



3271 Cheshire Rd
 Delaware, OH 43015
 740-548-6350
 www.berlintwp.us

Application # _____
 Date received _____
 Township Fee* \$ _____
 Make Check Payable to Berlin Township
 *Fee is \$3,000 plus \$150 per acre (500 acre max). Additional fees may be required to cover actual cost as per section 15.06(G) and 19.06(G)

Application for Berlin Business Park/Circle one: Article 15 (BCO) Article 19 (BIO)

Name of applicant Metro Development, Applicant, Joe Thomas

Address of applicant 470 Olde Worthington Rd, Suite 100

City Westerville State OH Zip 43082

Phone 614-540-2400 Email jthomasjr@drkmetro.com

Name of Property owner Northport Place LLC

Address of property owner 470 Olde Worthington Rd, Suite 100

City Westerville State OH Zip 43082

Phone 614-540-2400 Email jthomasjr@drkmetro.com

Location/address of property to be rezoned State Route 37, Sunbury OH 43074

Parcel number(s) 418-140-01-005-000

Current zoning PCD/BCO Current use 499 Other commercial structures Total acres 6.369

NCAIS Code No. 721110 Proposed Use PCD/BCO Acres to rezone 0

The applicant(s) shall hold pre-application meetings with the Berlin Township Zoning Inspector and provide three (3) draft copies for consideration.

Once the Zoning Inspector confirms completeness, the applicant shall prepare and submit **twenty (20) copies of this application, the Development Plan, and all attachments, along with one PDF copy and all applicable fees** to the Berlin Township Zoning Inspector. The application shall be signed by the applicant and all owners of property included in the application. The Berlin Township Zoning Inspector will provide the copies to the Architectural Review Board upon receiving a fully completed application.

The undersigned hereby certify that the information contained in this application and its supplements are true, correct, and complete. The undersigned agree to be bound by the provisions of the Berlin Township Zoning, and also gives Berlin Township permission to place signage on the subject property to announce hearings.

Property Owner: *Franine E. Meyer* Date: 3/22/23

Property Owner: *Joe Thomas* Date: 3/22/2023

Applicant: _____ Date: _____

The application must be accompanied by a development plan, which must *clearly address by way of header and summary in sequence*, the following supporting information and documentation in text and map form: Article 15 - 15.06 (B-C); Article 19 - 19.06 (B-C). (Please see template for example)

- I) A survey plat and legal description by a registered Ohio surveyor showing the size and location of the proposed development.
- II) A finished grading plan drawn at a scale of 1"=100' or other scale acceptable to the Zoning
- III) An exhibit demonstrating environmentally-sensitive areas such as the 100-year floodplain, wetlands, and slopes greater than 20%
- IV) A Development Plan drawn to a scale of at least 1"=100' or other scale acceptable to the Zoning Inspector demonstrating the details listed therein.

The Development Plan Contents shall include in text and map form the following proposed features:

- A.** The general development character and all permitted uses, identified by NAICS code, and accessory uses to be located on the tract including the limitations or controls to be placed on all uses, with proposed lot sizes, and minimum setback requirements. Other development features, including landscaping, entrance features, signage, pathways, sidewalks, recreational facilities, common open space areas, and all commonly owned structures shall be shown in detail identifying the quantity and type and typical section of each.
- B.** Architectural design criteria including materials, colors and elevations for all structures and criteria for proposed signs that comply with the architectural requirements of this resolution.
- C.** Building heights and dimensions.
- D.** Off-street parking.
- E.** Landscape Plan identifying each plant, shrub, or tree by name, its size at planting, and rendering of how that area of the development would look in elevation.
- F.** Signage plan, showing all proposed signage and dimensions.
- G.** Exterior Lighting Plan to show how exterior lighting fixtures will be shaded whenever necessary to avoid casting direct light upon any adjoining property.
- H.** The proposed provisions for water, fire hydrants, sanitary sewer, and surface drainage with engineering feasibility studies or other evidence of reasonableness. Line sizes and locations, detention basins and drainage structures shall be drawn. A copy of letters from the **County Engineer** and **Sanitary Engineer** stating general feasibility road geometries, surface drainage, and the provision of sewer shall be included.
- I.** A Traffic Impact Analysis by a competent traffic engineer, based upon new trip generation as estimated by the **Delaware County Engineer's standards** and showing the proposed traffic patterns, public and private streets, and other transportation facilities, including their relationship to existing conditions, topographical and otherwise. An **internal traffic flow diagram** showing the vehicle movements and circulations internal to the site (including any private roads) shall also be submitted.

- J.** The relationship of the proposed development to existing and probable uses of surrounding areas during the development timetable.
- K.** Location of all uses within the site and the location of schools, parks and other public facility sites within or adjacent to the site.
- L.** The proposed time schedule for development of the site including streets, buildings, utilities, and other facilities.
- M.** If the proposed timetable for development includes developing the land (including open space) in phases, **all phases** developed after the first, which in no event shall be less than five (5) acres or the whole tract (whichever is smaller), shall be fully described in textual form in a manner calculated to give Township Officials definitive guidelines for approval of future phases. This schedule shall include a detailed list of all items to be constructed in each phase of the development, including but not limited to any amenities such as fountains, tot lots, etc. This information must also include a set of documents for establishing any proposed Homeowners' Association including the proposed time frames for turning said association over to the residents. The phasing plan must also include information to clearly indicate that the requirements of Section 15.05(A)(5)(b) are being met.
- N.** The ability of the applicant to carry forth this plan by control of the land and the engineering feasibility of the plan.
- O.** Evidence of the applicant's ability to post a bond or an irrevocable letter of credit if the plan is approved assuring completion of public service facilities to be constructed within the project by the developer.
- P.** All drawings that are a part of the Development Plan shall respectively bear the seals of the preparing architect, landscape architect, and/or professional engineer. The respective professional attaching his or her seal to the drawings must be licensed to practice in the state of Ohio.
- Q.** The manner and method to be utilized in order to achieve and maintain compliance with the general criteria for the respective district.
- R.** The manner in which the applicant will mitigate any nuisance effects of the proposed uses such as, but not limited to: a) Fire and Explosion Hazards; b) Air Pollution; c) Glare, Heat and Exterior Lighting; d) Dust and Erosion; e) Liquid or Solid Wastes; f) Vibration and Noise; g) Odors.
- S.** The proposed locations of any proposed cluster **mailbox** units, associated off-street parking spaces, and proposed methods for maintaining said units and parking spaces.
- T.** Letters required include: Delaware County Regional Planning Commission (DCRPC), Berlin Township Fire, Delaware County Engineer (see above); Delaware General Health District and/or Ohio EPA (for On-site Water and/or Wastewater System): Delaware Soil and Water; Any other applicable Federal, State, and/or local agencies.
- U.** The Township Zoning Commission and Board of Township Trustees may impose special additional conditions relating to the development with regard to type and extent of public improvements to be installed. This includes but is not limited to landscaping, development, improvement, and maintenance of common open space as well as any other pertinent development characteristics.

Basis of Approval

Basis of Approval. In determining whether or not to approve an Application and Development Plan, the reviewing authorities shall consider the following:

Article 15 (BCO) - Section 15.06(E)

1. That the proposed development is consistent in all aspects with the purpose, criteria, intent, and standards of this Zoning Resolution.
2. That the proposed development meets all applicable requirements of this Article and Zoning Resolution.
3. That the proposed development is in conformity with the comprehensive plan as adopted or concurrently amended or portion thereof as it may apply.
4. That the proposed development promotes the health, safety, and general public welfare of the township and the immediate vicinity.
5. That the proposed plan meets all of the design features required in this Resolution.
6. That the proposed development will be compatible in appearance with surrounding existing or proposed land uses.
7. That the development promotes the efficient use of land and resources, promotes greater efficiency in providing public utility services and encouraging innovation in the planning and building of all types of development.
8. That the proposed development is in the interest of public health, safety, welfare and morals of the township.

Article 19 (BIO) - Section 19.06(E)

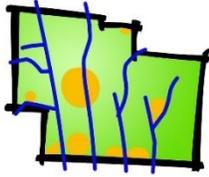
1. That the proposed development is consistent in all aspects with the intent, and general standards of this zoning resolution.
2. That the proposed development is in conformity with the comprehensive plan or portion thereof as it may apply.
3. That the proposed development advances the health, safety and morals of the township and the immediate vicinity.
4. That the proposed development is in keeping with the existing land use character and physical development potential of the area.
5. That the proposed development will be compatible in appearance with the remainder of the district.
6. That the minimum open space as required herein has been provided.
7. That the proposed development is in the interest of public health, safety, welfare and morals of the township.

NORTHPORT RESIDENTIAL HOTEL

Berlin Business District
US 36 / SR 37
Berlin Township, Ohio
May 9, 2023



METRO
DEVELOPMENT LLC



Delaware County Regional Planning Commission

109 North Sandusky Street
P.O. Box 8006, Delaware, Ohio 43015
740-833-2260 www.dcrpc.org
Scott B. Sanders, AICP Executive Director



May 1, 2023

Claudia Smith, Fiscal Officer
Berlin Township
3271 Cheshire Road
Delaware, Ohio 43015

The Regional Planning Commission, at its April 27, 2023, regular meeting recommended ***Conditional Approval*** of the following zoning request:

RPC File # 08-23 ZON

Request by: Metro Dvlpt., Joe Thomas
To rezone: 6.369 acres
Located: south side of US 36/37, west of S. 3 B's and K Rd.
From: NCD
To: PCD/BCO
Units or lots: 130 units
To allow: Residential Hotel – *Northpoint Residential Hotel*

Please remind your trustees and zoning commission that our office needs written notification of the results of the vote by each body, following each of their respective rezoning hearings. *If the application is a planned residential zoning, please include the total number of units approved.*

If you have any questions, please contact our office.

Respectfully,

Stephanie Matlack

Stephanie Matlack
Executive Administrative Assistant

Encl.: 04/27/23 RPC minutes excerpt
Copy: applicant
Zoning Clerk
Zoning Officer
File

DECLARATION
OF
NORTHPORT PLACE LLC
an Ohio Limited Liability Company

Dated the 25 day of February, 2022

**DECLARATION
OF
NORTHPORT PLACE, LLC**

This Declaration of Northport Place LLC and the conduct of its business is hereby made and is effective this ___ day of February, 2022 by Evolution Holdings LLC, the sole member.

