

DWG: Y:\2020\2501-3000\020-2538\40-Design\AutoCAD\Preliminary Plans\Sheets\GNCV\C\_COV\_0202538.dwg  
DATE: Oct 29, 2020 12:36pm XREFS: C\_TBLK-PRE-0202538 USER: whoey

PROJECT TEAM:

**DEVELOPER / APPLICANT:**  
KUM & GO L.C.  
1459 GRAND AVENUE  
DES MOINES, IA 50309  
CONTACT: RYAN HALDER  
PH: (515) 457-6232  
EMAIL: ryan.halder@kumandgo.com

**ENGINEER:**  
OLSSON  
1880 FALL RIVER DRIVE, SUITE 200  
LOVELAND, CO 80538  
CONTACT: JOSH ERRAMOUSPE, P.E.  
PH: (970) 461-7733  
EMAIL: jerramouspe@olsson.com

**GEOTECHNICAL ENGINEER:**  
OLSSON  
3990 FOX STREET  
DENVER, CO 80216  
CONTACT: LINDSAY TITA  
PH: (303) 237-2072  
EMAIL: ltita@olsson.com

**LANDSCAPE ARCHITECT:**  
OLSSON  
7250 N. 16TH STREET SUITE 210  
PHOENIX, AZ 85020  
CONTACT: AMY SCHWENNER, PLA  
PH: (602) 748-1000  
EMAIL: aschwenner@olsson.com

**SURVEYOR:**  
OLSSON  
1525 RALEIGH ST, SUITE 400  
DENVER, CO 80204  
CONTACT: NICHOLAS SCHRADER  
PH: (303) 347-3114  
EMAIL: nschrader@olsson.com

**ELECTRIC:**  
UNITED POWER  
500 COOPERATIVE WAY  
BRIGHTON, CO 80603  
CONTACT: HECTOR AVENDANO  
PH: (720) 685-5623  
EMAIL: havendano@unitedpower.com

**WATER / SANITARY SEWER / STORM SEWER:**  
TOWN OF KEENESBURG PUBLIC WORKS  
91 W. BROADWAY AVENUE  
KEENESBURG, CO 80643  
CONTACT: MARK GRAY  
PH: (303) 437-4970  
EMAIL: pwdirector@tebb.net

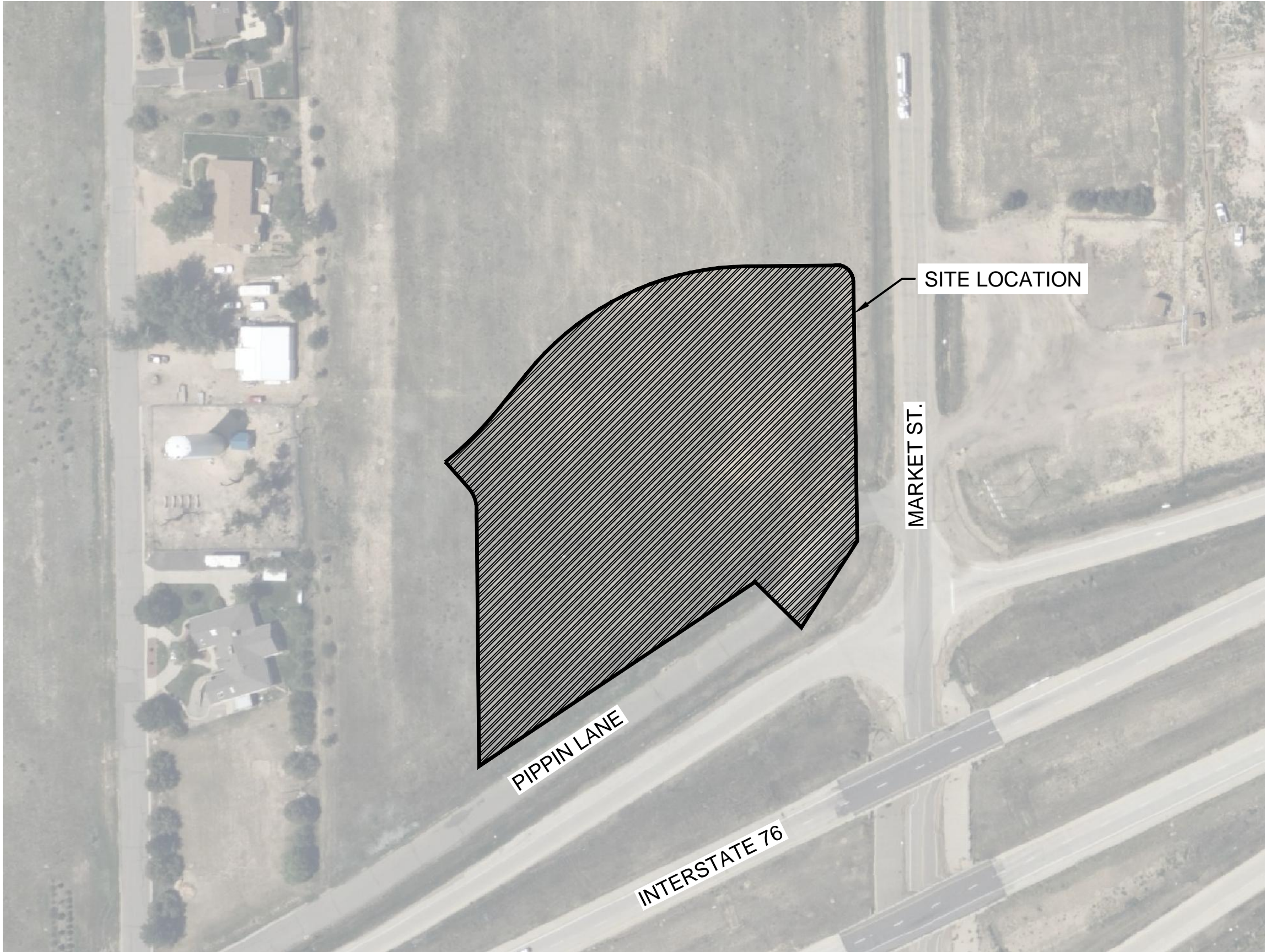
**TELEPHONE:**  
CENTURYLINK  
CONTACT: BOB RAMSEY  
PH: (720) 244-3078  
EMAIL: bob.ramsey@umen.com

**GAS:**  
ATMOS ENERGY  
710 COUNTY ROAD 59  
KEENESBURG, CO 80643

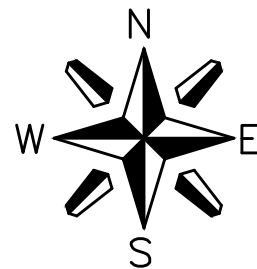
**STATE DEPT. OF TRANS.:**  
CDOT  
10601 W. 10TH ST.  
GREELEY, CO 80634  
CONTACT: TIM BILOBRAN  
PH: (970) 350-2163  
EMAIL: timothy.bilobran@state.co.us



WHERE & MEANS MORE.



VICINITY MAP  
NOT TO SCALE



DEVELOPMENT PLANS  
STORE #2906  
240 MARKET STREET  
KEENESBURG, CO 80643  
MARKET ST. & WELD COUNTY RD. 18  
KEENESBURG, CO

REV	SHEET INDEX	
	1	COVER SHEET
	2	OVERALL SITE PLAN
	3	ENLARGED SITE PLAN
	4	ENLARGED SITE PLAN
	5	GRADING PLAN
	6	DRAINAGE PLAN
	7	PRELIMINARY UTILITY PLAN
	8	LANDSCAPE PLAN
	9	LANDSCAPE DETAILS & NOTES
	10	PHOTOMETRIC PLAN
	11	EXTERIOR ELEVATIONS
	12	CANOPY ELEVATIONS
	13	DIESEL CANOPY ELEVATIONS
	14	TRASH ENCLOSURE ELEVATIONS
	15	SIGN ELEVATIONS

SITE DATA		
STORE TYPE		MARKETPLACE
CANOPY / DISPENSER ARRANGEMENT		FUEL - 8 DISPENSERS (DOUBLE) DIESEL - 3 DISPENSERS
TYPE OF USE		CONVENIENCE STORE WITH FUEL
HEIGHT	HIGHEST BUILDING ELEVATION	22'-7" (MIN.)
	TOP OF PARAPET ELEVATION	21'-0" & 17'-10" (MIN.)
	CANOPY	HIGHEST ELEVATION 20'-10" (MIN.) 17'-6" TOP OF FASCIA (MIN.) 15'-6" CLEARANCE (MIN.)
GROSS FLOOR AREA		5,997 S.F.
GROSS CANOPY AREA		7,299 S.F.
GROSS LOT AREA		±118,931 S.F. ±2.73 ACRES
FAR		0.112
BUILDING COVERAGE		5,997 S.F. (5.0%)
LANDSCAPE COVERAGE		34,284 S.F. (28.8%)
PARKING/DRIVE/SIDEWALK COVERAGE		78,650 S.F. (66.2%)
BICYCLE PARKING		1
REQUIRED PARKING	STANDARD	19
	ADA	1
	TOTAL	20
	PARKING RATIO = 1 CAR / 300 S.F.	
PROVIDED PARKING	STANDARD	29
	ADA	2
	DIESEL	5
	TOTAL	36
PARKING RATIO = 1.80 CARS / 300 S.F.		

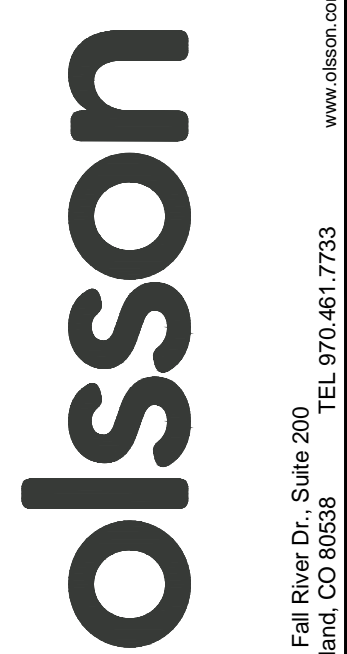
ZONING INFORMATION	
CH - HIGHWAY COMMERCIAL	
MINIMUM LOT AREA	10,000 S.F.
MINIMUM LOT WIDTH	50'
SITE AREA PER UNIT	NO REQUIREMENT
FRONT YARD SETBACK (NORTH)	25'
LEFT SIDE YARD SETBACK (WEST)	10'
RIGHT SIDE YARD SETBACK (EAST)	10'
REAR YARD SETBACK (SOUTH)	10'
MAXIMUM HEIGHT	35'
MAXIMUM BUILDING COVERAGE	80%
MAXIMUM IMPERVIOUS COVERAGE	80%
MAXIMUM FLOOR AREA RATIO	0.75

CONFIDENTIAL DOCUMENT:  
INFORMATION CONTAINED IN THIS DOCUMENT IS  
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CALL 811 SEVENTY-TWO HOURS PRIOR TO  
DIGGING, GRADING OR EXCAVATING FOR THE  
MARKING OF UNDERGROUND MEMBER UTILITIES.

TOWN PLANNING APPROVAL



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1459 Grand Avenue  
Des Moines, Iowa  
50309  
P: 515-226-0128  
F: 515-223-9873

#2906 - KEENESBURG, CO  
240 MARKET STREET  
COVER SHEET

KG PROJECT TEAM:  
RDM: TOM CARRICO  
SDM: RYAN HALDER  
CPM: PERRY DEPHILLIPS

REVISION DESCRIPTION

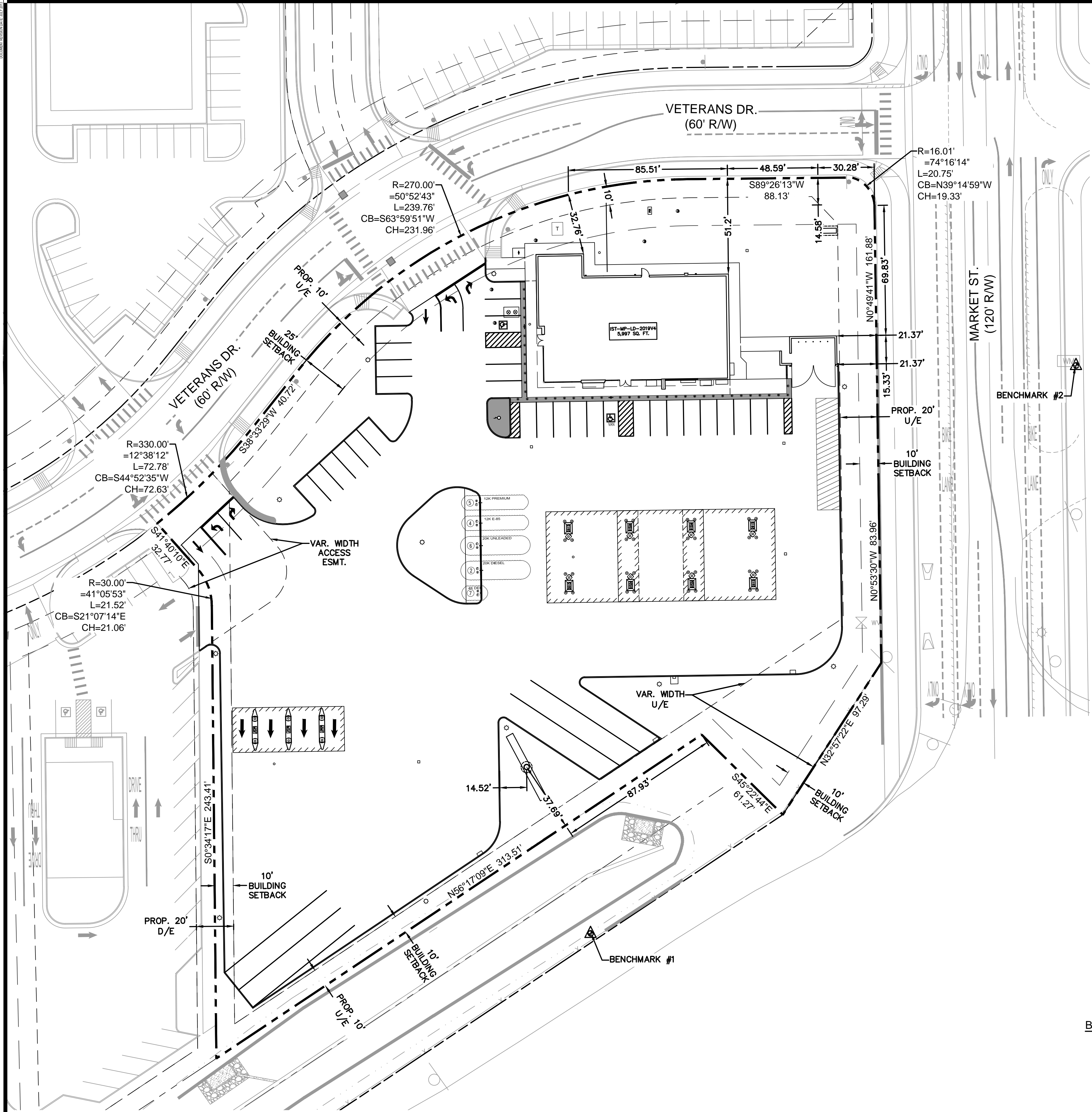
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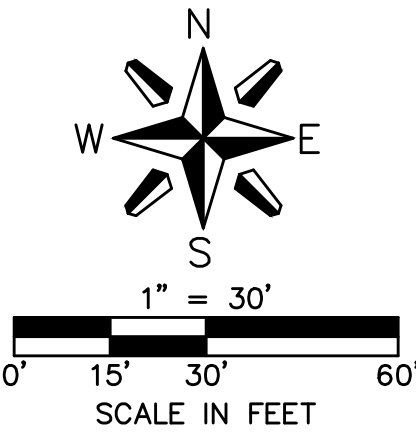
**BASIS OF BEARING:**

BEARINGS BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 2 NORTH, RANGE 64 WEST OF THE 6TH P.M. BEING MONUMENTED AT THE NORTHWEST CORNER OF THE SAID NORTHWEST QUARTER BY FOUND 3.25" ALUMINUM CAP IN RANGE BOX STAMPED "2014 LS 37971" FROM WHICH THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER, BEING MARKED BY A FOUND 2.5" ALUMINUM CAP IN RANGE BOX (BEING ILLEGIBLE) BEARS N89°26'13"E, A DISTANCE OF 2638.80 FEET.

