE ARCHITECTURAL QUALITY AND CHARACTER

OF HOUSING WITHIN THE SUBDIVISION AND MAY VARY BY SPECIFIC

BUILDER.

E1