ARTICLE 1: DEFINITIONS

- 1.1 **“Act”** shall mean Chapter 1705 of the Ohio Revised Code (and the corresponding provisions of any succeeding law regarding limited liability companies), as amended and in effect at such time.
- 1.2 **“Articles of Organization”** shall mean the Articles of Organization which were filed on February __, 2022 with the Secretary of State of the State of Ohio for the purpose of forming this LLC.
- 1.3 **“Capital Account”** shall mean the amount of a Member’s Capital Contribution, as adjusted, including but not limited to increases due to profits or additional contributions and decreases due to losses and distributions.
- 1.4 **“Capital Contribution”** shall mean any contribution of value, including but not limited to cash, property, assets, etc. by a Member to the capital of the LLC.
- 1.5 **“Code”** shall mean the Internal Revenue Code of 1986, as amended (or the corresponding provisions of succeeding law regarding the taxation of income by the United States), and as in effect at such time.
- 1.6 **“Declaration”** shall mean this Declaration, including all exhibits, as amended, from time to time.
- 1.7 **“LLC”** shall mean Northport Place, LLC, an Ohio limited liability company created under the laws of the state of Ohio.
- 1.8 **“LLC Interest”** or **“Interest”** or **“Percentage Interest”** shall mean the percentage ownership interest in the LLC of each Member of the LLC as set forth in Article 5 as amended.
- 1.9 **“Manager”** shall mean the person designated in accordance with this Declaration to manage and operate this LLC.
- 1.10 **“Member”** shall mean any person or entity who owns any Interest in this LLC.
- 1.11 **“Profits and Losses”** shall have the meaning given to them in section 6.1.
- 1.12 **“Property”** shall mean any and all assets, in whole or in part, of the LLC, both tangible and intangible.

ARTICLE 2: FORMATION

- 2.1 **Formation of the LLC.** The LLC has been formed as a limited liability company pursuant to the Act, by executing and filing its Articles of Organization with the Ohio Secretary of State on February __, 2022.
- 2.2 **Name.** The name of the LLC shall be “NORTHPORT PLACE, LLC”.
- 2.3 **Principal Office.** The mailing address for the principal office of the LLC shall be 470 Olde Worthington Road, Westerville, Ohio, 43082. Upon any change of the mailing address for the principal office, the LLC shall file a notice of change with the Ohio Secretary of State as required under the Act.
- 2.4 **Term.** The term of the LLC commenced with the filing of Articles of Organization with the Ohio Secretary of State. The LLC shall continue to exist perpetually until terminated or dissolved in accordance with this Declaration.
- 2.5 **Business Purpose.** The purpose of the LLC is to engage in any lawful activities for which a limited liability company may be organized under the Act, including but not limited to the purchase, construction, leasing, sale and management of real estate.
- 2.6 **Powers.** To carry out the business purpose of the LLC as set forth in section 2.5, the LLC shall have and exercise all powers permitted by the Act to be exercised by limited liability companies formed under the laws of the State of Ohio and to do any and all things not prohibited by law in furtherance of the business of the LLC.
- 2.7 **Agent for Process.** The name and address of the agent for service of process on the LLC shall be Nancy M. Inman, 470 Olde Worthington Road, Westerville, Ohio, 43082. Upon any change of agent, the LLC shall file a notice of change with the Ohio Secretary of State as required under the Act.

ARTICLE 3: MEMBERS

- 3.1 **Initial Member.** Initially, the LLC shall consist of a single Member. The sole Member of the LLC is Evolution Holdings LLC.
- 3.2 **Additional Members.** Additional persons or entities may be admitted to the LLC as Members, and LLC Interests may be issued to those additional Members, upon the consent of the current Member and on such terms and conditions as determined by the current Member in accordance with this Declaration. All new Members must sign a copy of this Declaration and agree to be bound by the terms of this Declaration.
- 3.3 **Voluntary Withdrawal.** No Member has the right to voluntarily withdraw from the LLC as a Member except as provided in this Declaration.
- 3.4 **Authority.** No Member has the authority or power to act for or on behalf to bind, or to incur any liability on behalf of the LLC except as provided in this Declaration.

- 3.5 Limited Liability.** The Members shall not be bound by, or be personally liable for, the expenses, liabilities or obligations of the LLC, except to the extent of his/her/its capital contributions and to the extent required under the Act.
- 3.6 Indemnification.** Each Member shall be indemnified by the LLC to the fullest extent permitted under the Act.
- 3.7 Compensation.** No Member shall receive any salary, fee, or draw for services rendered to or on behalf of the LLC.
- 3.8 Business Activities of Members.** Each Member may engage in other business activities without liability of accounting to the LLC.

ARTICLE 4: MANAGEMENT

- 4.1 Manager.** The Manager of the LLC shall be Evolution Holdings LLC.
- 4.2 Vacancy.** In the event of a Manager vacancy, the vacancy is to be filled by a person or entity consented to by all current Members of the LLC at the time of such vacancy. A Manager vacancy shall be deemed to exist if:
- (a) the Manager dies;
 - (b) the Manager resigns, such resignation being effective upon the delivery of written notice to any Member, unless the notice specifies a later effective date;
 - (c) the Manager is removed by the unanimous decision of the Members.
- 4.3 Power and Authority.** Except as provided by the Act and in this Declaration, the powers of the LLC shall be exercised, its business affairs conducted and its property managed under the exclusive direction of the Manager, and the Manager's power and authority includes all things necessary for the company to engage in any lawful act or activity. The signature of the Manager shall be the only signature necessary to convey title to LLC property (expressly including any real property owned by the LLC) or to execute any promissory notes, trust deeds, mortgages, or other instruments of hypothecation.
- 4.4 Officers.** For the purpose of conducting the day-to-day operations of the LLC, the Manager may appoint such officers as deemed appropriate in his/her/its discretion.
- 4.5 Limited Liability.** No Manager shall be liable for the debts, obligations, or liabilities of the LLC to a third party unless the Manager agrees in writing to be liable.
- 4.6 Indemnification.** The Manager and each officer of the LLC shall be indemnified to the fullest extent permitted under the Act.
- 4.7 Compensation.** The Manager and each officer of the LLC shall receive the salary, fee, or draw for services rendered to or on behalf of the LLC as shall be determined by all

current Members, or as shall be established under employment agreements unanimously approved by all current Members.

ARTICLE 5: CAPITAL ACCOUNTS

5.1. Initial Contributions. The initial Member shall contribute to the LLC the following Capital Contributions and shall receive the following LLC Interest:

Name	Contribution	LLC Interest
Evolution Holdings LLC, an Ohio limited liability company	\$100.00	100%

5.2 Additional Contributions. Except as specifically set forth in this Declaration, no Member shall be required to make any additional Capital Contributions.

5.3 Capital Accounts. A separate Capital Account shall be maintained for each Member. No Member shall have any interest in the Capital Account of any other Member. Capital accounts shall be determined and maintained on the same basis as Capital Accounts are determined and maintained by the LLC for purposes of federal income taxation in accordance with the Code. Increases or decreases to a Member's Capital Account shall not affect a Member's Percentage Interest.

5.4 Adjustments to Capital Accounts. Each Member's Capital Account shall be adjusted as follows:

(a) **Increases.** Each Member's Capital Account shall be increased by:

- (1) Capital Contributions of cash and/or property at its agreed upon fair market value;
- (2) All items of LLC income and gain (including income and gain exempt from tax).

(b) **Decreases.** Each Member's Capital Account shall be decreased by:

- (1) Distributions of cash and/or property at its agreed upon fair market value;
- (2) All items of LLC deduction and loss (including deductions and loss exempt from tax).

5.5 Advances by Members. Members may, at any time, advance moneys to the LLC. An advance is a loan from the Member to the LLC and shall bear interest at the prevailing rate. An advance is not a Capital Contribution.

ARTICLE 6: ALLOCATION OF PROFITS AND LOSSES; DISTRIBUTIONS

- 6.1 Determination of Profits and Losses.** Profits and Losses shall mean net income and net loss as determined by the books and records of the LLC which shall be kept in accordance with generally accepted accounting principles and the Code.
- 6.2 Allocations.** Except as provided in the Code, all items of income, revenues, deductions, gain and loss shall be allocated pro-rata in accordance with a Member's LLC Interest.
- 6.3 Qualified Income Offset.** Notwithstanding the above, if a Member unexpectedly receives any adjustments, allocations, or distributions described in Treasury Regulations Section 1.704-1(b)(2)(ii)(d)(4),(5) or (6) or any amendment thereto, or receives an allocation of loss which produces a negative capital account for any Member while any other Member has a positive capital account, then items of LLC income shall be specially allocated to such Member such that the deficit Capital Account is eliminated. This paragraph is intended to constitute a "qualified income offset" within the meaning of Treasury Regulation Section 1.704-1(b)(2)(ii)(d).
- 6.4 Minimum Gain Chargeback.** Notwithstanding the above, if there is a net decrease in LLC "minimum gain" during the taxable year, each Member shall be specially allocated, before any other allocation, items of income and gain for such taxable year (and, if necessary, subsequent years) in proportion to each Member's share of the net decrease in LLC "minimum gain" as determined in accordance with Treasury Regulation Section 1.704-2(g)(2). This paragraph is intended to comply with the "minimum gain chargeback" provisions of Treasury Regulation Section 1-704-2(f).
- 6.5 Section 704(c) Allocation.** Notwithstanding the above, to the extent that Code Section 704(c) is applicable to any item of income, gain, loss, and deduction with respect to any property (other than cash) that has been contributed by a Member, and which is required to be allocated to such Member for income tax purposes, that item shall be allocated to such Member in accordance with Code Section 704(c).
- 6.6 Distributions.** Distribution of LLC assets and property shall be made at such times and in such amounts as the Members determine subject to any restrictions in this Declaration. Distributions shall be made among the Members in proportion to the Member's LLC Interest.

ARTICLE 7: ACCOUNTING AND TAXATION

- 7.1 Books and Records.** The books and records of the LLC shall be kept in sufficient detail to determine the Profit or Loss and the federal income tax items of the LLC for each period for which an allocation is to be made pursuant to this Declaration. The LLC shall keep such books and records in sufficient detail so as to permit preparation of financial statements together with any other records and documents required to be made available by the LLC for inspection under the Act. Such documents shall be maintained at the principal office of the LLC, and shall be open for inspection and examination, copying, verification or audit thereof by any Member or his/her/its duly authorized representative.