**BENCHMARKS:**

BM#1-3" BRASS CAP IN CONCRETE, STAMPED "NATIONAL GEODETIC SURVEY ACD1" LYING FIVE FEET WEST OF A CONCRETE IRRIGATION DITCH NEAR THE INTERSECTION OF COUNTY ROAD 18 AND NORTH CEDAR STREET, AND THIRTY FEET NORTH OF THE CENTERLINE OF COUNTY ROAD 18.  
ELEV.=5015.39 (NAVD 88)

BM#2-#5 REBAR WITH RED PLASTIC CAP SET FLUSH WITH THE GROUND ALONG THE SOUTH SIDE OF THE PROJECT ON THE SOUTH SIDE THE PROJECT BETWEEN PIPPIN LANE AND THE ON RAMP.  
ELEV.=4996.68 (NAVD 88)



Know what's below.  
Call before you dig.

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**LEGEND**

	PROPOSED BOUNDARY
	PROPERTY LINE
	EXISTING RIGHT-OF-WAY LINE
	SETBACK LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	PROPOSED INTEGRAL CONCRETE CURB
	PROPOSED BUILDING
	ADA ACCESSIBLE ROUTE
	EXISTING RETAINING WALL
	PROPOSED BOLLARD
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED SAMPLING MANHOLE
	PROPOSED GREASE INTERCEPTOR
	PROPOSED WATER METER
	PROPOSED IRRIGATION METER
	PROPOSED STORM SEWER CLEANOUT
	PROPOSED STORM SEWER STRUCTURE
	PROPOSED TRANSFORMER
	PARKING STALL COUNT PER BAY
	BENCHMARK
	EXIST. DECIDUOUS TREE
	EXIST. DECIDUOUS TREE
	EXIST. ELECTRIC BOX
	EXIST. FIBER OPTIC PEDESTAL
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	EXIST. WATER METER
	UTILITY EASEMENT
	CHORD LENGTH
	LENGTH
	DELTA
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**TOWN PLANNING APPROVAL**

**olsson**

1859 Fall River Dr., Suite 200  
Keenesburg, CO 80638  
TEL: 970.461.7733  
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#2906 - KEENESBURG, CO

240 MARKET STREET

SITE PLAN

KG PROJECT TEAM:  
RDM: TOM CARRICO  
SDM: RYAN HALDER  
CPM: PERRY DEPHILLIPS

REVISION DESCRIPTION

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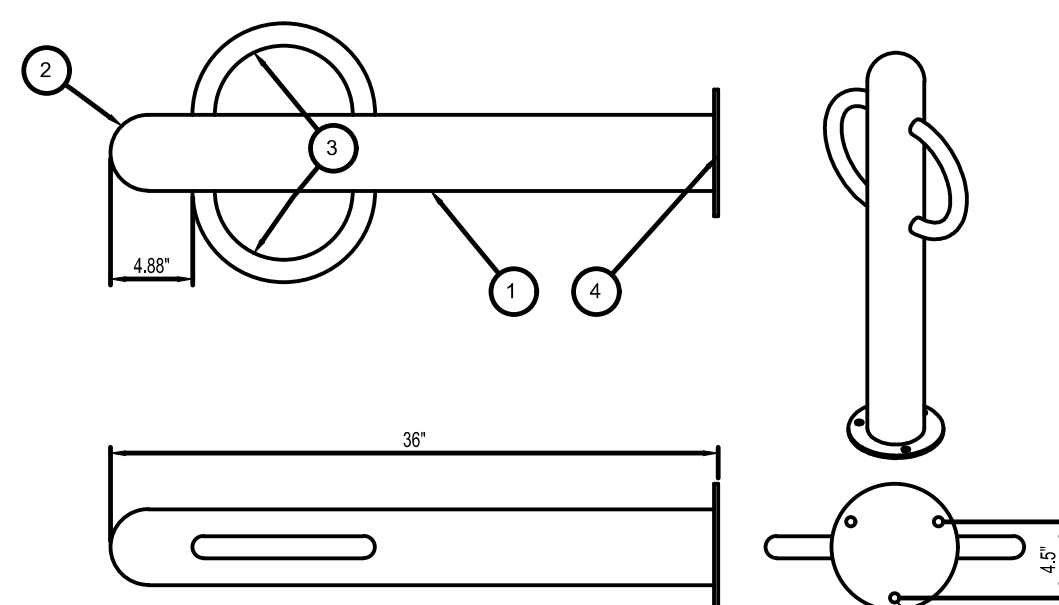
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[illegible]

\*Available in powder coat and DuraCoat finishes

**NOTES:**

1. BIKE RACK TO BE INSTALLED IN CENTER OF 5'-0" x 6'-6" CONCRETE PAD.
2. BOLLARD SHALL HAVE A ONYX POWDER COAT FINISH.

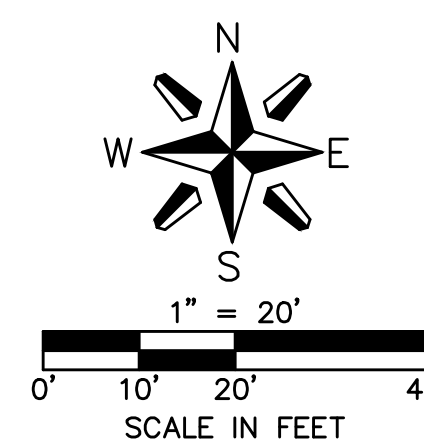
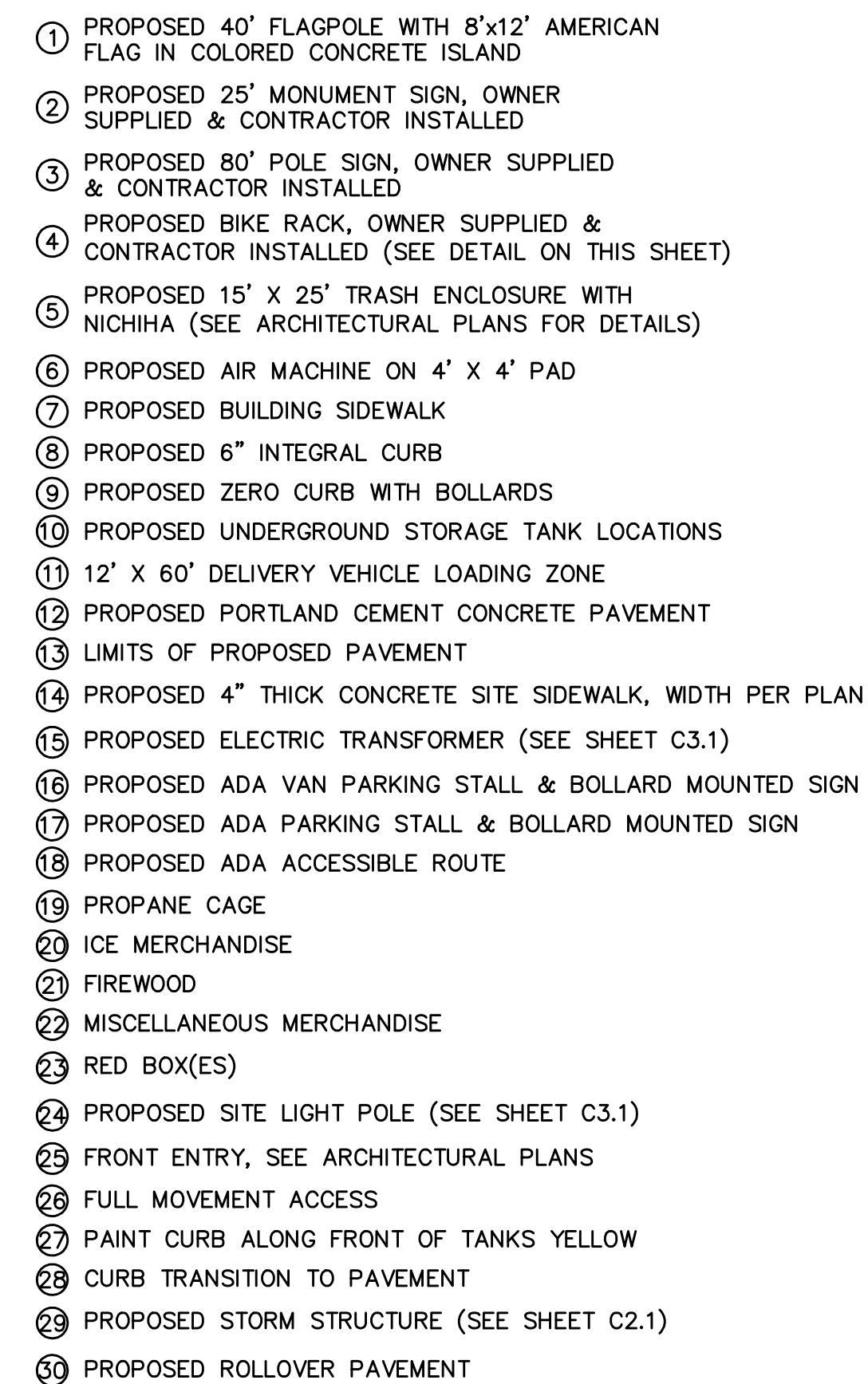
**MATERIALS LIST**

- (1) TUBING -  $\phi 4\frac{1}{2}" \times \frac{1}{8}"$  WALL STEEL TUBING.
- (2) CAP -  $\phi 4\frac{1}{2}" \times \frac{1}{8}"$  WALL STEEL DOME.
- (3) LOOP -  $\phi 1\frac{1}{2}" \times .133"$  WALL STEEL TUBING.
- (4) SURFACE PLATE  $\phi 7\frac{1}{2}" \times \frac{1}{4}"$  THICK STEEL PLATE WITH  $\phi 9\frac{1}{2}"$  MOUNTING HOLES.
- (5) MOUNTED WITH THREE  $\phi 2" \times 4\text{'}$ -5" STAINLESS STEEL ANCHOR BOLTS (CUSTOMER SUPPLIED).

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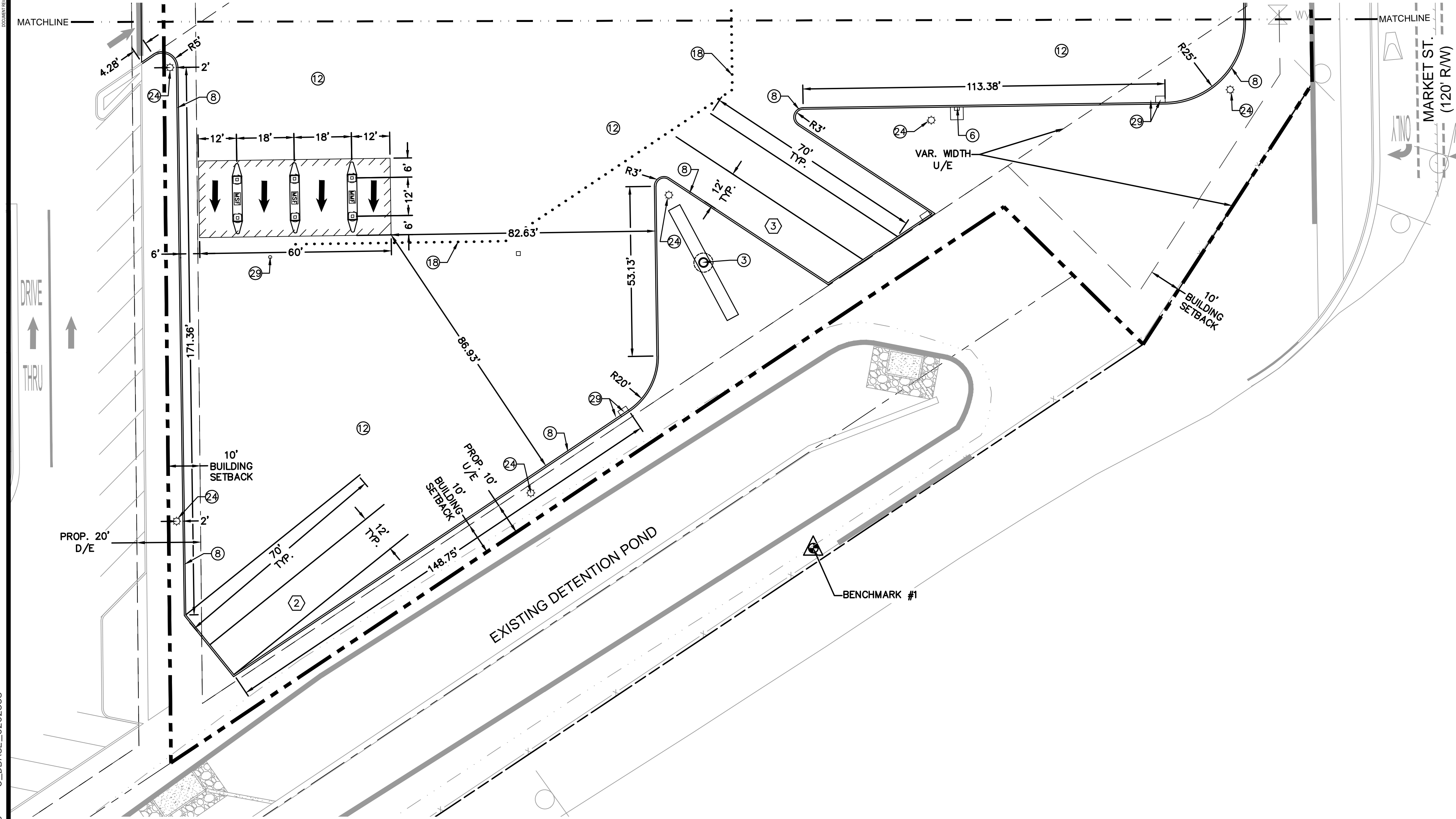
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FILEV=5015.39 (NAVD 88)