- 7.2 **Inspection and Audit Rights.** Each Member has the right, upon reasonable request, for purposes reasonably related to the interest of that Member, to inspect and copy any of the LLC books and records. Such right may be exercised by the Member or his/her/its agent or attorney. Any Member may require a review and/or audit of the books, records, and reports of the LLC.
- 7.3 **Fiscal Year.** The LLC's fiscal year shall end on December 31.
- 7.4 **Annual Accounting.** Within 45 days after the close of each fiscal year of the LLC, the Manager shall cause to be prepared and submitted to each Member a balance sheet and income statement from the preceding fiscal year of the LLC (or portion thereof) in conformity with generally accepted accounting principles, and provide to the Members all information necessary for them to complete federal and state tax returns.
- 7.5 **Bank Accounts.** All funds of the LLC shall be deposited in the LLC's name in such banks as determined by the Members. All checks, drafts, or other orders for payment of money, notes, or other evidences of indebtedness, issued in the name of or payable to the LLC, shall be signed or endorsed by the Manager in such manner as shall be unanimously determined by the Members.
- 7.6 **Accounting Method.** For financial reporting purposes, the books and records of the LLC shall be kept on the accrual method of accounting applied in a consistent manner, shall reflect all transactions of the LLC, and shall be appropriate and adequate for the business purposes of the LLC.
- 7.7 **Taxation.** The Members shall appoint a Tax Matters Partner pursuant to Code Section 6231 to represent the LLC. The Tax Matters Partner, on behalf of the LLC, shall oversee the LLC tax affairs in the overall best interests of the LLC and make all elections for federal income tax purposes. The Tax Matters Partner shall have all necessary federal and state income and information tax returns prepared and filed on behalf of the LLC. The determination of the Tax Matters Partner as to adjustments to the financial reports, books, records, and returns of the LLC, in the absence of fraud or gross negligence, shall be final and binding upon the LLC and all of the Members.

ARTICLE 8: TRANSFER AND ASSIGNMENT OF LLC INTERESTS

- 8.1 **Transfer or Assignment of Member's Interest.** Except as otherwise provided in this Declaration, no Member may transfer and/or assign, in whole or in part, his/her/its LLC Interest at any time. For the purposes of this Declaration transfer shall mean sale, exchange, assignment, alienation, disposition, gift, pledge, hypothecation, encumbrance, or grant of security interest in the LLC Interest.
- 8.2 **Consent to Transfer.** No transfer or assignment of a LLC Interest, or any part thereof, will be valid without the express written consent of all current Members, excluding the Member proposing to transfer or assign his/her/its LLC Interest. If a LLC Interest is transferred or assigned without the consent of all current Members, the transferee shall have no rights in the LLC, shall not be permitted to participate in the business and affairs of the LLC, and shall not have the right to become a Member of the LLC. If a transfer or

assignment does obtain the required consent, then the transferee shall be admitted as an additional Member pursuant to this Declaration.

- 8.3 Transfer to Family Members.** For the purposes of this section, the restriction on the transfer or assignment of a LLC Interest shall not apply to transfers or assignments to a Member's immediate family, including his/her spouse, parents, siblings, and children or a trust, corporation, or other entity controlled by the transferring Member.

ARTICLE 9: DISSOLUTION AND TERMINATION

- 9.1 Dissolution.** The LLC shall be dissolved upon the occurrence of either of the following events:

- (a) The written consent of all current Members of the LLC; or
- (b) The death, withdrawal, resignation, expulsion, bankruptcy, or dissolution of a Member, or the occurrence of any other event which terminates the Member's continued membership in the LLC, unless the business of the LLC is continued by the consent of all remaining Members of the LLC within 90 days of the happening of that event.

- 9.2 Conduct of Business.** Upon the occurrence of any of the events specified above, the Manager shall act as liquidator and wind up all LLC business and affairs. However, the LLC shall continue to exist until the Certificate of Dissolution has been filed with the Ohio Secretary of State or until a decree dissolving the LLC has been entered by a court of competent jurisdiction.

- 9.3 Distribution of Net Proceeds.** Upon the occurrence of any of the events specified above and upon the completion of the winding up of all LLC business and affairs, the assets of the LLC shall be promptly liquidated and distributed in the following order:

- (a) To the payment of creditors, excluding Members, in the order of priority as provided by law;
- (b) To the payment of loans or advances made by Members;
- (c) To the Members in proportion to his/her/its Capital Accounts after adjustments for all allocations of net profits and net loss.

Where the distribution consists of both cash and noncash assets, the cash shall be distributed first, in descending order, to the above categories. Distribution values of noncash assets are to be based on the fair market value of the noncash asset as determined in good faith by the liquidator. The liquidator may sell noncash assets and distribute the cash proceeds or distribute the assets in kind, in descending order, to the above categories.

- 9.4 Termination.** The LLC shall be terminated upon the distribution of all assets. The Manager shall cause the LLC to file the Certificate of Dissolution with the Ohio

Secretary of State and to take any other actions necessary to terminate the LLC pursuant to the Act.

ARTICLE 10: MISCELLANEOUS

- 10.1 Entire Declaration/Modification.** This Declaration contains the entire understanding of the Members with respect to the subject matter of the Declaration, and it supersedes all prior understandings, agreements, or declarations, express or implied, whether written or oral, and all prior dealings of the Members with respect to the subject matter hereof. This Declaration, in whole or in part, cannot be changed, modified, extended, or discharged without the consent of all Members. Further, no consent or waiver, express or implied, to or of any breach or default shall constitute a consent or waiver to or of any other breach.
- 10.2 Partition.** Each Member agrees that he/she/it has no right, and irrevocably waives any and all such rights, to have the assets of the LLC partitioned, or to file a complaint, or institute and maintain any proceeding at law or equity to have the assets of the LLC partitioned.
- 10.3 Further Actions.** Each of the Members shall execute, acknowledge, and deliver such additional documents, and take such further actions, as may reasonably be required from time to time to carry out each of the provisions and intent of this Declaration, and every agreement or document relating hereto, or entered into in connection herewith.
- 10.4 Severability.** If any provision of this Declaration or the application thereof to any person or circumstance shall be invalid or unenforceable to any extent, the remainder of this Declaration and the application of such provision to other persons or circumstances shall not be affected thereby and shall be enforced to the greatest extent permitted by law.
- 10.5 Successor and Assigns.** This Declaration shall be binding upon and inure to the benefit of the Members and to their respective successors, legal representatives, and assigns.
- 10.6 Notices.** All notices shall be in writing and shall be sent by personal delivery, first class mail, national overnight courier, or telecopier with telephone confirmation. Notice shall be deemed given on the day that such notice is delivered to the recipient or, with respect to any mailing, three days after such notice is deposited in the mail. Unless otherwise specified by a notice to the Members, all notices shall be given or made upon the Members at the address or telecopy number last shown upon the records of the LLC.
- 10.7 Attorneys' Fees.** In the event of any litigation, arbitration, or other dispute arising as a result of or by reason of this Declaration, the prevailing party in any such litigation, arbitration, or other dispute shall be entitled to, in addition to any other damages assessed, his/her/its reasonable attorneys' fees, and all other costs and expenses incurred in connection with settling or resolving such dispute.
- 10.8 Construction.** Throughout this Declaration, the masculine, feminine, or neuter genders shall be deemed to include the masculine, feminine, and neuter and the singular, the plural, and vice versa. The section headings of this Declaration are for convenience or

reference only and do not form a part hereof and do not in any way modify, interpret, or construe the intentions of the Members.

10.9 Execution and Counterparts. This Declaration may be executed in several counterparts each of which shall be deemed to be an original, and all such counterparts when taken together shall constitute one and the same instrument.

10.10 Governing Law. This Declaration shall be governed by, and interpreted in accordance with, the laws of the State of Ohio.

SIGNATURE

IN WITNESS WHEREOF, the initial Member hereto has caused this Declaration to be duly executed this 25 day of February, 2022.

Initial Member

By: Evolution Holdings LLC,
an Ohio limited liability company

By: Francine E. Meyers
Francine E. Meyers, Action Manager

Northport Residential Hotel Development Plan

3.28.23

The following maps, at minimum are required:

- I) **A survey plat and legal description by a registered Ohio surveyor showing the size and location of the proposed development.**
See Exhibits B-1 & B-2.
- II) **A finished grading plan drawn at a scale of 1"=100' or other scale acceptable to the Zoning**
See Exhibit E-2.
- III) **An exhibit demonstrating environmentally sensitive areas such as the 100-year floodplain, wetlands, and slopes greater than 20%**
See Exhibit C-2.
- IV) **A Development Plan drawn to a scale of at least 1"=100' or other scale acceptable to the Zoning Inspector demonstrating the details listed therein.**
See Exhibit C-1.

The Development Plan Contents shall include in text and map form the following proposed features:

- A. **The general development character and all permitted uses, identified by NAICS code, and accessory uses to be located on the tract including the limitations or controls to be placed on all uses, with proposed lot sizes, and minimum setback requirements. Other development features, including landscaping, entrance features, signage, pathways, sidewalks, recreational facilities, common open space areas, and all commonly owned structures shall be shown in detail identifying the quantity and type and typical section of each.**

Development use 721110 Hotels (except Casino Hotels) and Motels

Per Section 15.05 Development and Design Standards:

1. Right of way Setbacks:
 - a. Along US 36/SR 37:

Maximum building setback of sixty (60) feet. A ten (10) foot right of way landscape zone is provided within the setback.
 - b. Future US 36/ SR 37 Interchange:

Maximum building setback of sixty (60) feet. A ten (10) foot right of way landscape zone is provided within the setback.
2. Minimum Side and Rear Yards:
 - a. A minimum side and rear yard of 36.5'. This is greater than the minimum required $\frac{1}{3}$ the sum of buildings height and depth. $(64.5' + 41.75')/3=35.42$).

B. Architectural design criteria including materials, colors and elevations for all structures and criteria for proposed signs that comply with the architectural requirements of this resolution.

Exterior elevations shall consist of:

Siding: LP Building Solutions, Expert Finish Board and Batten, Horizontal and Shake
Siding in the Summit Blue Color.

Stone: Dutch Quality Kentucky Blend Limestone

Brick: Triangle Portsmouth

Trim: LP White

See Exhibits F-1 through F-3 for location and images of materials and colored elevations.

C. Building heights and dimensions.

Building type G: 63.66' w x 170.46' l x 41.75' h

Building type J: 63.66' w x 149.125' l x 41.75' h

Building type H: 63.33' w x 86' l x 41.75' h

See Exhibit F-3 for dimensioned architectural elevations.

D. Off-street parking.

The development includes 207 surface parking spaces and 12 garage spaces for a total of 219 off-street parking spaces. 7 of the surface spaces provided are in accordance with ADA requirements. This results in a 1.68 space per hotel suite ratio. Each space is a minimum of nine (9) feet in width and twenty (20) feet in length with a minimum twenty-six (26) foot drive aisle. There is a maximum of 12 spaces in a row which are separated by a landscaped island.

See Exhibit C-1 for location of off-street parking.

E. Landscape Plan identifying each plant, shrub, or tree by name, its size at planting, and rendering of how that area of the development would look in elevation.

Landscape Materials shall meet the requirements of 15.05 C.4.a

Ten (10) Street trees, spaced at fifteen (15) feet on center, provided along US 36/SR 37.

A ten (10) foot wide landscape zone provided along right-of-way frontage. This zone contains thirteen (13) deciduous trees and twenty-one (21) medium shrubs.

All Vehicular Use areas are screened as per Section 15.05 C.4.8 with a three (3) foot average height continuous planted hedge, fence, or 6' wall.

There are twenty-one (21) landscaped parking islands. Each island has a minimum of one shade tree of a minimum 2" caliper and a minimum of fifty (50) square feet of other plant material.

Service structures are screened with a continuous masonry wall, minimum of one (1) foot above the structure.

See Exhibit D-1 for Landscape Requirements Plan

See Exhibits D-2 and D2.2- D2.5 for location, identification, and size of all plant material.

See Exhibit D-3 for landscape elevations.

F. Signage plan, showing all proposed signage and dimensions.

Primary entry shall have a monument style sign. The dimensions of this signage shall be 9' in height and 18'-17" in length and 2' in width. The graphic area of the sign will be double sided with 24 sf per side.

See Exhibit D6 for Monument Sign detail.

Additional signs include marketing signs, temporary signage, unit signage, office signage, and typical internal signage. For dimensions and visual appearance please see Exhibit D-4 and D-4.1 for signage plans.

G. Exterior Lighting Plan to show how exterior lighting fixtures will be shaded whenever necessary to avoid casting direct light upon any adjoining property.

Pole light fixtures are full cut-off type. In parking areas the fixture height will not exceed twenty (20) feet and no lighting will exceed the height of the proposed buildings.

See Exhibit D-5 for lighting plan and fixture details.

H. The proposed provisions for water, fire hydrants, sanitary sewer, and surface drainage with engineering feasibility studies or other evidence of reasonableness. Line sizes and locations, detention basins and drainage structures shall be drawn. A copy of letters from the County Engineer and Sanitary Engineer stating general feasibility road geometries, surface drainage, and the provision of sewer shall be included.

All engineering and utilities will be consistent with Delaware County Engineering standards.

See Exhibit E-1 for Composite Utility Plan.

See Exhibit E-3 for Engineering Feasibility Letter

See Exhibit E-4 for Sewer Availability Letter

I. A Traffic Impact Analysis by a competent traffic engineer, based upon new trip generation as estimated by the Delaware County Engineer's standards and showing the proposed traffic patterns, public and private streets, and other transportation facilities, including their relationship to existing conditions, topographical and otherwise. An internal traffic flow diagram showing the vehicle movements and

circulations internal to the site (including any private roads) shall also be submitted.
See Exhibit G-1 for Traffic Impact Analysis

J. The relationship of the proposed development to existing and probable uses of surrounding areas during the development timetable.

Parcels to the west of the site currently include an RV dealership and is the planned location for a future US 36/ SR 37 Interchange.

To the south is a parcel which is currently wooded but has recently been approved for development of a multi-unit residential community. The future US 36/ SR 37 Interchange will bisect this parcel, and the remainder which borders this development is designated for commercial uses.

The east parcels include a real estate office and a concrete construction business.

The north of the site is bordered by US 36/SR 37 and across the public right of way are two parcels which are zoned for residential use, with only one currently including a residential building.

See Exhibit C-2 for existing conditions of the surrounding area.

K. Location of all uses within the site and the location of schools, parks, and other public facility sites within or adjacent to the site.

There are no schools, parks, or other public facilities within or adjacent to this site.

See Exhibit C-2 for existing conditions.

L. The proposed time schedule for development of the site including streets, buildings, utilities, and other facilities.

The applicant shall apply for building permits once approved by Berlin Township- Construction will take approximately 18 months to complete after permits are received, and should be complete by end of 2024

M. If the proposed timetable for development includes developing the land (including open space) in phases, all phases developed after the first, which in no event shall be less than five (5) acres or the whole tract (whichever is smaller), shall be fully described in textual form in a manner calculated to give Township Officials definitive guidelines for approval of future phases. This schedule shall include a detailed list of all items to be constructed in each phase of the development, including but not limited to any amenities such as fountains, tot lots, etc. This information must also include a set of documents for establishing any proposed Homeowners' Association including the proposed time frames for turning said association over to the residents. The phasing plan must also include information to clearly indicate that the requirements of Section 15.05(A)(5)(b) are being met.

This development will be constructed as one phase.

Development use is a residential hotel with a single owner. Homeowners Association is not applicable to this development.

N. The ability of the applicant to carry forth this plan by control of the land and the engineering feasibility of the plan.

The applicant has ownership of this parcel. See Parcel Warranty Deed.
See Exhibit E-3 for engineering feasibility letter.

O. Evidence of the applicant's ability to post a bond or an irrevocable letter of credit if the plan is approved assuring completion of public service facilities to be constructed within the project by the developer.

See Northport Place LLC Declaration.

P. All drawings that are a part of the Development Plan shall respectively bear the seals of the preparing architect, landscape architect, and/or professional engineer. The respective professional attaching his or her seal to the drawings must be licensed to practice in the state of Ohio.

All drawings are sealed by the respective professional licensed to practice in the state of Ohio.

Q. The manner and method to be utilized in order to achieve and maintain compliance with the general criteria for the respective district.

The plans have been developed in accordance to the BCO guidelines, and adherence to these standards shall be maintained during construction and with continued operation of property.

R. The manner in which the applicant will mitigate any nuisance effects of the proposed uses such as, but not limited to: a) Fire and Explosion Hazards; b) Air Pollution; c) Glare, Heat and Exterior Lighting; d) Dust and Erosion; e) Liquid or Solid Wastes; f) Vibration and Noise; g) Odors.

The proposed uses of this site are not anticipated to create any of these listed nuisance effects.

S. The proposed locations of any proposed cluster mailbox units, associated off-street parking spaces, and proposed methods for maintaining said units and parking spaces.

Mail units will be within a mailbox kiosk located on the western side of the central green. Off-street parking is located directly next to the kiosk. These will be maintained with the remainder of the property.

T. Letters required include: Delaware County Regional Planning Commission (DCRPC), Berlin Township Fire, Delaware County Engineer (see above); Delaware General Health

District and/or Ohio EPA (for On-site Water and/or Wastewater System): Delaware Soil and Water; Any other applicable Federal, State, and/or local agencies.

See Exhibit E-3 for Delaware County Engineer letter.

See Exhibit E-4 for Delaware County Regional Sewer Letter

See Exhibit E-6 for Berlin Township Fire Department Letter

Delaware Soil and Water does not provide letters and relies on Delaware County Engineer to evaluate.

- U. The Township Zoning Commission and Board of Township Trustees may impose special additional conditions relating to the development with regard to type and extent of public improvements to be installed. This includes but is not limited to landscaping, development, improvement, and maintenance of common open space as well as any other pertinent development characteristics.**

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DCRPC Letter
Parcel Warranty Deed
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Exhibits "A-1" – Surrounding Property Owners

Exhibits "B-1 & B-2" – Legal Description and Boundary Survey

Exhibits "C-1 through C-3" – Illustrative Plan, Development Plan and Open Space Plan, Existing Conditions Plan, and Site Dimensions Plan

Exhibits "D-1 through D-6.3" – Landscape Plans, Signage Plans, Lighting Plan and Landscape Site
Details

Exhibits "E-1 through E-6" – Utility Plan, Grading Plan, Engineering Feasibility, Sewer Availability Letter, Utility Letters, and Fire Letter

Exhibits "F-1 through F-3" – Architectural Elevations, Materials and Floor Plans

Exhibit "G-1" – Traffic Impact Analysis

TALON TITLE AGENCY
570 POLARIS PKWK STE 140
WESTERVILLE, OH 43082

Delaware County
The Grantor Has Complied With
Section 319.202 Of The R.C.
DATE 4-6-2022 Transfer Tax Paid 2205.⁰⁰
~~TRANSFERRED OR TRANSFER NOT NECESSARY~~
Delaware County Auditor By [Signature]


Doc ID: 014434560004 Type: OFF
Kind: DEED
Recorded: 04/11/2022 at 11:05:18 AM
Fee Amt: \$50.00 Page 1 of 4
Workflow# 0000293089-0001
Delaware County, OH
Melissa Jordan County Recorder
File# 2022-00011249
BK **1958** PG **1096-1099**

Order Number: 22819784-TCM/JWT

Talon Title - C

GENERAL WARRANTY DEED

Land Five Ltd., an Ohio limited liability company, for valuable consideration paid, grants, with general warranty covenants to **Northport Place LLC, an Ohio limited liability company**, whose tax mailing address is 470 Olde Worthington Rd., Ste 100, Westerville, OH 43082 the following real property:

“See Exhibit “A” attached hereto and made a part hereof....”

Parcel Number: 418-140-01-005-000

Property Address: 6.369 acres State Route 37 East, Sunbury, Ohio 43074

Except for the following and subject to all of which this conveyance is made: legal highways; zoning ordinances; real estate taxes and assessments which are now or may hereafter become a lien on said premises; covenants, conditions, restrictions and easements of record; and all coal, oil, gas, and other mineral rights and interests previously transferred or reserved of record.

Prior Instrument Reference: Deed Book 618, Page 496; Deed Book 622, Page 818 and Deed Book 639, Page 322, Recorder’s Office, Delaware County, Ohio.

Executed this 1st day of April, 2022.

Land Five Ltd.,
an Ohio limited liability company

BY: Rita A. Greer
Rita A. Greer, Administrator of the Estate of Jerry
T. Greer Its: Authorized Member

State of Ohio
County of Delaware ss:

This is an acknowledgment. No oath or affirmation was administered to the signer with regard to the notarial act.

The foregoing instrument was acknowledged before me this 1st day of April, 2022, by Rita A. Greer, Administrator of the Estate of Jerry T. Greer, Authorized Member, of Land Five Ltd., an Ohio limited liability company, on behalf of the company.

In Testimony Thereof, I have hereunto subscribed my name and affixed my official seal on the day and year last aforesaid.

Jeffrey A. Auker
Notary Public

This instrument prepared by Magnuson & Barone Attorneys at Law



JEFFREY A. AUKER, ATTORNEY AT LAW
NOTARY PUBLIC, STATE OF OHIO
My commission has no expiration date.
Section 147.03 R.C.