BM#2-#5 REBAR WITH RED PLASTIC CAP SET FLUSH WITH THE  
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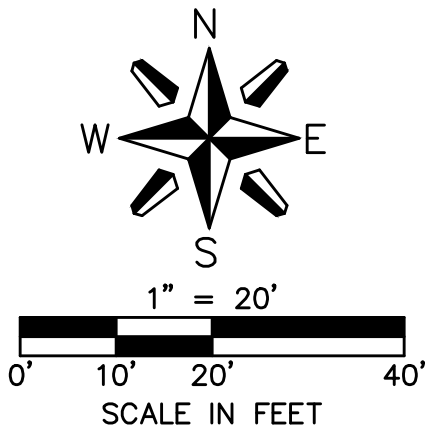
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**FLAG NOTES:**

- PROPOSED 40' FLAGPOLE WITH 8'x12' AMERICAN FLAG IN COLORED CONCRETE ISLAND
- PROPOSED 25' MONUMENT SIGN, OWNER SUPPLIED & CONTRACTOR INSTALLED
- PROPOSED 80' POLE SIGN, OWNER SUPPLIED & CONTRACTOR INSTALLED
- PROPOSED BIKE RACK, OWNER SUPPLIED & CONTRACTOR INSTALLED (SEE DETAIL ON THIS SHEET)
- PROPOSED 15' X 25' TRASH ENCLOSURE WITH NICHHA (SEE ARCHITECTURAL PLANS FOR DETAILS)
- PROPOSED AIR MACHINE ON 4' X 4' PAD
- PROPOSED BUILDING SIDEWALK
- PROPOSED 6" INTEGRAL CURB
- PROPOSED ZERO CURB WITH BOLLARDS
- PROPOSED UNDERGROUND STORAGE TANK LOCATIONS
- 12' X 60' DELIVERY VEHICLE LOADING ZONE
- PROPOSED PORTLAND CEMENT CONCRETE PAVEMENT
- LIMITS OF PROPOSED PAVEMENT
- PROPOSED 4" THICK CONCRETE SITE SIDEWALK, WIDTH PER PLAN
- PROPOSED ELECTRIC TRANSFORMER (SEE SHEET C3.1)
- PROPOSED ADA VAN PARKING STALL & BOLLARD MOUNTED SIGN
- PROPOSED ADA PARKING STALL & BOLLARD MOUNTED SIGN
- PROPOSED ADA ACCESSIBLE ROUTE
- PROPANE CAGE
- ICE MERCHANDISE
- FIREWOOD
- MISCELLANEOUS MERCHANDISE
- RED BOX(ES)
- PROPOSED SITE LIGHT POLE (SEE SHEET C3.1)
- FRONT ENTRY, SEE ARCHITECTURAL PLANS
- FULL MOVEMENT ACCESS
- PAINT CURB ALONG FRONT OF TANKS YELLOW
- CURB TRANSITION TO PAVEMENT
- PROPOSED STORM STRUCTURE (SEE SHEET C2.1)



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240 MARKET STREET

ENLARGED SITE PLAN

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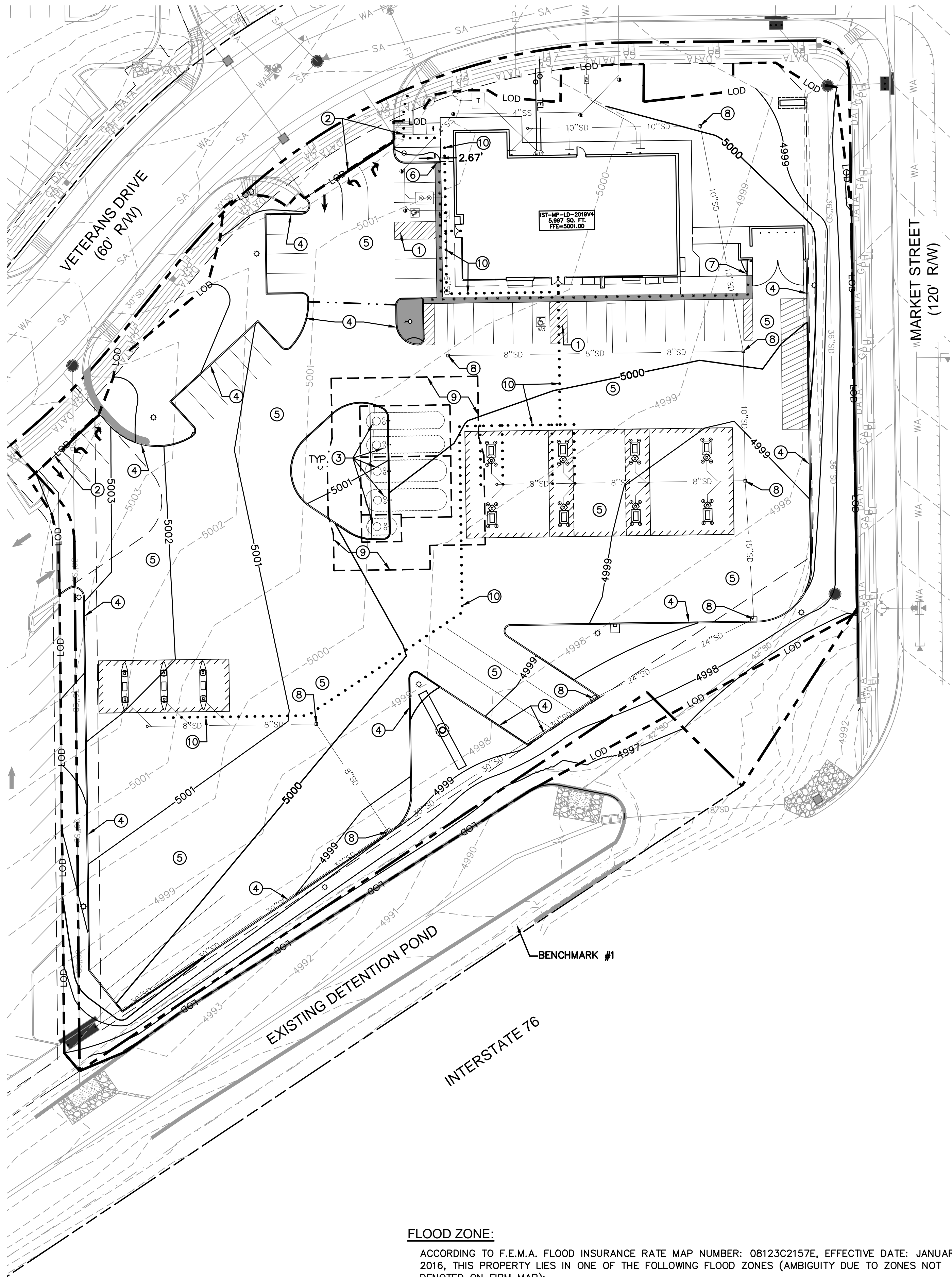
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FLOOD ZONE:

ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER: 08123C2157E, EFFECTIVE DATE: JANUARY 20, 2016, THIS PROPERTY LIES IN ONE OF THE FOLLOWING FLOOD ZONES (AMBIGUITY DUE TO ZONES NOT DENOTED ON FIRM MAP):  
- OTHER AREA - ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
- OTHER AREA - ZONE D: AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

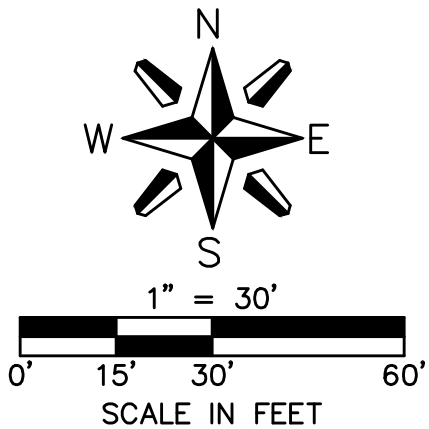
NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER/SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE ENGINEER/SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, THE ENGINEER/SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES.

BENCHMARKS:

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FLAG NOTES:

- ① ADA ACCESSIBLE STALL AND AISLE, NOT TO EXCEED 2.00% GRADE IN ANY DIRECTION
- ② MATCH EXISTING GRADE, CONTRACTOR SHALL FIELD VERIFY
- ③ ALL LIDS FOR UNDERGROUND TANKS TO BE 1" ABOVE FINISHED GRADE
- ④ PROPOSED CONCRETE INTEGRAL CURB
- ⑤ PROPOSED CONCRETE PAVEMENT
- ⑥ CONSTRUCT TRANSITION CURB/SIDEWALK PAVEMENT, LENGTH PER PLAN
- ⑦ CONSTRUCT 2'-0" TRANSITION OF CURB TO PAVEMENT
- ⑧ PROPOSED STORM SEWER STRUCTURE, SEE SHEET C2.1
- ⑨ TYPICAL UNDERGROUND STORAGE TANK OVERDIG LIMITS
- ⑩ PROPOSED ADA ACCESSIBLE ROUTE

LEGEND

- |  |   |
|--|---|
|  | PROPOSED BOUNDARY                         |
|  | EXISTING RIGHT-OF-WAY LINE                |
|  | PROPOSED INTEGRAL CONCRETE CURB           |
|  | PROPOSED BUILDING                         |
|  | LIMITS OF DISTURBANCE                     |
|  | PROPOSED DEVELOPMENT MASS GRADING CONTOUR |
|  | PROPOSED CONTOUR                          |
|  | BREAK IN GRADE                            |
|  | PROPOSED BOLLARD                          |
|  | PROPOSED SANITARY SEWER CLEANOUT          |
|  | PROPOSED SAMPLING MANHOLE                 |
|  | PROPOSED GREASE INTERCEPTOR               |
|  | PROPOSED WATER METER                      |
|  | PROPOSED IRRIGATION METER                 |
|  | PROPOSED STORM SEWER CLEANOUT             |
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|  | EXIST. POWER POLE                         |
|  | EXIST. SIGN                               |
|  | EXIST. SANITARY SEWER MANHOLE             |
|  | EXIST. WOOD POST                          |
|  | EXIST. WOOD POST                          |



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#2906 - KEENESBURG, CO

240 MARKET STREET

GRADING PLAN

KG PROJECT TEAM:  
RDM: TOM CARRICO  
SDM: RYAN HALDER  
CPM: PERRY DEPHILLIPS

REVISION DESCRIPTION

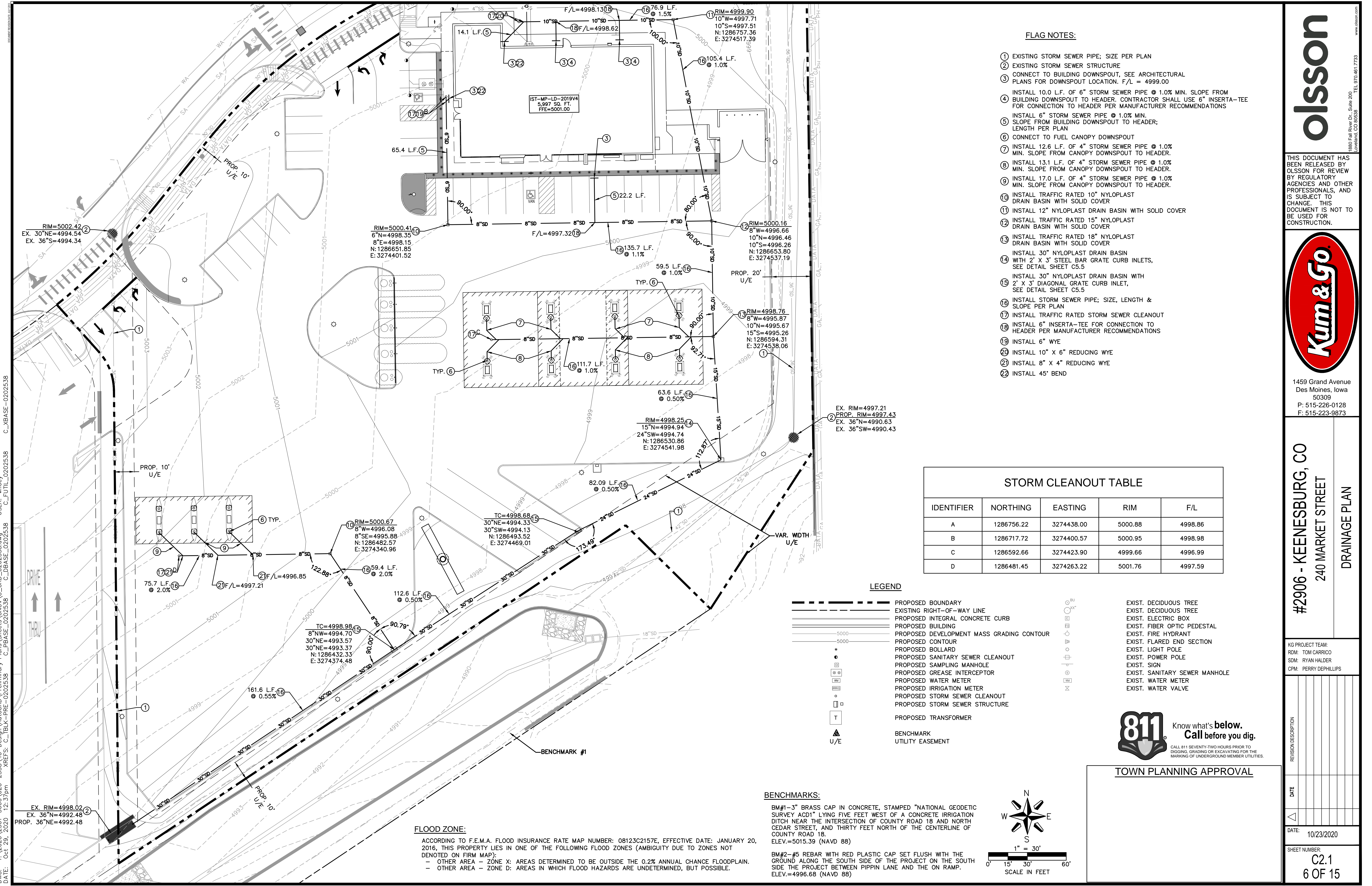
DATE

DATE

SHEET NUMBER:

C2.0  
5 OF 15





FLAG NOTES:

- 1 EXISTING STORM SEWER PIPE; SIZE PER PLAN
- 2 EXISTING STORM SEWER STRUCTURE
- 3 CONNECT TO BUILDING DOWNSPOUT, SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATION. F/L = 4999.00
- 4 INSTALL 10.0 L.F. OF 6" STORM SEWER PIPE @ 1.0% MIN. SLOPE FROM BUILDING DOWNSPOUT TO HEADER. CONTRACTOR SHALL USE 6" INSERTA-TEE FOR CONNECTION TO HEADER PER MANUFACTURER RECOMMENDATIONS
- 5 INSTALL 6" STORM SEWER PIPE @ 1.0% MIN. SLOPE FROM BUILDING DOWNSPOUT TO HEADER; LENGTH PER PLAN
- 6 CONNECT TO FUEL CANOPY DOWNSPOUT
- 7 INSTALL 12.6 L.F. OF 4" STORM SEWER PIPE @ 1.0% MIN. SLOPE FROM CANOPY DOWNSPOUT TO HEADER.
- 8 INSTALL 13.1 L.F. OF 4" STORM SEWER PIPE @ 1.0% MIN. SLOPE FROM CANOPY DOWNSPOUT TO HEADER.
- 9 INSTALL 17.0 L.F. OF 4" STORM SEWER PIPE @ 1.0% MIN. SLOPE FROM CANOPY DOWNSPOUT TO HEADER.
- 10 INSTALL TRAFFIC RATED 10" NYLOPLAST DRAIN BASIN WITH SOLID COVER
- 11 INSTALL 12" NYLOPLAST DRAIN BASIN WITH SOLID COVER
- 12 INSTALL TRAFFIC RATED 15" NYLOPLAST DRAIN BASIN WITH SOLID COVER
- 13 INSTALL TRAFFIC RATED 18" NYLOPLAST DRAIN BASIN WITH SOLID COVER
- 14 INSTALL 30" NYLOPLAST DRAIN BASIN WITH 2' X 3' STEEL BAR GRATE CURB INLETS, SEE DETAIL SHEET C5.5
- 15 INSTALL 30" NYLOPLAST DRAIN BASIN WITH 2' X 3' DIAGONAL GRATE CURB INLET, SEE DETAIL SHEET C5.5
- 16 INSTALL STORM SEWER PIPE; SIZE, LENGTH & SLOPE PER PLAN
- 17 INSTALL TRAFFIC RATED STORM SEWER CLEANOUT
- 18 INSTALL 6" INSERTA-TEE FOR CONNECTION TO HEADER PER MANUFACTURER RECOMMENDATIONS
- 19 INSTALL 6" WYE
- 20 INSTALL 10" X 6" REDUCING WYE
- 21 INSTALL 8" X 4" REDUCING WYE
- 22 INSTALL 45° BEND

STORM CLEANOUT TABLE

IDENTIFIER	NORTHING	EASTING	RIM	F/L
A	1286756.22	3274438.00	5000.88	4998.86
B	1286717.72	3274400.57	5000.95	4998.98
C	1286592.66	3274423.90	4999.66	4996.99
D	1286481.45	3274263.22	5001.76	4997.59

LEGEND

- PROPOSED BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED INTEGRAL CONCRETE CURB
- PROPOSED BUILDING
- PROPOSED DEVELOPMENT MASS GRADING CONTOUR
- PROPOSED CONTOUR
- PROPOSED BOLLARD
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED SAMPLING MANHOLE
- PROPOSED GREASE INTERCEPTOR
- PROPOSED WATER METER
- PROPOSED IRRIGATION METER
- PROPOSED STORM SEWER CLEANOUT
- PROPOSED STORM SEWER STRUCTURE
- PROPOSED TRANSFORMER
- BENCHMARK
- UTILITY EASEMENT

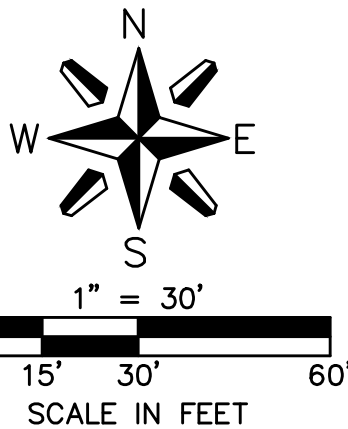
- EXIST. DECIDUOUS TREE
- EXIST. DECIDUOUS TREE
- EXIST. ELECTRIC BOX
- EXIST. FIBER OPTIC PEDESTAL
- EXIST. FIRE HYDRANT
- EXIST. FLARED END SECTION
- EXIST. LIGHT POLE
- EXIST. POWER POLE
- EXIST. SIGN
- EXIST. SANITARY SEWER MANHOLE
- EXIST. WATER METER
- EXIST. WATER VALVE



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CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

TOWN PLANNING APPROVAL



BENCHMARKS:

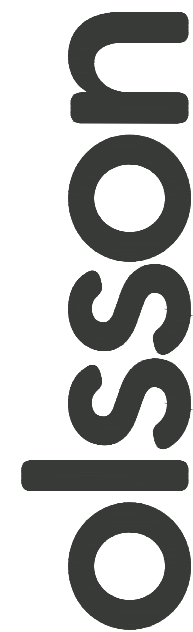
BM#1-3" BRASS CAP IN CONCRETE, STAMPED "NATIONAL GEODETIC SURVEY ACI" LYING FIVE FEET WEST OF A CONCRETE IRRIGATION DITCH NEAR THE INTERSECTION OF COUNTY ROAD 18 AND NORTH CEDAR STREET, AND THIRTY FEET NORTH OF THE CENTERLINE OF COUNTY ROAD 18.  
ELEV.=5015.39 (NAVD 88)

BM#2-#5 REBAR WITH RED PLASTIC CAP SET FLUSH WITH THE GROUND ALONG THE SOUTH SIDE OF THE PROJECT ON THE SOUTH SIDE OF THE PROJECT BETWEEN PIPPIN LANE AND THE ON RAMP.  
ELEV.=4996.68 (NAVD 88)

FLOOD ZONE:

ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER: 08123C2157E, EFFECTIVE DATE: JANUARY 20, 2016, THIS PROPERTY LIES IN ONE OF THE FOLLOWING FLOOD ZONES (AMBIGUITY DUE TO ZONES NOT DENOTED ON FIRM MAP):

- OTHER AREA - ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- OTHER AREA - ZONE D: AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.



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#2906 - KEENESBURG, CO

240 MARKET STREET

DRAINAGE PLAN

KG PROJECT TEAM:  
RDM: TOM CARRICO  
SDM: RYAN HALDER  
CPM: PERRY DEPHILLIPS

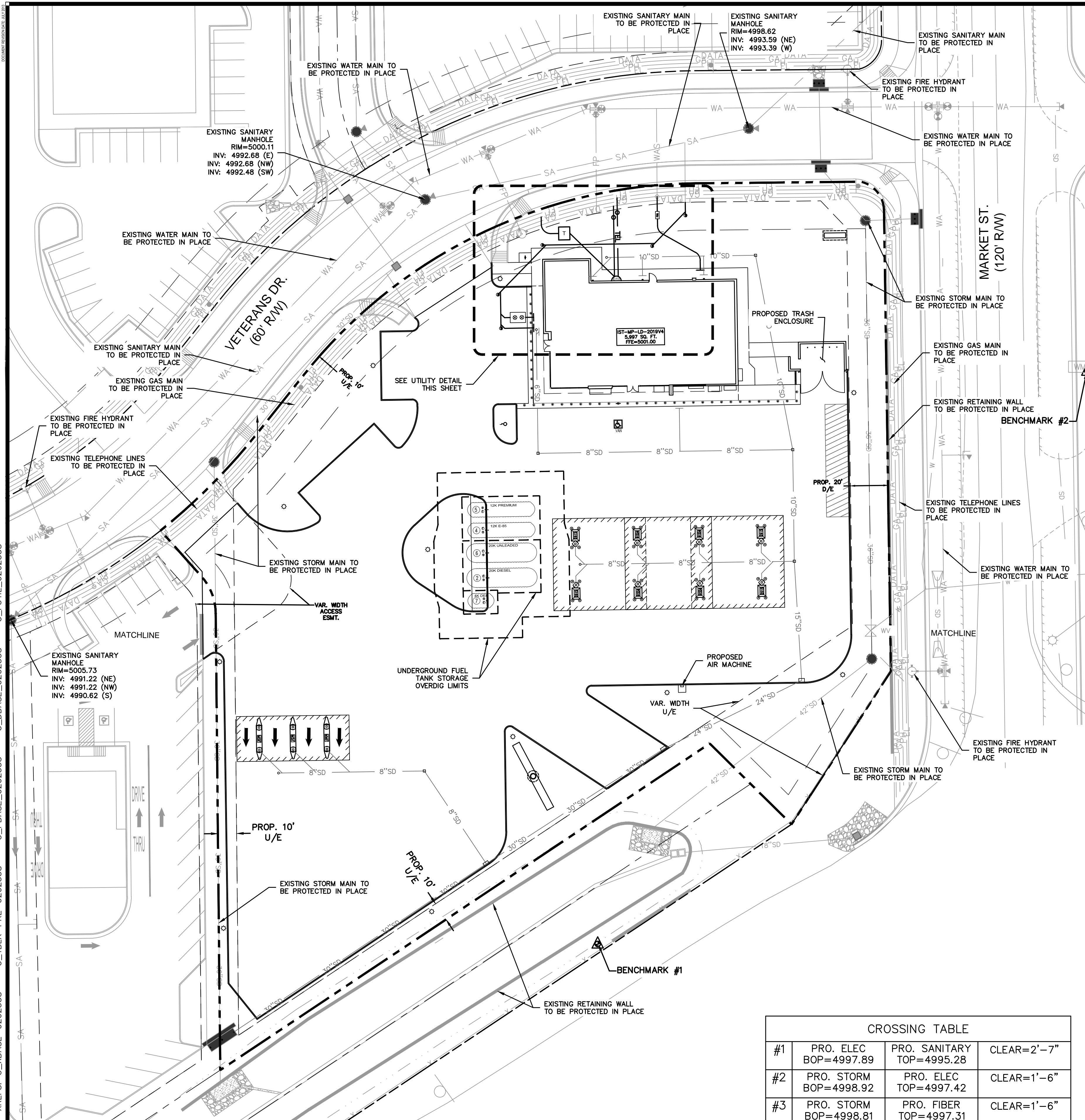
REVISION DESCRIPTION

DATE

DATE: 10/23/2020

SHEET NUMBER:  
C2.1  
6 OF 15

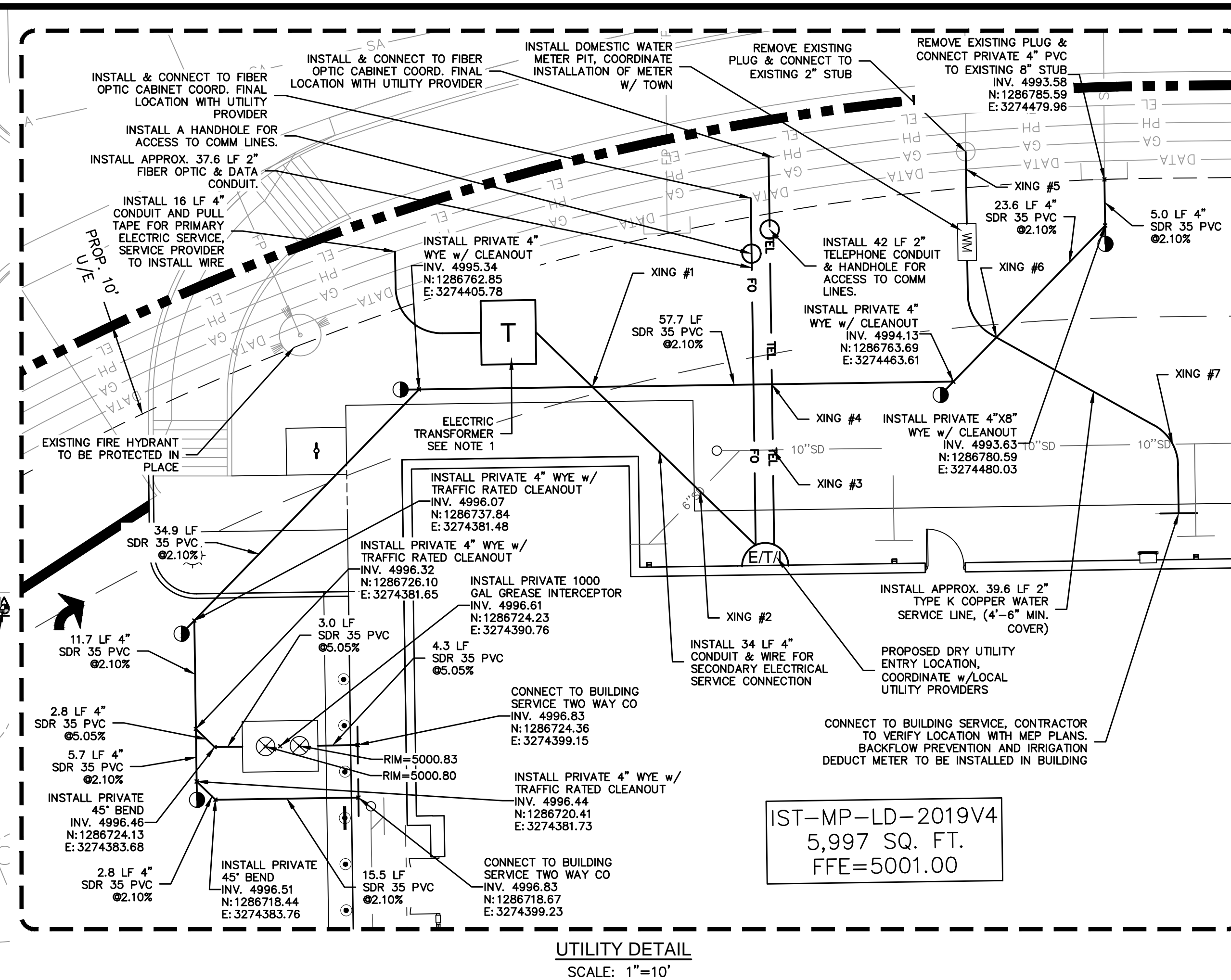




**NOTE:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE. INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES.