BRISKEY CONCRETE INC
100 S THREE B'S & K RD
GALENA OH 43021

MESS AUTUMN
6765 STATE ROUTE 37
GALENA OH 43021

CONRAD KIMBERLY & DAVID
TRUSTEES
11040 SAGE CREEK DR
GALENA OH 43021

THE RAVINES AT MEADOW
RIDGE LLC
470 OLDE WORTHINGTON RD
WESTERVILLE OH 43082

KUSS ROUTE 36/37 LLC
145 N. UNION ST
DELAWARE OH 43015

K HOVNANIAN OHIO REALTY
LLC
6830 STATE ROUTE 37
SUNBURY OH 43074

NORTHPORT LLC
STATE ROUTE 37
SUNBURY OH 43074

TURBO GROUP LLC
6700 STATE ROUTE 37
SUNBURY OH 43074

HILL FAMILY ENTERPRISES
LTD
160 S THREE B'S & K RD
GALENA OH 43021

Parcel Description ~ 6.369 Acres
South of U.S. 36 & S.R. 37
West of N. 3 B's & K Road

-1-

Situated in the State of Ohio, County of Delaware, Township of Berlin, Farm Lot 5, Quarter Township 1, Township 4, Range 18, United States Military District, being part of an Original 42.299 acre tract of land conveyed to Land Five Ltd. of record in Deed Book 618, Page 496, said 6.369 acres more particularly described as follows;

Beginning for Reference, at a northeasterly corner of a 1.865 acre tract of land conveyed to K. Hovnanian Ohio, L.L.C. of record in Deed Book 557, Page 1868, being the southeasterly corner of a 0.46 acre tract of land described as Parcel No. 35-WD as conveyed to the State of Ohio of record in Deed Book 381, Page 193, being the southwesterly corner of a 1.33 acre tract of land described as Parcel No. 30-WD1 and conveyed to the State of Ohio of record in Deed Book 367, Page 360, being the northwesterly corner of Lot 1899 as numbered and delineated upon the plat "Lighthouse Center" of record in Plat Cabinet 3, Slide 558 and being in the southerly right-of-way line of U.S. Route 36 & State Route 37 as shown on the O.D.O.T. plans DEL-36-13.26 (witness a 5/8-inch iron pipe bent);

Thence S 03° 44' 02" W, along the easterly line of said 1.865 acre tract and along the westerly line of said Lot 1899, 275.00 feet to an iron pipe set at the southeasterly corner of said 1.865 acre tract, the **True Point of Beginning**;

Thence S 03° 44' 02" W, along the westerly line of said Lot 1899 and along the westerly line of a 3.643 acre tract of land conveyed to Briskey Concrete Inc. of record in Deed Book 1633, Page 1134, 233.68 feet to an iron pin set at the southwesterly corner of said 3.643 acre tract, being the northwesterly corner of Lot 1853 as numbered and delineated upon the plat "Hill Family Enterprises Plat" of record in Plat Cabinet 3, Slide 632 and being a northeasterly corner of area a 31.596 acre tract of land conveyed to The Ravines at Meadow Ridge LLC of record in Deed Volume 669, Page 982;

Thence N 87° 33' 25" W, along the northerly line of 31.596 acre tract, 660.55 feet to 5/8-inch iron pipe found at the southeasterly corner of a 2.470 acre tract of land conveyed to Turbo Group, LLC of record in Deed Book 1176, Page 2872;

Thence N 03° 02' 05" E, along the easterly line of said 2.470 acre tract, 537.52 feet to an iron pin set at a northeasterly corner of said 2.470 acre tract, being the southerly line of a 2.14 acre tract of land described as Parcel No. 34-WD as conveyed to the State of Ohio and recorded in Deed Book 381, Page 193 and being the southerly right-of-way line of said U.S. Route 36 & S.R. 37 (DEL-36-13.26);

Thence along the southerly line of said 2.14 acre tract and said southerly right-of-way line, the following two (2) courses:

N 88° 13' 05" E, 184.40 feet to a 5/8-inch iron pipe found with a plastic cap inscribed "Stults" at an angle point;

S 86° 04' 17" E, 207.86 feet to a southeasterly corner of said 2.14 acre tract, the southwesterly corner of said 0.46 acre tract and the northwesterly corner of said 1.865 acre tract (witness a 5/8-inch iron pipe west of corner 0.29 feet with a plastic cap inscribed "Stults");

Thence S 03° 44' 02" W, along the westerly line of said 1.865 acre tract, 305.94 feet to a southwesterly corner thereof (witness a 3/4-inch iron pipe north of corner 0.13 feet with a plastic cap inscribed "E.M.H.&T.");

Thence S 86° 15' 58" E, with a southerly line of said 1.865 acre tract, 275.54 feet to the **True Point of Beginning** and containing 6.369 acre more or less, being subject to all rights-of-way, easements and restrictions, if any, of previous record.

The above description was prepared by Advanced Civil Design Inc. on February 18, 2022 and is based on existing County Auditor records, County Recorder records and an actual field survey conducted in February of 2022.

All iron pins set are 5/8" diameter rebar, 30" long with a plastic cap inscribed "Advanced 7661".

The basis of bearings used for this exhibit are based on the NAD83 Ohio State Plane Coordinate System, South Zone (NSRS 2011) which determines the bearing for a southerly right-of-way line, between two 5/8" iron pipes found at a distance of 201.00 feet, for U.S. Rt. 36 & St. Rt. 37 to be N88°13'05"E.

All references used in this description can be found at the Recorder's Office, Delaware County Ohio.



ADVANCED CIVIL DESIGN INC.

Douglas R. Hock, P.S. 7661

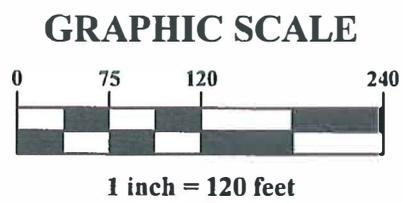
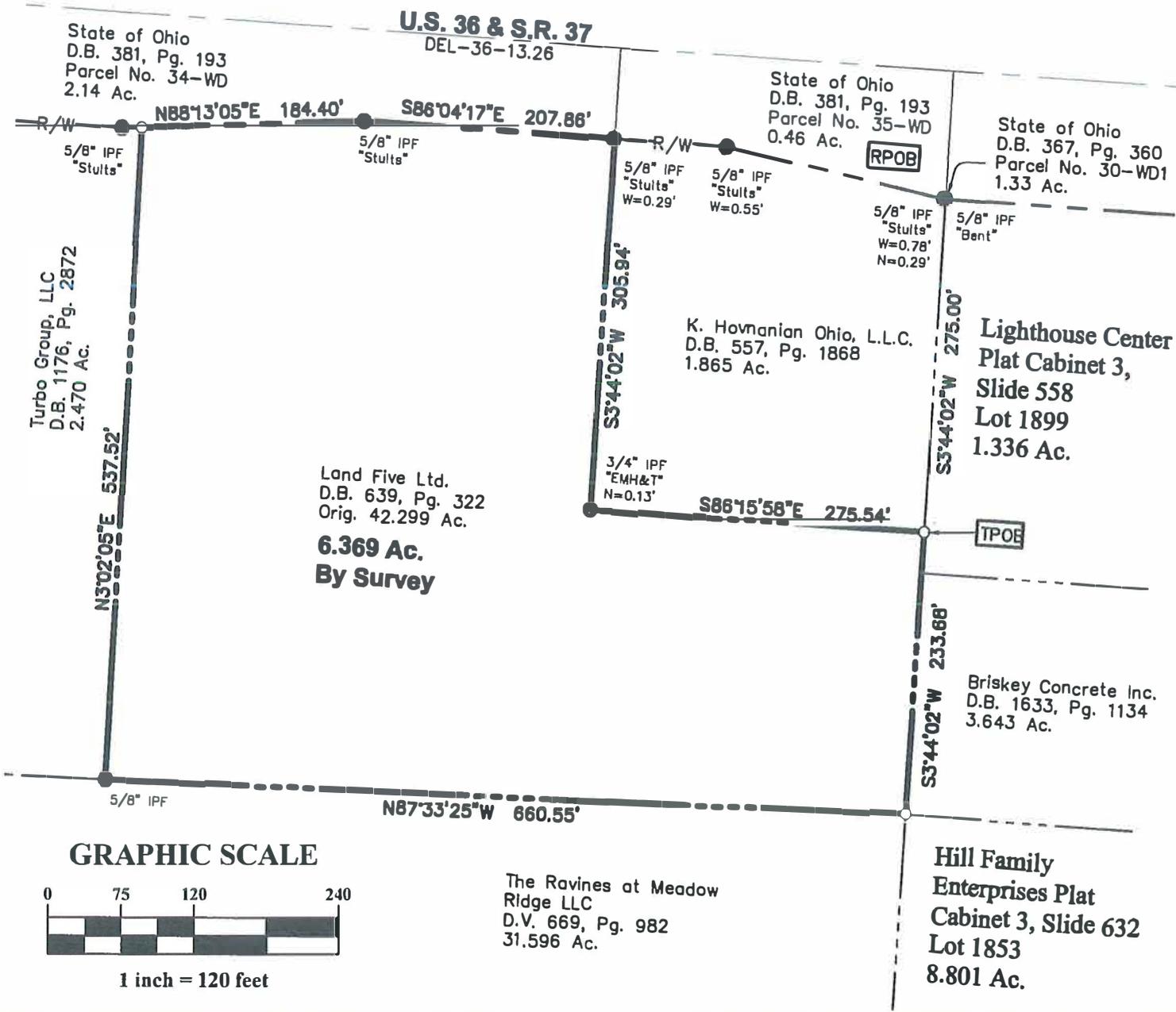
Date:

2/18/22

DESCRIPTION FOR CLOSING ONLY
RPC Approval Required
Municipal Approval Required
Delaware County Engineer

RL
2-22-22

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Parcel Exhibit
~6.369 ACRES~

Farm Lot 5, Quarter Township 1,
Township 4, Range 18
United States Military District
Berlin Township, Delaware County, Ohio

- Legend**
- Iron Rod Found
 - Iron Pipe Found
 - Iron Pin Set

This exhibit is based on information obtained from the Delaware County Auditor's and Recorder's Office and information obtained from an actual field survey conducted in February of 2022.

All Iron pins set are 5/8" diameter rebor, 30" long with a plastic cap inscribed "Advanced 7661".

The basis of bearings used for this exhibit are based on the NAD83 Ohio State Plane Coordinate System, South Zone (NSRS 2011) which determines the bearing for a southerly right-of-way line, between two 5/8" Iron pipes found at a distance of 201.00 feet, for U.S. Rt. 36 & St. Rt. 37 to be N88°13'05"E.



ADVANCED CIVIL DESIGN, INC.