#1	PRO. ELEC BOP=4997.89	PRO. SANITARY TOP=4995.28	CLEAR=2'-7"
#2	PRO. STORM BOP=4998.92	PRO. ELEC TOP=4997.42	CLEAR=1'-6"
#3	PRO. STORM BOP=4998.81	PRO. FIBER TOP=4997.31	CLEAR=1'-6"
#4	PRO. FIBER BOP=4997.69	PRO. SANITARY TOP=4994.87	CLEAR=2'-10"
#5	PRO. FIBER BOP=4996.66	PRO. SANITARY TOP=4994.39	CLEAR=2'-3"
#6	PRO. SANITARY BOP=4993.99	PRO. WATER TOP=4992.49	CLEAR=1'-6"
#7	PRO. STORM BOP=4998.16	PRO. WATER BOP=4995.92	CLEAR=2'-3"

\*DRY UTILITIES WITHOUT BURY DEPTH ARE ASSUMED AT AN APPROX. 3' DEPTH



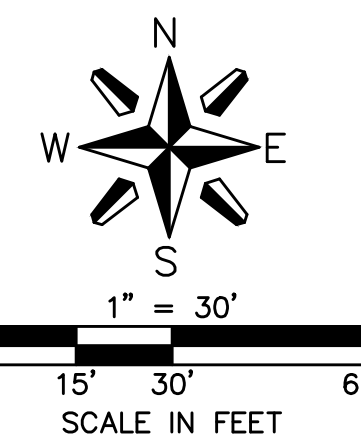
## PRIVATE UTILITY NOTES:

1. PROPOSED TRANSFORMER PAD AREA TO BE EXCAVATED AND PREPARED BY CONTRACTOR. PAD & TRANSFORMER TO BE INSTALLED BY UNITED POWER. CONTRACTOR SHALL TRENCH & INSTALL CONDUIT BETWEEN POINT OF CONNECTION & TRANSFORMER, UNITED POWER SHALL PULL CONDUCTORS.
2. ALL PROPOSED SITE LIGHTING WILL CONSIST OF FULL CUT-OFF DESIGN, SEE MEP PLANS FOR SITE LIGHTING ELECTRICAL PLAN AND POLE BASE DETAIL. DISTANCE FROM CENTER OF POLE TO BACK OF CURB = 4' UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL MAINTAIN MINIMUM 18" VERTICAL SEPARATION AT ALL UTILITY CROSSINGS, UNLESS NOTED OTHERWISE.
4. ALL PROPOSED DOMESTIC WATER SERVICE PIPING SHALL BE TYPE K COPPER UNLESS NOTED OTHERWISE.
5. ALL PROPOSED SANITARY SEWER SERVICE PIPING SHALL BE PVC SDR35 UNLESS NOTED OTHERWISE.
6. ALL PROPOSED DRY UTILITY CONDUIT PIPING SHALL BE PVC SCH40 UNLESS NOTED OTHERWISE.
7. PROPOSED 1000 GALLON GREASE INTERCEPTOR WITH SAMPLE PORT, WATERTIGHT TRAFFIC RATED LIDS, AND 2-WAY 4" CLEANOUTS AT INLET AND OUTLET OF INTERCEPTOR PER KUM & GO STANDARD DETAIL.
8. ALL PROPOSED SANITARY SERVICE CLEANOUTS (CO) SHALL HAVE WATER TIGHT LIDS.
9. CONTRACTOR TO PATCH & REPLACE PAVEMENT IN-KIND FOR ALL UTILITY PAVEMENT CUTS.

BENCHMARKS:

BM#1-3" BRASS CAP IN CONCRETE, STAMPED "NATIONAL GEODETIC  
SURVEY ACD1" LYING FIVE FEET WEST OF A CONCRETE IRRIGATION  
DITCH NEAR THE INTERSECTION OF COUNTY ROAD 18 AND NORTH  
CEDAR STREET, AND THIRTY FEET NORTH OF THE CENTERLINE OF  
COUNTY ROAD 18.  
ELEV.=5015.39 (NAVD 88)

BM#2-#5 REBAR WITH RED PLASTIC CAP SET FLUSH WITH THE  
GROUND ALONG THE SOUTH SIDE OF THE PROJECT ON THE SOUTH  
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ELEV.=4996.68 (NAVD 88)



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<h2>#2906 - KEENESBURG, CO</h2> <h3>240 MARKET STREET</h3>	<h2>PRELIMINARY UTILITY PLAN</h2>	
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REVISION DESCRIPTION	DATE								
KG PROJECT TEAM: RDM: TOM CARRIGO SDM: RYAN HALDER CPM: PERRY DEPHILLIPS									

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DATE: 10/23/2020

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SHEET NUMBER:

C3.1

7 OF 15




## FLAG NOTES:

- ① PROPOSED 40' FLAGPOLE WITH 8'x12' AMERICAN FLAG IN COLORED CONCRETE ISLAND
- ② PROPOSED 25' MONUMENT SIGN, OWNER SUPPLIED & CONTRACTOR INSTALLED
- ③ PROPOSED 80' POLE SIGN, OWNER SUPPLIED & CONTRACTOR INSTALLED
- ④ PROPOSED BIKE RACK, OWNER SUPPLIED & CONTRACTOR INSTALLED (SEE DETAIL ON THIS SHEET)
- ⑤ PROPOSED 15' x 25' TRASH ENCLOSURE WITH NICHIIHA (SEE ARCHITECTURAL PLANS FOR DETAILS)
- ⑥ PROPOSED AIR MACHINE ON 4' x 4' PAD
- ⑦ PROPOSED BUILDING SIDEWALK
- ⑧ PROPOSED 6" INTEGRAL CURB
- ⑨ PROPOSED ZERO CURB WITH BOLLARDS
- ⑩ PROPOSED UNDERGROUND STORAGE TANK LOCATIONS
- ⑪ 12' x 60' DELIVERY VEHICLE LOADING ZONE
- ⑫ PROPOSED PORTLAND CEMENT CONCRETE PAVEMENT
- ⑬ LIMITS OF PROPOSED PAVEMENT
- ⑭ PROPOSED 4" THICK CONCRETE SITE SIDEWALK, WIDTH
- ⑮ PROPOSED ELECTRIC TRANSFORMER (SEE SHEET C3.1)
- ⑯ PROPOSED ADA VAN PARKING STALL & BOLLARD MOUNTED
- ⑰ PROPOSED ADA PARKING STALL & BOLLARD MOUNTED
- ⑱ PROPOSED ADA ACCESSIBLE ROUTE
- ⑫ PROPOSED SITE LIGHT POLE (SEE SHEET C3.1)

## OLSSON LANDSCAPE NOTES

- THE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND THE MOST CURRENT EDITION(S) OF THE COUNTY STANDARDS AND THE CITY ADDENDUMS TO THOSE STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THESE STANDARDS, SPECIFICATIONS AND DRAWINGS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS.
- ALL QUANTITIES SHOWN ARE APPROXIMATE AND ARE FURNISHED SOLELY FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON THE PLANS AND BASE THEIR BID ACCORDINGLY. IN THE CASE OF ANY DISCREPANCIES, PLANS SHALL OVERRIDE THE LANDSCAPE AND BID SCHEDULED QUANTITIES.
- SITE GRADING NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS WILL BE CONSIDERED INCIDENTAL WORK.
- ALL LANDSCAPE AREAS SHALL BE UNIFORMLY GRADED SO THAT FINISHED SURFACES CONFORM TO THE TYPICAL SECTIONS AND PROPOSED GRADES SHOWN. FINISHED SURFACES SHALL BE REASONABLY SMOOTH, COMPACTED AND FREE FROM IRREGULAR SURFACE DRAINAGE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE FINISH GRADE AND SHALL BEAR FINAL RESPONSIBILITY FOR PROPER SURFACE DRAINAGE OF PLANTED AREAS.
- PRIOR TO COMMENCEMENT OF ANY WORK, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE PRESENT LOCATION OF ANY AND ALL EXISTING OVERHEAD AND/OR UNDERGROUND UTILITIES THAT MAY INTERFERE WITH THIS CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE CONSTRUCTION PLANS FOR THIS PROJECT AND TO ADEQUATELY PROTECT AND MAINTAIN ANY SUCH UTILITIES. HAND EXCAVATE, AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED AS A RESULT OF HIS WORK.
- EXCAVATE PITS, AS SHOWN ON DRAWINGS AND SCHEDULES. LOOSEN HARD SUBSOIL IN BOTTOM OF PIT. TEST DRAINAGE OF TREE, SHRUB AND PLANT PITS BY FILLING WITH WATER TWICE IN SUCCESSION. CONDITIONS PERMITTING THE RETENTION OF WATER IN PLANTING PITS FOR MORE THAN TWENTY-FOUR (24) HOURS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. SUBMIT IN WRITING A PROPOSAL FOR THE CORRECTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH WORK.
- IF UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED IN EXCAVATION FOR PLANTING OF TREES, SHRUBS, OR PLANTS NOTIFY LANDSCAPE ARCHITECT. NEW LOCATIONS MAY BE SELECTED BY LANDSCAPE ARCHITECT OR INSTRUCTIONS MAY BE ISSUED TO DIRECT REMOVAL OF OBSTRUCTION. PROCEED WITH WORK ONLY AFTER APPROVAL OF LANDSCAPE ARCHITECT.
- ALL VALVES, CLEAN-OUTS, METERS, AND BOXES (INCLUDING IRRIGATION) SHALL BE ADJUSTED TO FINISH GRADE AND SHALL BE INCIDENTAL TO CONSTRUCTION WORK.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY FROM AT LEAST THREE SOURCES TO LANDSCAPE ARCHITECT WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL FOR FINAL APPROVAL.
- LANDSCAPE FABRIC TO BE INSTALLED UNDER ALL MULCH BEDS.
- ROOT BARRIER REQUIRED FOR TREES IN TREE LAWN.
- MIN SOIL AMENDMENTS TO INCLUDE MIN 5% ORGANIC MATERIAL INCORPORATED IN TOP 6 IN AND ADDITIONAL AMENDMENTS PER SOIL CONDITIONS AT RATE OF:
  - SOD - 3 CY / 1,000 SF
  - SHRUB BEDS - 2 CY / 1,000 SF
  - NATIVE GRASS - NONE



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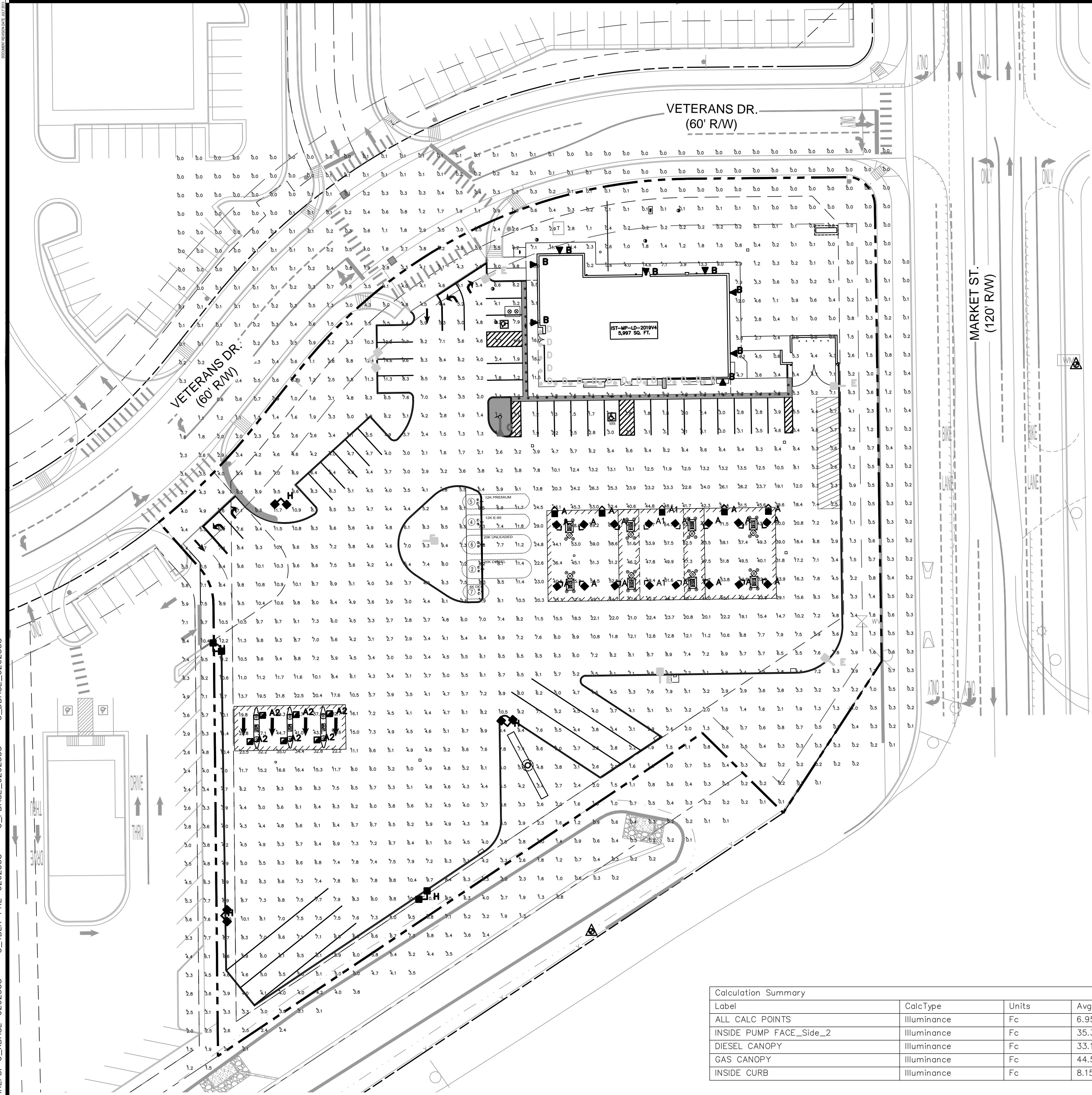
PER SOIL CONDITIONS AT RATE OF:  
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USER: whoey