Douglas R. Hock

2/18/22

Douglas R. Hock, P.S. 7661

Date:

DRAWN BY: DRB	JOB NO.: 22-0252-128
DATE: 02-18-2022	CHECKED BY: BCK
<p>ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS</p>	
781 Science Blvd., Suite 100 Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755	



SITE DATA

GROSS ACREAGE	± 6.369 ACRES
MINIMUM OPEN SPACE REQUIRED	25%=1.593 AC REQ
OPEN SPACE PROVIDED	28.6%= ±1.821 AC
CENTRAL GREEN REQUIRED	15% MINIMUM=.9553 ACRES
CENTRAL GREEN PROVIDED	±.958 ACRES
PROPOSED ZONING	BCO
RESIDENTIAL HOTEL - ALLOWED USE	
TOTAL SUITES	130
TOTAL PARKING SPACES	219 (1.68 SPACE/SUITE)
SURFACE PARKING	207
GARAGE PARKING	12

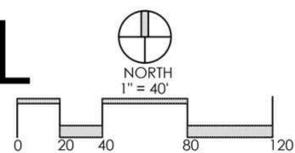
ILLUSTRATIVE SITE PLAN

EXHIBIT C

NORTHPORT RESIDENTIAL HOTEL

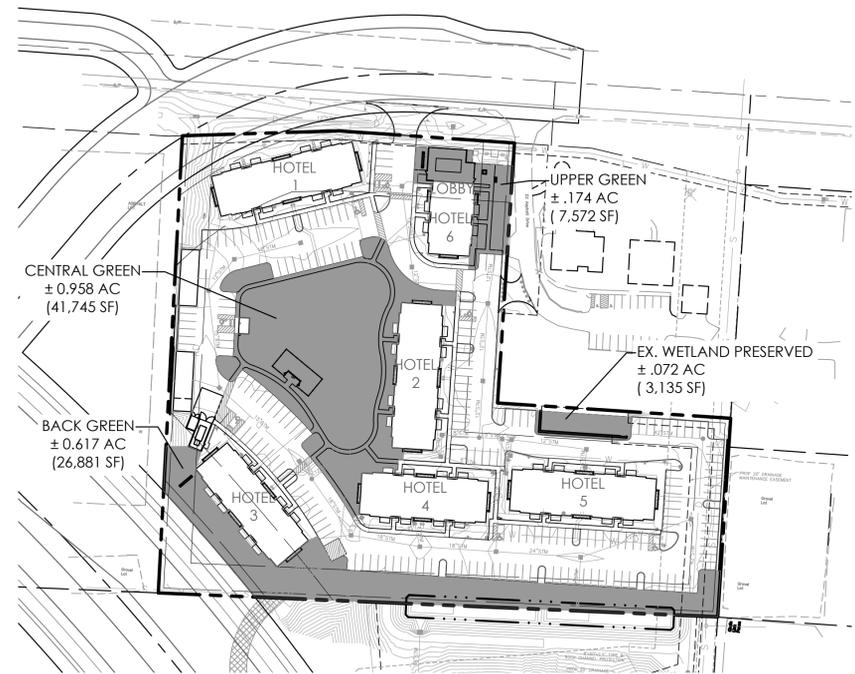
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DATE: 5.3.23

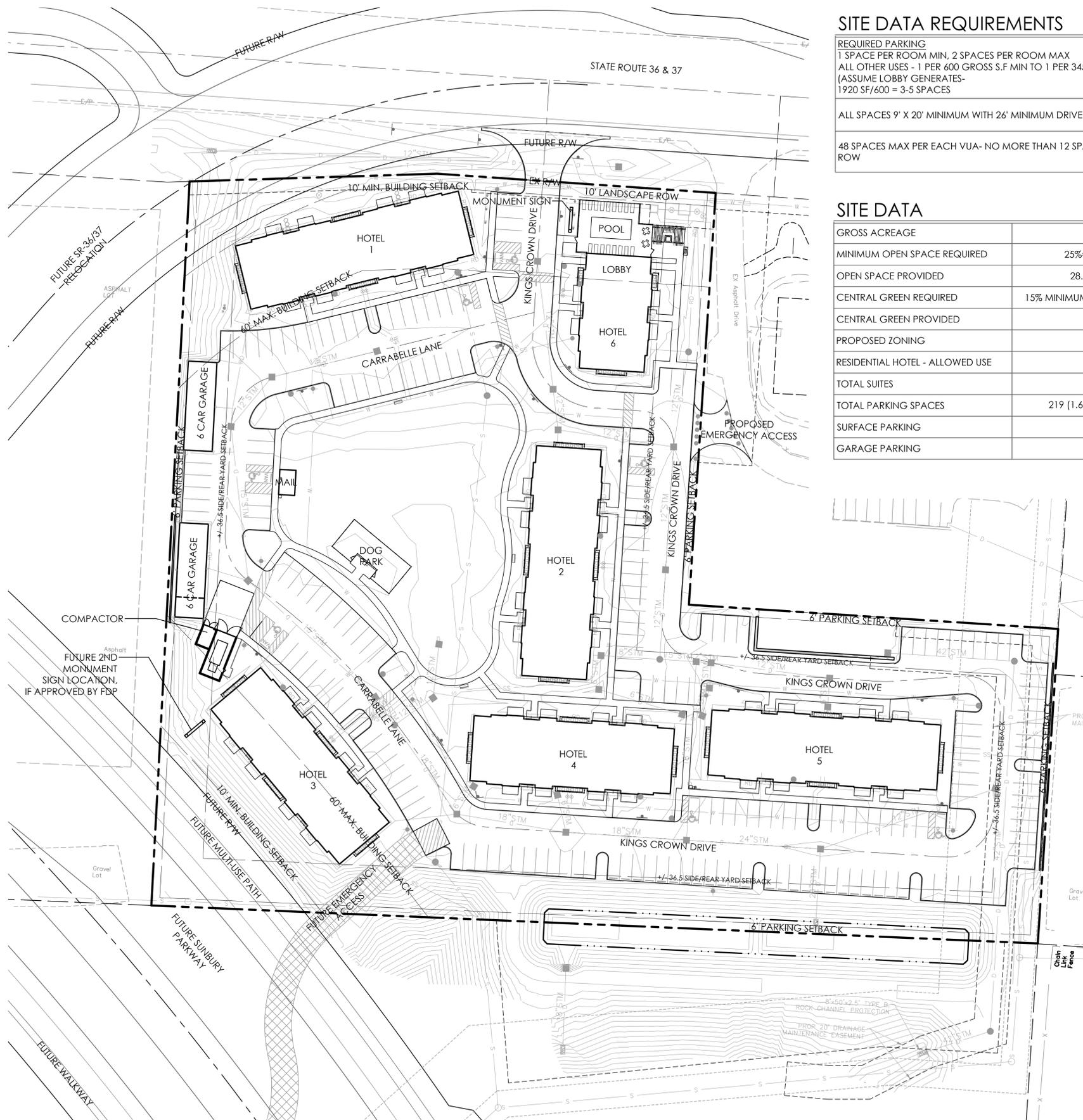
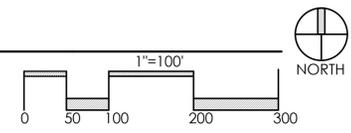


Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
 4876 Cemetery Hilliard, OH 43024
 p (614) 487-1964 www.farisplanninganddesign.com



2 OPEN SPACE PLAN
SCALE: 1"=40'



1 DEVELOPMENT PLAN
SCALE: 1"=40'

SITE DATA REQUIREMENTS

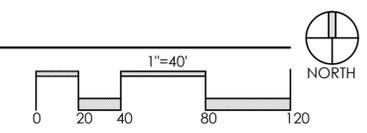
REQUIRED PARKING
1 SPACE PER ROOM MIN, 2 SPACES PER ROOM MAX
ALL OTHER USES - 1 PER 600 GROSS S.F. MIN TO 1 PER 345 SF MAX.-
(ASSUME LOBBY GENERATES-
1920 SF/600 = 3-5 SPACES

ALL SPACES 9' X 20' MINIMUM WITH 26' MINIMUM DRIVE AISLE

48 SPACES MAX PER EACH VUA- NO MORE THAN 12 SPACES IN A ROW

SITE DATA

GROSS ACREAGE	± 6.369 ACRES
MINIMUM OPEN SPACE REQUIRED	25%=1.593 AC REQ
OPEN SPACE PROVIDED	28.6%= ±1.821 AC
CENTRAL GREEN REQUIRED	15% MINIMUM=.9553 ACRES
CENTRAL GREEN PROVIDED	±.958 ACRES
PROPOSED ZONING	BCO
RESIDENTIAL HOTEL - ALLOWED USE	
TOTAL SUITES	130
TOTAL PARKING SPACES	219 (1.68 SPACE/SUITE)
SURFACE PARKING	207
GARAGE PARKING	12



REVISIONS	
DEVELOPMENT & OPEN SPACE PLAN	
NORTHPORT RESIDENTIAL HOTEL PREPARED FOR METRO DEVELOPMENT 470 OLDE WORKINGTON ROAD SUITE 100 WESTERVILLE, OH 43082	
Faris Planning & Design LAND PLANNING LANDSCAPE ARCHITECTURE 4876 Cemetery Hill Rd., Hilliard, OH 43026 P (614) 467-1194 www.farisplanninganddesign.com	
DATE	03/27/23
PROJECT	22005
SHEET	
C-1	