Photometric data for fixture types "B & D" are based upon another manufacturer's test and as a result can not be verified by LSI Industries for this calculation.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements, unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	6.95	71.5	0.0	N.A.	N.A.
INSIDE PUMP FACE_Side_2	Illuminance	Fc	35.33	38.0	28.7	1.23	1.32
DIESEL CANOPY	Illuminance	Fc	33.12	44.7	19.8	1.67	2.26
GAS CANOPY	Illuminance	Fc	44.55	71.5	28.7	1.55	2.49
INSIDE CURB	Illuminance	Fc	8.15	54.4	1.0	8.15	54.40

Luminaire Schedule					LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
Symbol	Qty	Label	Arrangement	Description					
	16	A	SINGLE	SCV-LED-23L-SCFT-50 - 15.5' MH	1.000	1.000	1.000	24361	191.5
	5	A1	SINGLE	SCV-LED-23L-SCFT-50 - 17.5' MH	1.000	1.000	1.000	24361	191.5
	6	A2	SINGLE	SCV-LED-15L-SC-50-16" MH	1.000	1.000	1.000	15410	103
	8	B	SINGLE	WST LED P2 40K VW MVOLT - 11' MH - FIXTURE BY LITHONIA LIGHTING	1.000	1.000	1.000	3512	25
	1	C	SINGLE	TLFL-LED-20L- 4' MH	1.000	1.000	1.000	18768	187.91
	16	D	SINGLE	DNR52609 LED6-40K - 9' MH - FIXTURE BY ATLANTIC LIGHTING	1.000	1.000	1.000	1579	23.8
	5	E	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-BLK-SINGLE-16' POLE+2.5'BASE	1.000	1.000	1.000	19664	148.5
	1	F	2 @ 90 DEGREES	SLM-LED-18L-SIL-FT-50-70CRI-BLK-D90-16' POLE+2.5'BASE	1.000	1.000	1.000	39328	297
	5	H	2 @ 90 DEGREES	SLM-LED-36L-SIL-FT-50-70CRI-D90-30'POLE+2.5'BASE	1.000	1.000	1.000	75630	635.6



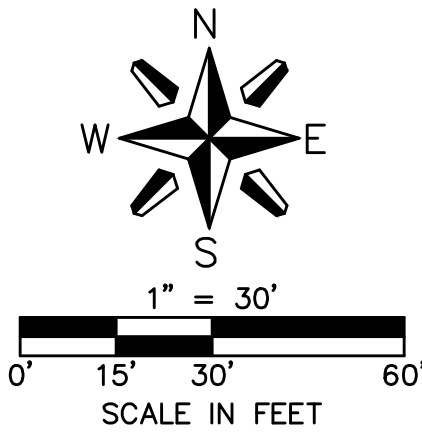
SCV



SLM



TLFL



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1880 Fall River Dr., Suite 200  
Boulder, CO 80508  
TEL: 970.461.7733  
www.olson.com

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#2906 - KEENESBURG, CO

240 MARKET STREET

PHOTOMETRIC PLAN

KG PROJECT TEAM:  
RDM: TOM CARRICO  
SDM: RYAN HALDER  
CPM: PERRY DEPHILLIPS

REVISION DESCRIPTION

DATE

DATE

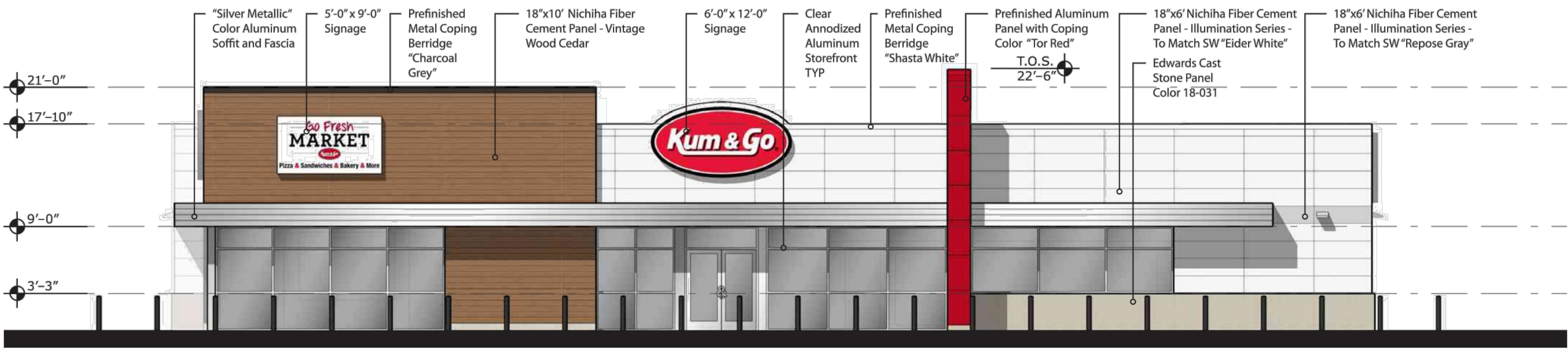
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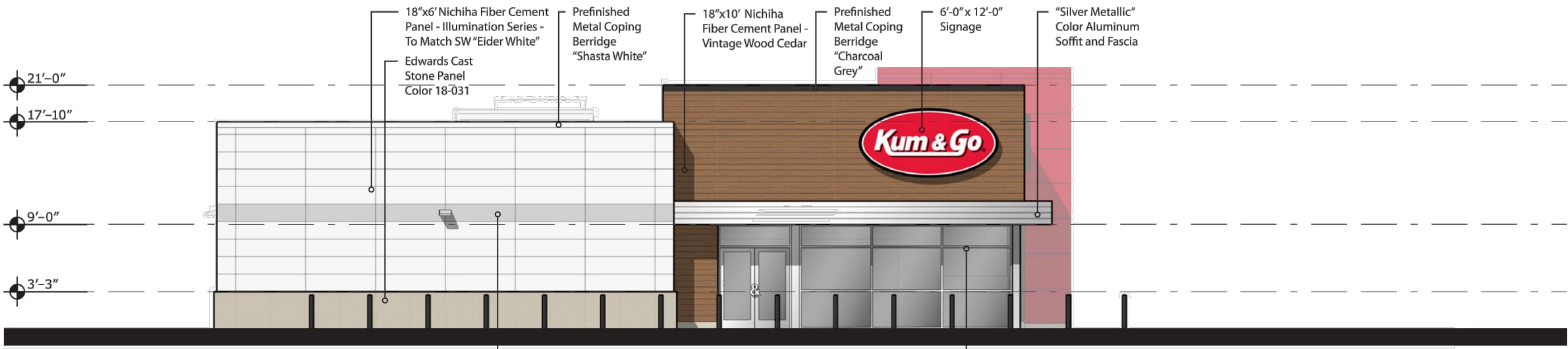
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USER: whoey

Proposed Building Signage			
Location	Sign	Size	Area
South Elevation	"Kum & Go" Sign	6' x 12'	72 SF
	"Go Fresh Market" Sign	5' x 9'	45 SF
West Elevation	"Kum & Go" Sign	6' x 12'	72 SF
East Elevation	"Kum & Go" Sign	6' x 12'	72 SF
North Elevation	"Kum & Go" Sign	6' x 12'	72 SF
Total			333 SF



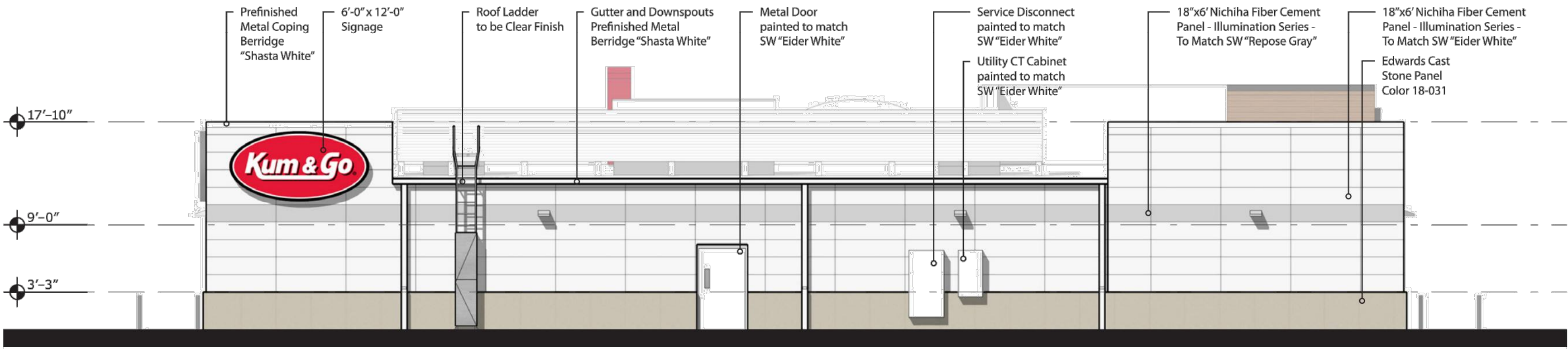
South Elevation

NTS



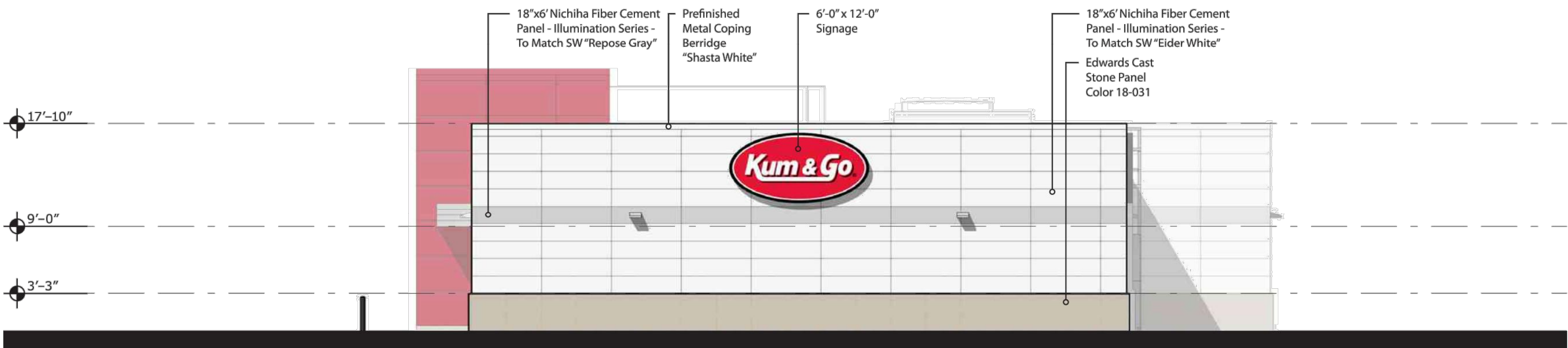
West Elevation

NTS



North Elevation

NTS



East Elevation

NTS



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#2906 - KEENESBURG, CO

240 MARKET STREET

EXTERIOR ELEVATIONS

KG PROJECT TEAM:  
RDM: TOM CARRICO  
SDM: RYAN HALDER  
CPM: PERRY DEPHILLIPS

REVISION DESCRIPTION

DATE



DATE: 10/23/2020

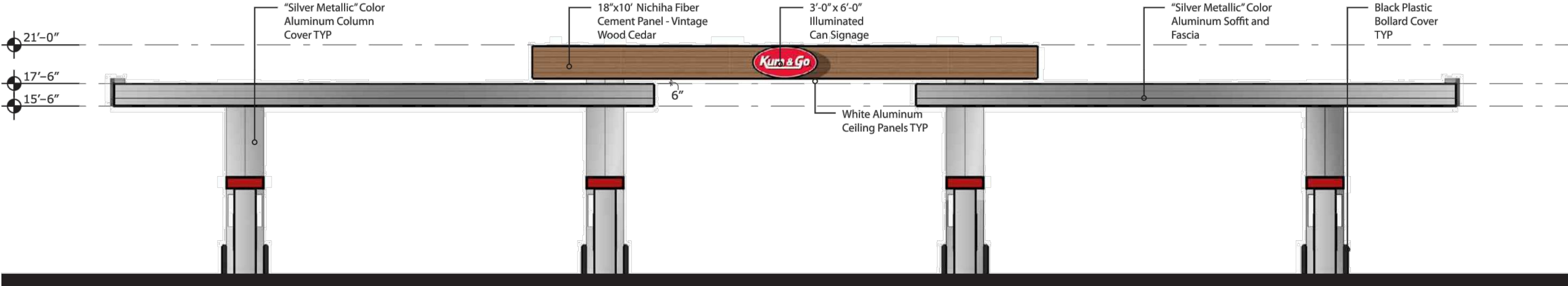
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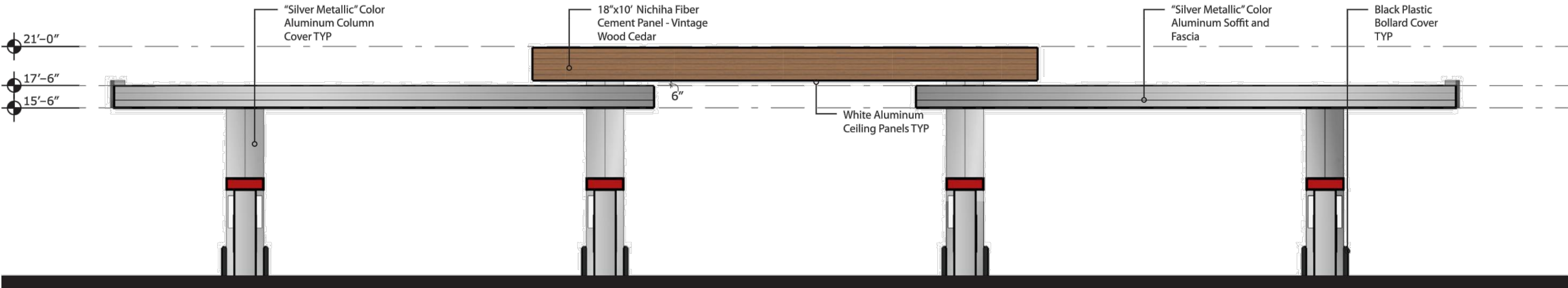


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DATE: Oct 29, 2020 12:39pm XREFS: C:\TBLK-PRE-0202538  
USER: whoey

Proposed Canopy Signage			
Location	Sign	Size	Area
South Elevation	"Kum & Go" Sign	3'x 6'	18 SF
North Elevation	No Signage	---	0 SF
West Elevation	"Kum & Go" Sign	3'x 6'	18 SF
East Elevation	"Kum & Go" Sign	3'x 6'	18 SF
Total			54 SF



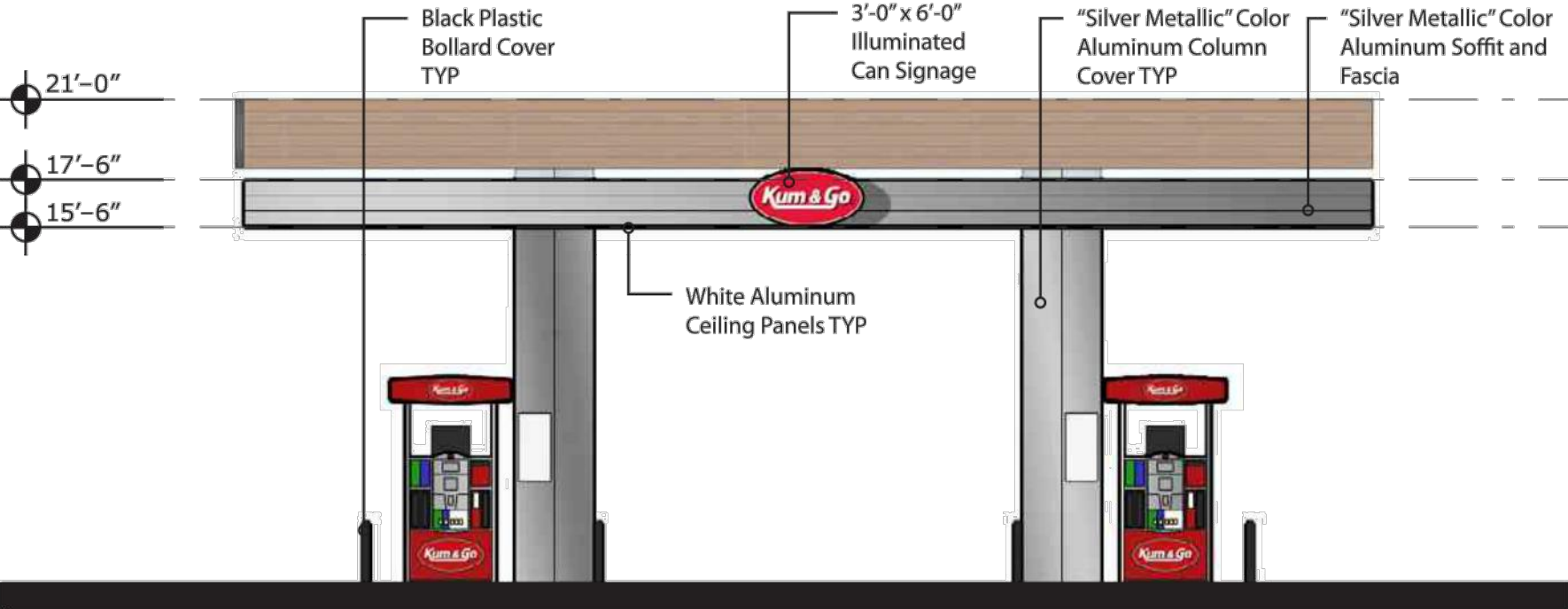
South Elevation  
NTS



North Elevation  
NTS



West Elevation  
NTS



East Elevation  
NTS

TOWN PLANNING APPROVAL

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Boulder, CO 80538  
TEL: 970.481.7733  
www.olsson.com

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Des Moines, Iowa 50309  
P: 515-226-0128  
F: 515-223-9873

#2906 - KEENESBURG, CO  
240 MARKET STREET

CANOPY ELEVATIONS

KG PROJECT TEAM:  
RDM: TOM CARRICO  
SDM: RYAN HALDER  
CPM: PERRY DEPHILLIPS

REVISION DESCRIPTION	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE

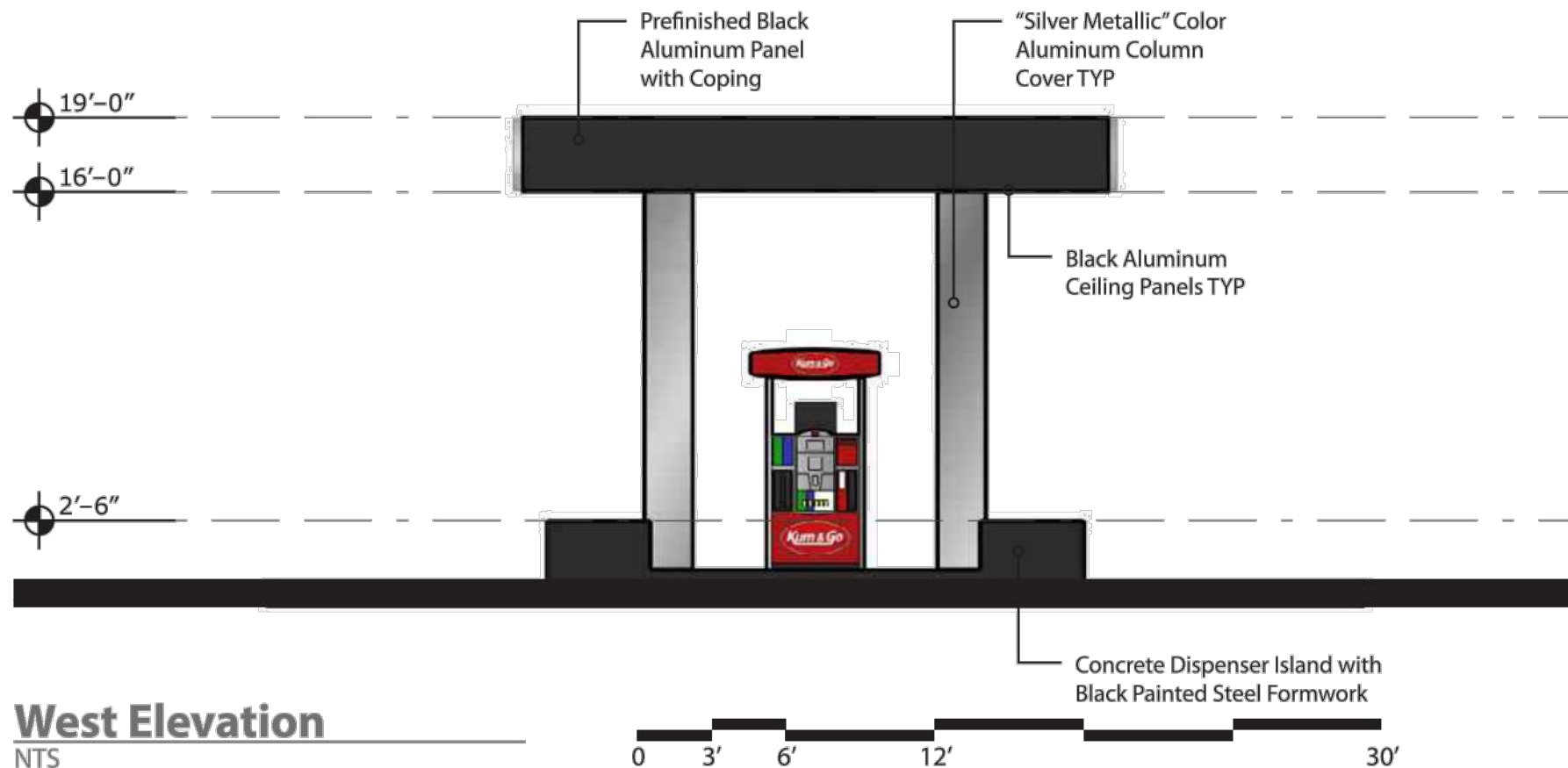
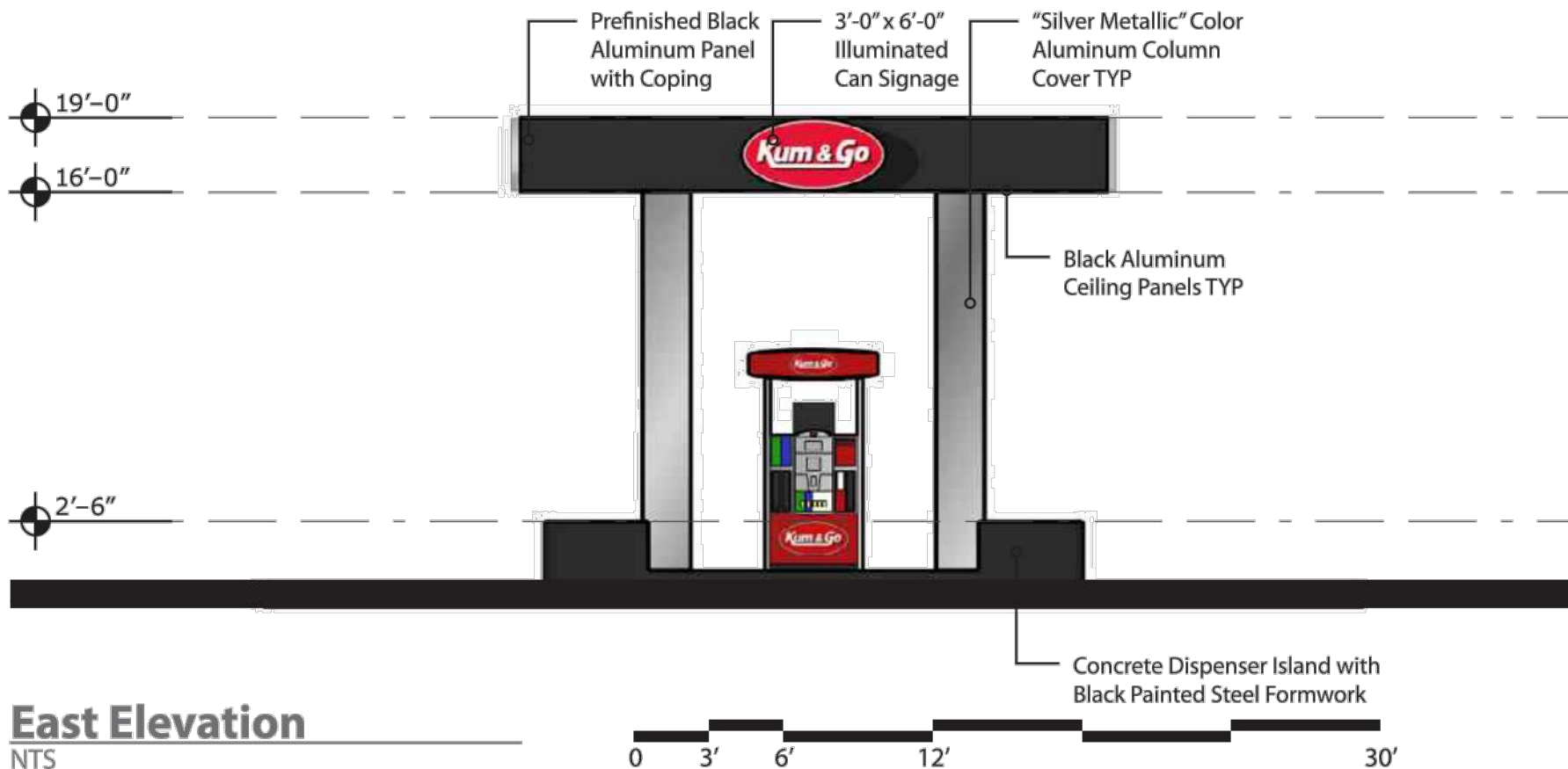
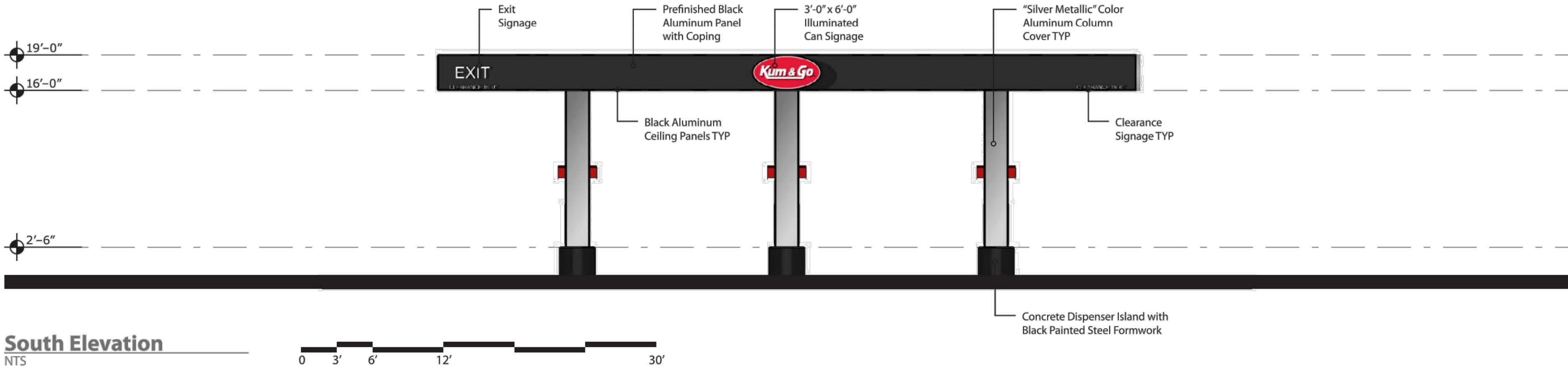
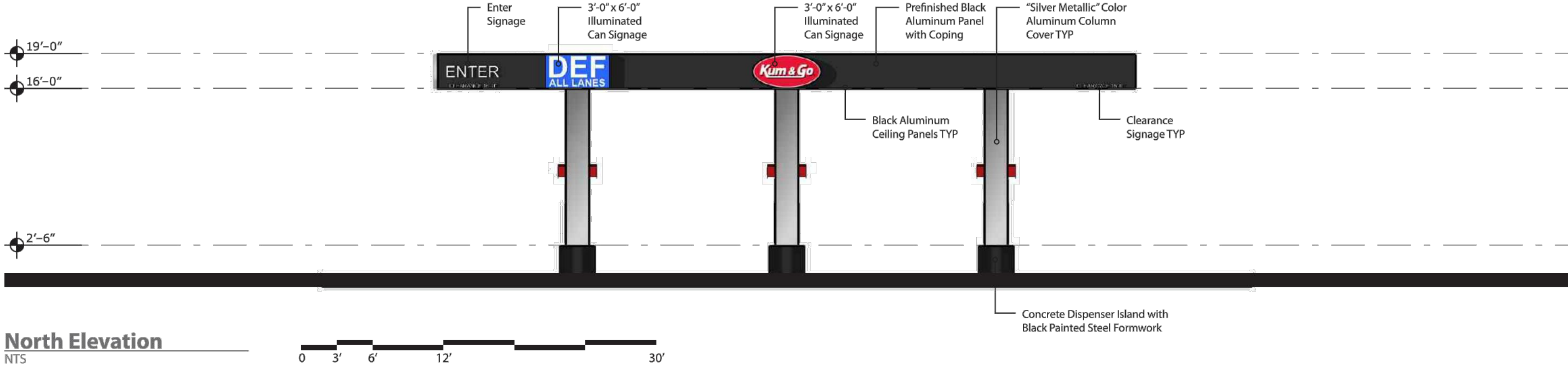
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12 OF 15