REVISIONS

LANDSCAPE REQUIREMENTS PLAN

NORTHPORT RESIDENTIAL HOTEL
 PREPARED FOR
 METRO DEVELOPMENT
 470 OLDE WORKINGTON ROAD
 SUITE 100
 WESTERVILLE, OH 43082

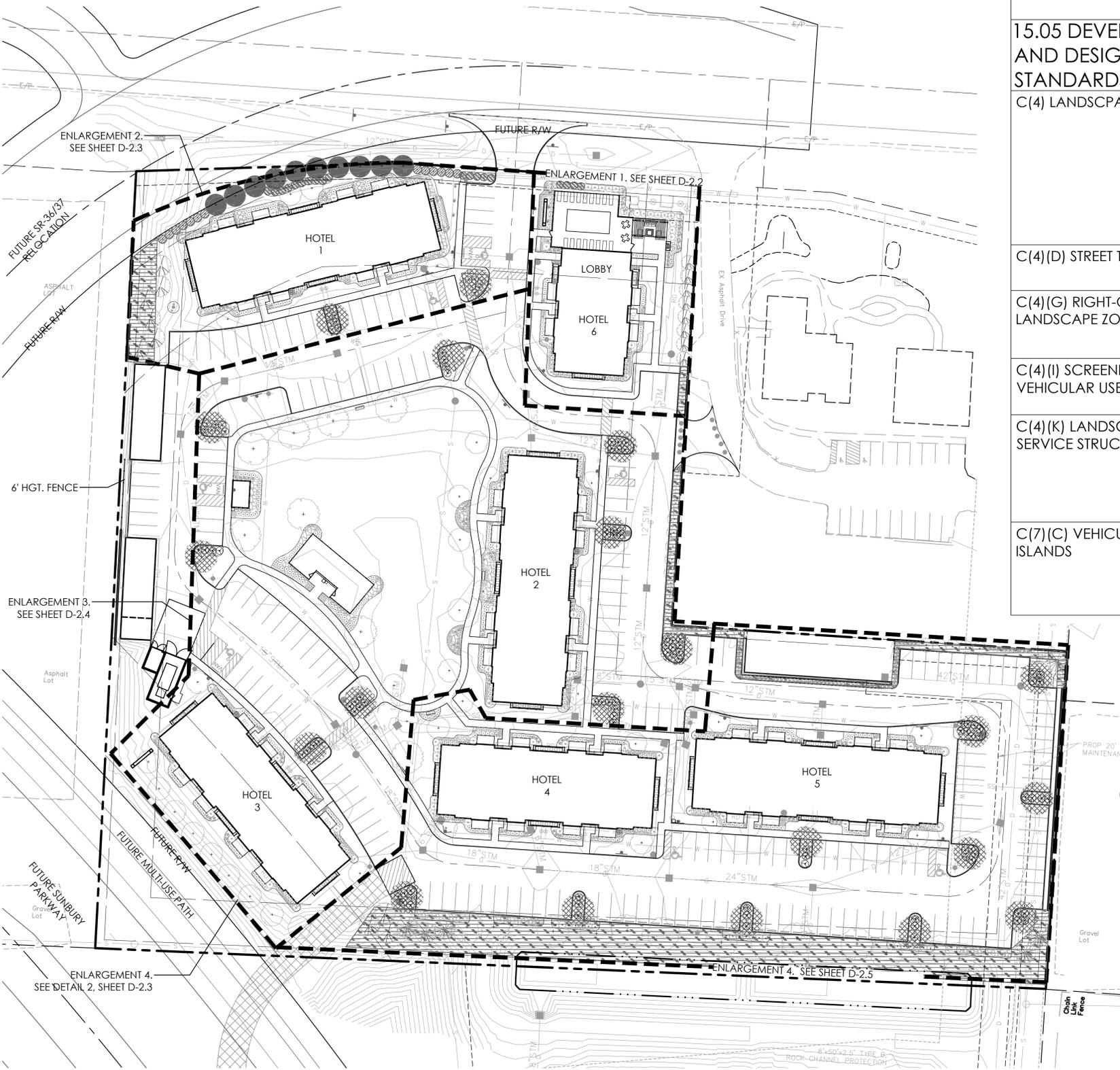
Faris Planning & Design
 LAND PLANNING LANDSCAPE ARCHITECTURE
 4876 Cemetery p. 61/1/167-1794
 Hilliard, OH 43026
 www.farisplanninganddesign.com

DATE	03/27/23
PROJECT	22005
SHEET	

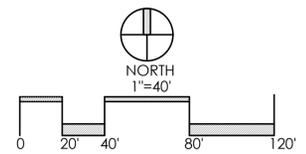
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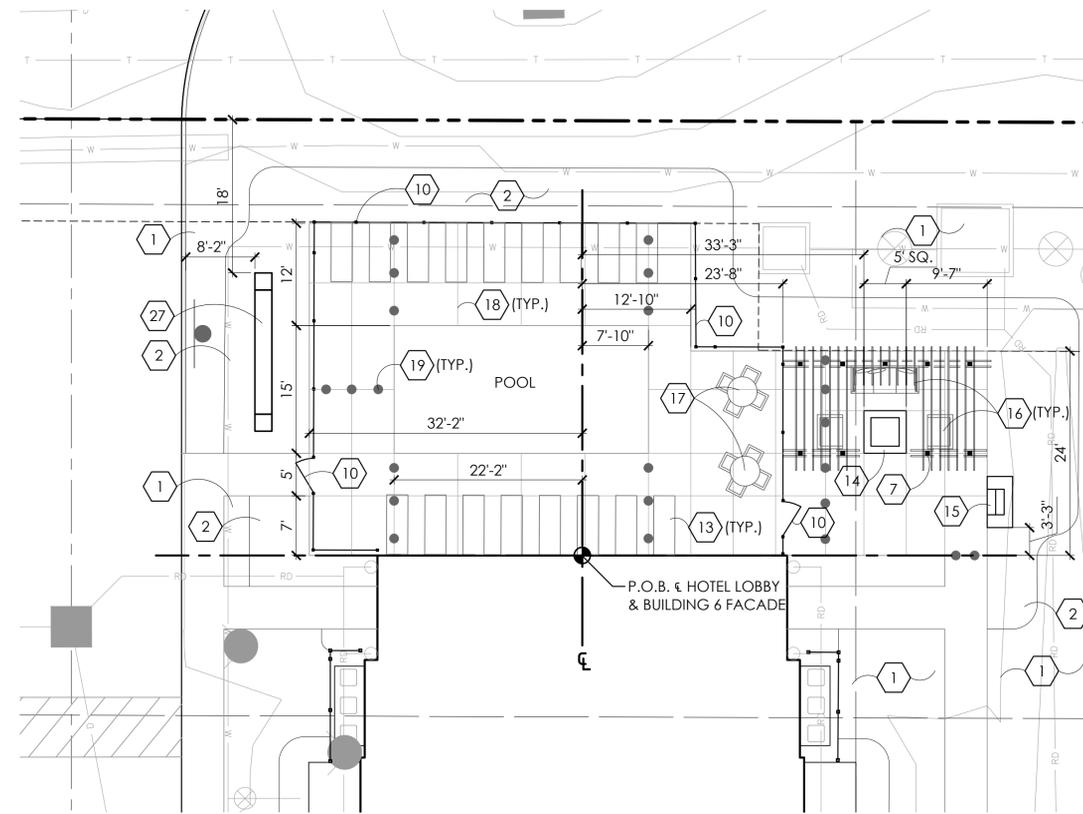
LANDSCAPE REQUIREMENTS (BERLIN COMMERCIAL OVERLAY (BCO))

15.05 DEVELOPMENT AND DESIGN STANDARDS	REQUIRED	PROVIDED
C(4) LANDSCAIPING	MINIMUM PLANT SIZES: - DECIDUOUS TREES: 2" CALIPER - EVERGREEN TREES: 5' HEIGHT - SHRUBS (MEDIUM): 3' HEIGHT - SHRUBS AND HEDGES: 2' IN HEIGHT AND CONFORM TO OPACITY AND OTHER REQUIREMENTS WITHIN 4 YEARS OF PLANTING UNLESS OTHERWISE PROVIDED, LANDSCAPING MATERIAL SHALL BE INSTALLED TO PROVIDE A MINIMUM OF FIFTY PERCENT (50%) WINTER OPACITY AND A SEVENTY PERCENT (70%) SUMMER OPACITY, BETWEEN ONE FOOT ABOVE FINISHED GRADE LEVEL TO THE TOP OF THE REQUIRED PLANTING, HEDGE, FENCE, WALL, OR EARTH MOUND WITHIN FOUR YEARS AFTER INSTALLATION.	ALL PLANTS TO BE INSTALLED AS REQUIRED
C(4)(D) STREET TREES	DECIDUOUS STREET TREES SHALL BE PROVIDED OUTSIDE OF AND IMMEDIATELY ADJACENT TO ALL PUBLIC RIGHTS-OF-WAY AND SHALL BE SPACED AT A MAXIMUM OF THIRTY (30) FEET ON CENTER.	10 TREES PROVIDED, SPACED AT 15 FEET ON CENTER ALONG U.S. ROUTE 36/37
C(4)(G) RIGHT-OF-WAY LANDSCAPE ZONE	SHALL BE A MINIMUM OF 10 FEET WIDE AND CONTAIN 3 DECIDUOUS TREES AND 5 MEDIUM SHRUBS EVERY 100 LINEAR FEET OF RIGHT-OF-WAY FRONTAGE. ±411 LF OF RIGHT-OF-WAY FRONTAGE = 12.33 DECIDUOUS TREES & 20.55 MEDIUM SHRUBS	13 DECIDUOUS TREES AND 21 MEDIUM SHRUBS
C(4)(I) SCREENING OF VEHICULAR USE AREAS	ALL VEHICULAR USE AREAS (VUA) REGARDLESS OF SIZE SHALL BE SCREENED WITH A THREE (3) FOOT AVERAGE HEIGHT CONTINUOUS PLANTING, HEDGE, FENCE, WALL OR EARTH MOUND LOCATED WITHIN A MINIMUM FOUR (4) FOOT WIDE AREA AROUND THE VUA.	VUA AREAS ON THE NORTH, EAST, SOUTH AND WEST SIDES SCREENED USING AN AVERAGE 3 FOOT HIGH CONTINUOUS PLANTING AND A 6' HEIGHT FENCE.
C(4)(K) LANDSCAPING FOR SERVICE STRUCTURES	A CONTINUOUS (HAVING NINETY PERCENT (90%) OPACITY YEAR-ROUND) PLANTING, HEDGE, FENCE, WALL OF EARTH, WHICH WOULD ENCLOSE ANY SERVICE STRUCTURE ON ALL SIDES UNLESS SUCH STRUCTURE MUST BE FREQUENTLY MOVED, IN WHICH CASE SCREENING ON ALL BUT ONE SIDE IS REQUIRED. THE AVERAGE HEIGHT OF THE SCREENING MATERIAL SHALL BE (1) FOOT MORE THAN THE HEIGHT OF THE ENCLOSED STRUCTURE, BUT SHALL NOT BE REQUIRED TO EXCEED (10) FEET IN HEIGHT.	CONTINUOUS MASONRY WALL AROUND MIN. 1' ABOVE TRASH COMPACTOR.
C(7)(C) VEHICULAR USE AREA ISLANDS	EACH LANDSCAPE ISLAND IN A SINGLE LOADED PARKING STALL DESIGN SHALL HAVE A MINIMUM AREA OF (162) SQUARE FEET WITH A MINIMUM WIDTH OF (9) FEET. EACH LANDSCAPE ISLAND SHALL HAVE A MINIMUM (1) SHADE TREE WITH A MINIMUM OF 2" IN CALIPER AND INCLUDE A MINIMUM OF (50) SQUARE FEET OF OTHER PLANT MATERIAL. THE REMAINING AREA OF THE LANDSCAPED ISLAND SHALL BE PLANTED WITH GRASS. THE USE OF MULCH SHALL BE PROHIBITED WITHIN THE LANDSCAPED ISLANDS.	21 LANDSCAPED ISLANDS PROVIDED. - (1) SHADE TREE AT 2" CALIPER PROVIDED AND A MINIMUM OF 50 SF. OF OTHER PLANT MATERIAL



LEGEND	
	VUA SCREENING (TYP.)
	STREET TREE (TYP.)
	LANDSCAPE ZONE R/W TREE (TYP.)
	LANDSCAPE ZONE R/W SHRUB (TYP.)
	VUA ISLAND TREE AND 50 SF OF OTHER PLANT MATERIAL (TYP.)