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DATE: Oct 29, 2020 12:39pm XREFS: C:\BLK-PRE-0202538 USER: whoey

Proposed Canopy Signage			
Location	Sign	Size	Area
North Elevation	"Kum & Go" Sign	3' x 6'	18 SF
	"DEF" Sign	3' x 6'	18 SF
South Elevation	"Kum & Go" Sign	3' x 6'	18 SF
East Elevation	"Kum & Go" Sign	3' x 6'	18 SF
West Elevation	No Signage	---	0 SF
Total			72 SF



TOWN PLANNING APPROVAL

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1689 Fall River Dr., Suite 203  
Durham, CO 80638  
TEL: 970.481.7733  
www.olsson.com

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240 MARKET STREET

DIESEL CANOPY ELEVATIONS

KG PROJECT TEAM:  
RDM: TOM CARRICO  
SDM: RYAN HALDER  
CPM: PERRY DEPHILLIPS

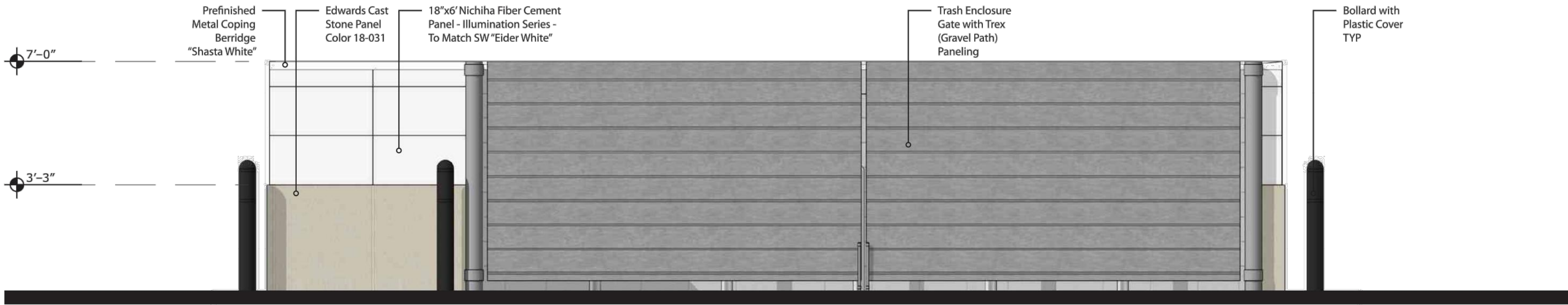
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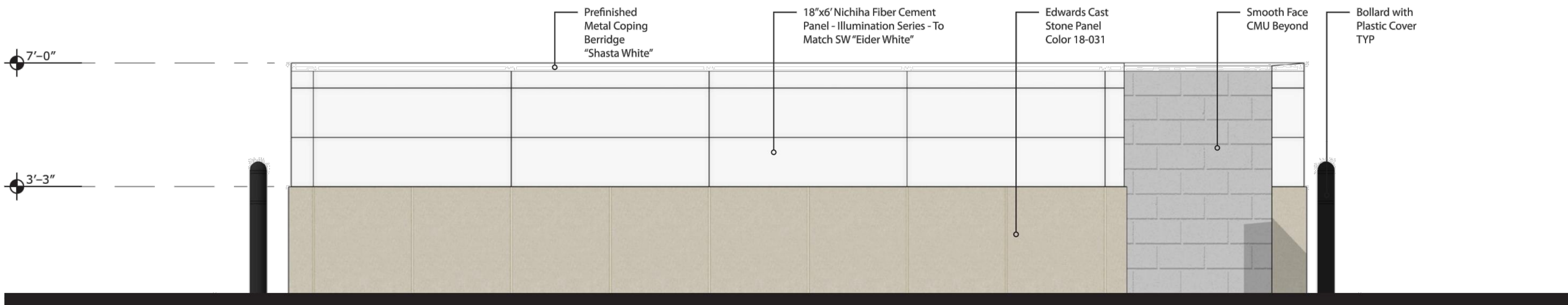


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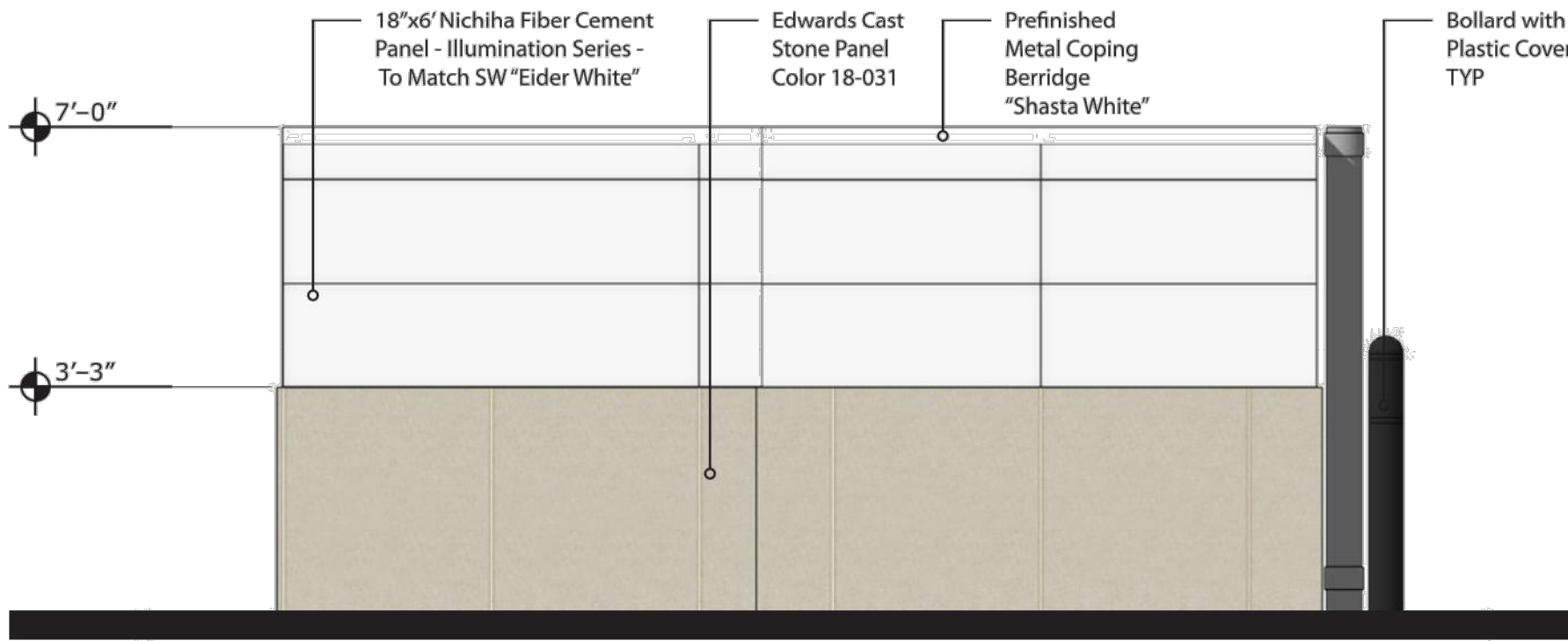
South Elevation

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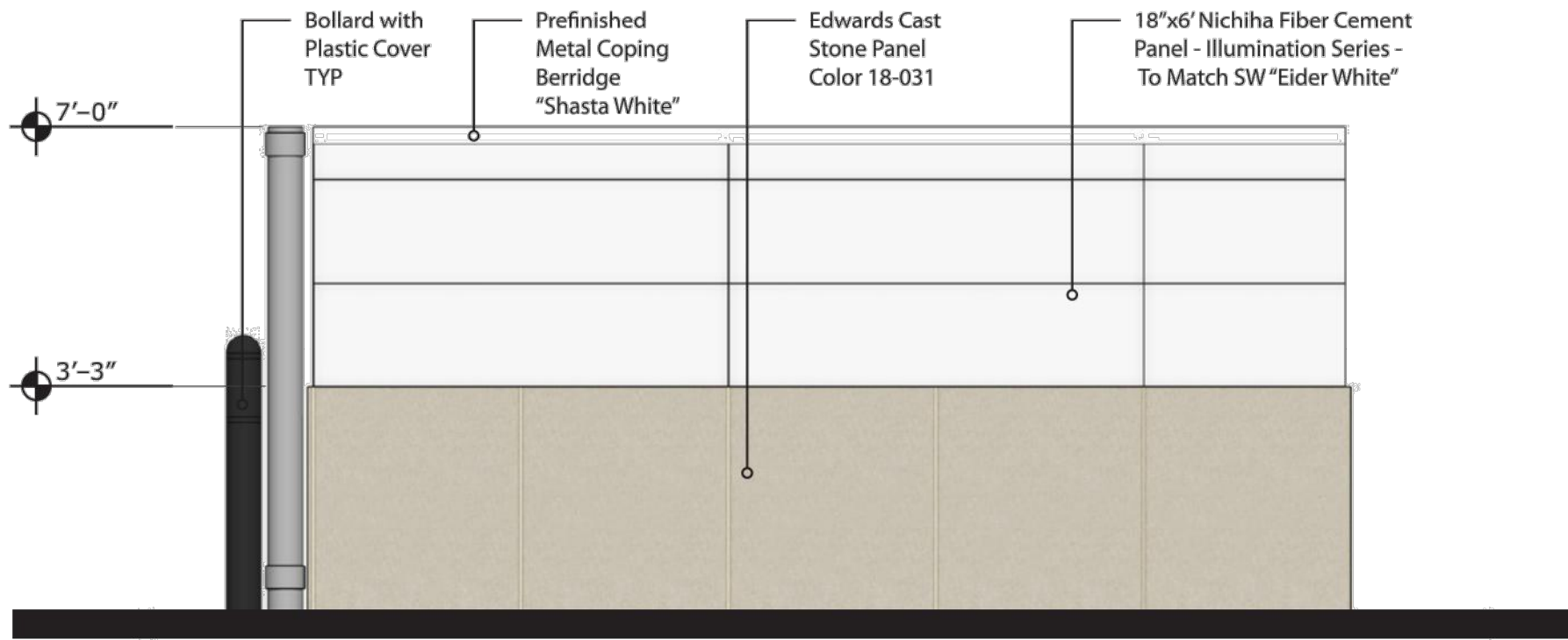
North Elevation

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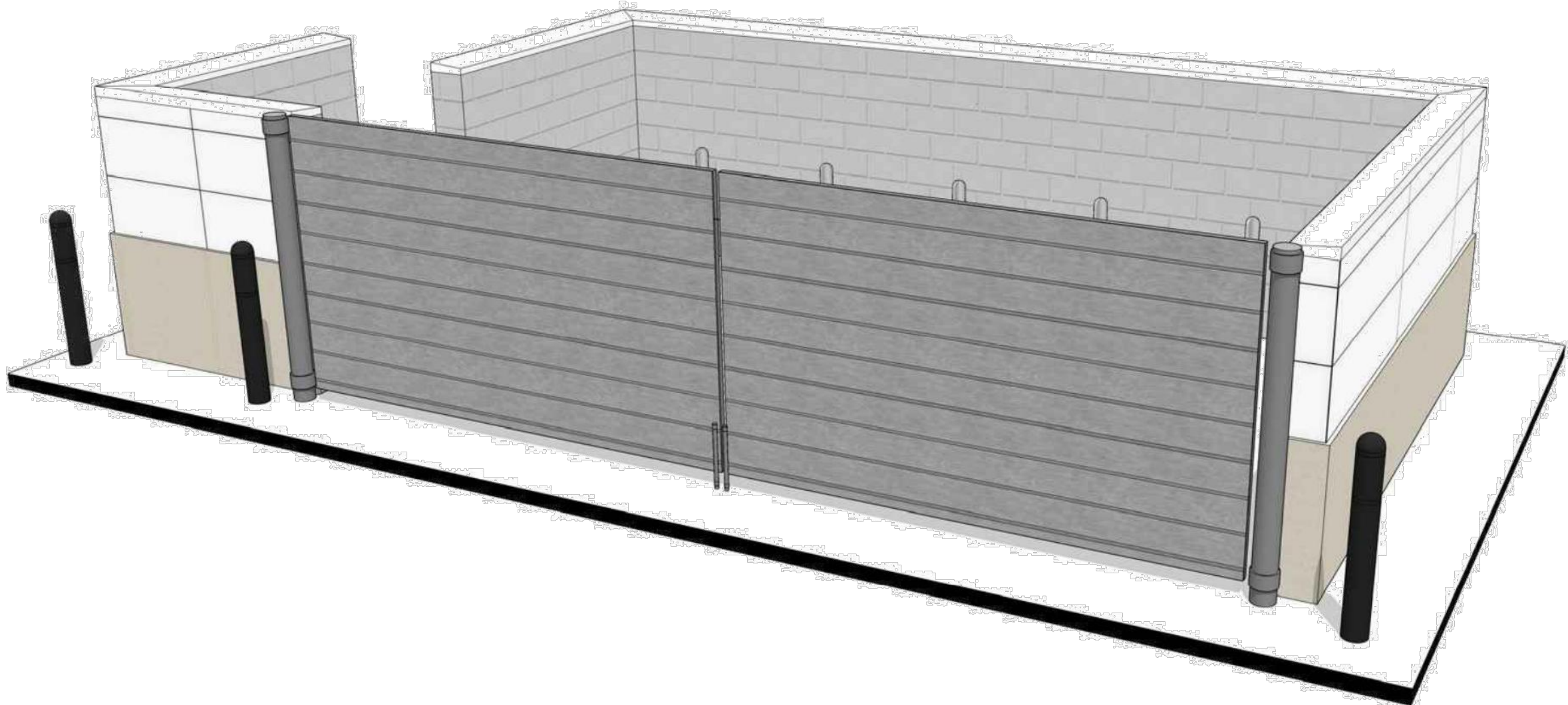
West Elevation

NTS



East Elevation

NTS



Perspective

NTS

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F: 515-223-9873

#2906 - KEENESBURG, CO  
240 MARKET STREET  
TRASH ENCLOSURE ELEVATIONS

KG PROJECT TEAM:  
RDM: TOM CARRICO  
SDM: RYAN HALDER  
CPM: PERRY DEPHILLIPS

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A1.4  
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A1.5  
15 OF 15