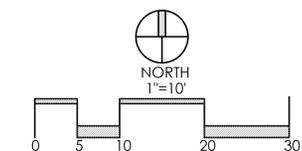
1 POOL LAYOUT PLAN
SCALE: 1"=10'

GENERAL LAYOUT NOTES

- BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY WAS PREPARED BY: TERRAIN EVOLUTION INC.; 720 E. BROAD STREET, COLUMBUS, OH 43215; (614) 385-1090
- ALL DIMENSIONS ARE TAKEN TO FACE OF CURB OR BUILDING WHERE APPLICABLE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL LAYOUT AND ADJUST AS REQUIRED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- BROOM FINISH ON CONCRETE SHALL BE PERPENDICULAR TO TRAFFIC FLOW.
- USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR, AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONSTRUCTION NOTES

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA. PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.
- WOOD ARBOR. SEE DETAIL 1, SHEET SD-4 FOR MORE INFORMATION.
- ALUMINUM POOL FENCE AND GATE. SEE DETAIL 1, SHEET SD-3 FOR MORE INFORMATION.
- CHAISE LOUNGE CHAIR. FINAL LOCATION AND STYLE BY OWNER. (TYPICAL OF 17)
- FIRE PIT AND BURNER. PENTA - BURNER (1' LESS THAN PIT DIAMETER BETWEEN SEATING). TORK - C-500 MULTI-VOLT 60-MINUTE TIMER. SEE DETAIL 1, SHEET SD-2 FOR MORE INFORMATION.
- GRILL STATION. WNK-4 GRILL WITH NMSG SLEEVE AND NMSDS DOUBLE DOORS. AVAILABLE FROM M.H.P. OUTDOOR GRILLS. SEE DETAIL 2, SHEET SD-2 FOR MORE INFORMATION.
- FIRE PIT SEATING, FINAL LOCATION AND STYLE BY OWNER.
- TABLE & CHAIRS. FINAL LOCATION AND STYLE BY OWNER.
- CONTROL JOINT, TYPICAL.
- EXPANSION JOINT, TYPICAL.
- 12" X 12" CATCH BASIN - NDS 1200 SERIES CATCH BASIN WITH 1211 12" SQUARE CAST IRON GRATE. AVAILABLE THROUGH NDS: 1(800) 726-1994
- 4" SCH. 40 PVC PIPE UNDERDRAINAGE. SLOPE ALL PIPE AT 1% MIN. BEGIN UNDERDRAINAGE WITH A MINIMUM OF 12 INCHES OF COVER.
- MONUMENT ENTRY SIGN; SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.



REVISIONS

POOL LAYOUT PLAN

NORTHPORT RESIDENTIAL

HOTEL
PREPARED FOR
METRO DEVELOPMENT
470 OLDE WORKINGTON ROAD
SUITE 100
WESTERVILLE, OH 43082

Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
4876 Cemetery Hilliard, OH 43026
p (614) 467-7194
www.farisplanninganddesign.com

DATE 03/27/23

PROJECT 22005

SHEET

D-2.1

GENERAL PLANTING NOTES:

- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES

- LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA, PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.
- AC CONDENSOR SCREENING FENCE. SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
- ACCENT LIGHTING, MODEL #FFLED39 - 39 WATT FROM RAB LIGHTING, OR OWNER APPROVED EQUAL. AVAILABLE THROUGH RABLIGHTING.COM 888-722-1000. SEE DETAIL 1, SHEET D-6 FOR MORE INFORMATION.
- FLAGPOLE - POLE-TECH, INC., MODEL PT205A EXTERIOR HALYARD, SATIN FINISH, OR OWNER APPROVED EQUAL. AVAILABLE FROM WWW.POLETECH.COM. FLAGS TO BE FURNISHED BY OWNER. CONTRACTOR TO FURNISH ALL NECESSARY APPURTENANCES TO MEET MANUFACTURER'S RECOMMENDED INSTALLATION. LOCATE AND ORIENT AS INDICATED. INSTALLATION TO ALLOW FOR FLAGPOLES TO BE REMOVABLE PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
- MONUMENT ENTRY SIGN; SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.

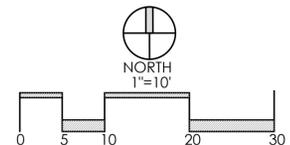
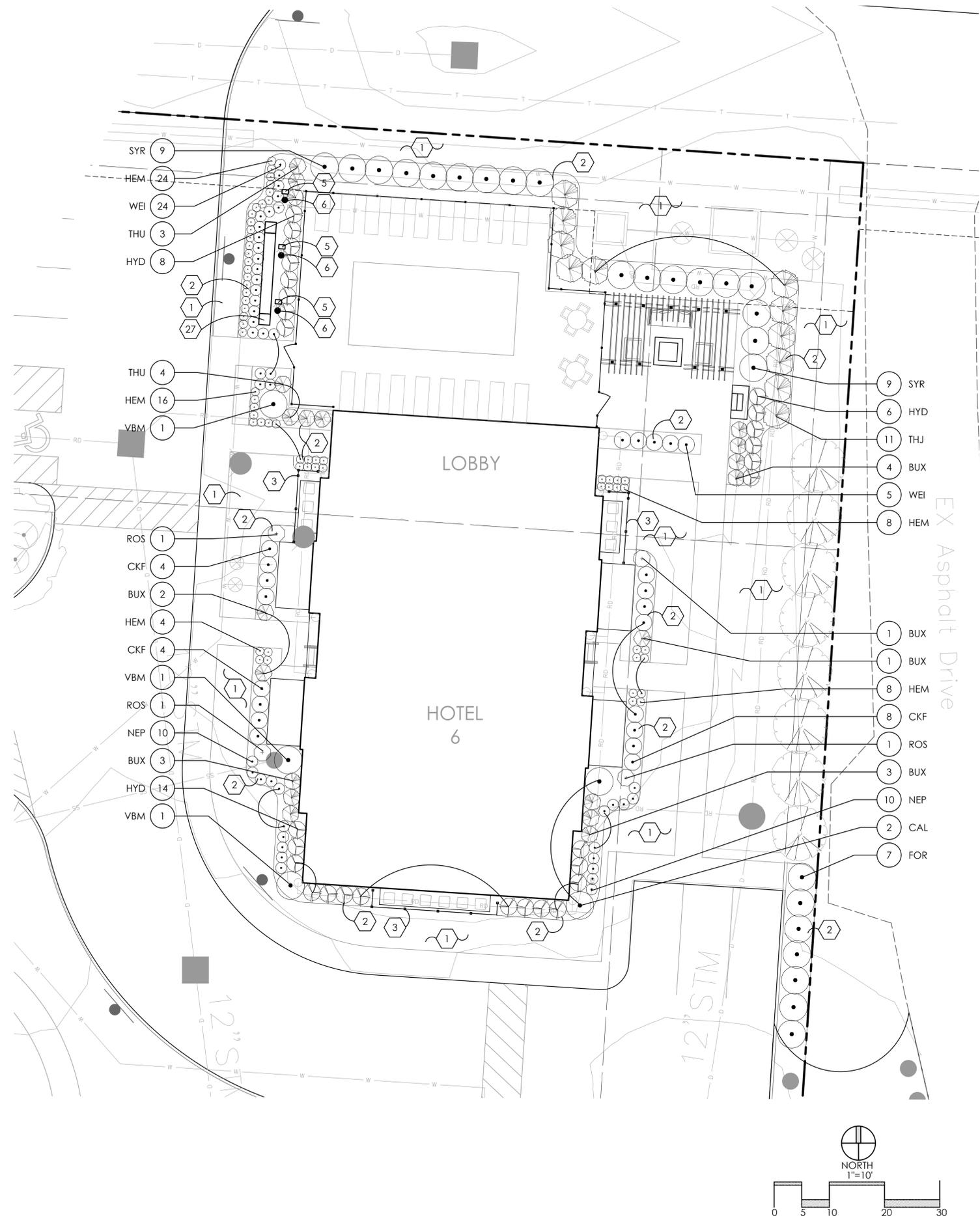
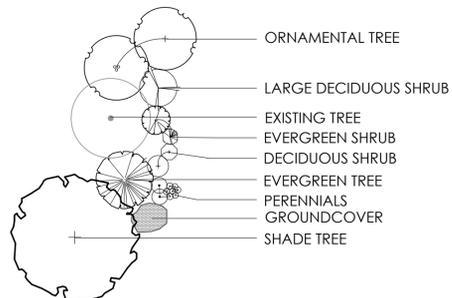
ENLARGEMENT 1 PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
SHRUBS					
13	BUX	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	24" HGT.	B&B
2	CAL	CALYCANTHUS 'APHRODITE'	SWEETSHRUB	24" HGT.	B&B
31	HYD	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	24" HGT.	B&B
7	FOR	FORSYTHIA INTERMEDIA 'LYNWOOD GOLD'	LYNWOOD GOLD FORSYTHIA	24" HGT.	B&B
4	ROS	ROSA 'RADTKOPINK'	KNOCK OUT® PINK DOUBLE SHRUB ROSE	24" HGT.	B&B
18	SYR	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	36" HGT.	B&B
11	THJ	THUJA OCCIDENTALIS 'WOODWARDII'	WOODWARD GLOBE ARBORVITAE	24" HGT.	B&B
7	THU	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	GOLDEN GLOBE ARBORVITAE	24" HGT.	B&B
5	VBM	VIBURNUM CARLESII 'CAYUGA'	CAYUGA KOREANSPICE VIBURNUM	24" HGT.	B&B
29	WEI	WEIGELA FLORIDA 'BOKRASPIWI'	SPILLED WINE® WEIGELA	24" HGT.	B&B
PERENNIALS/ORNAMENTAL GRASSES					
16	CKF	CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	NO. 2	CONT.
60	HEM	HEMEROCALLIS 'BIG TIME HAPPY'	BIG TIME HAPPY DAYLILY	NO. 1	CONT.
20	NEP	NEPETA 'JUNIOR WALKER'	JUNIOR WALKER CATMINT	NO. 1	CONT.

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



REVISIONS

LANDSCAPE ENLARGEMENTS I

NORTHPORT RESIDENTIAL HOTEL

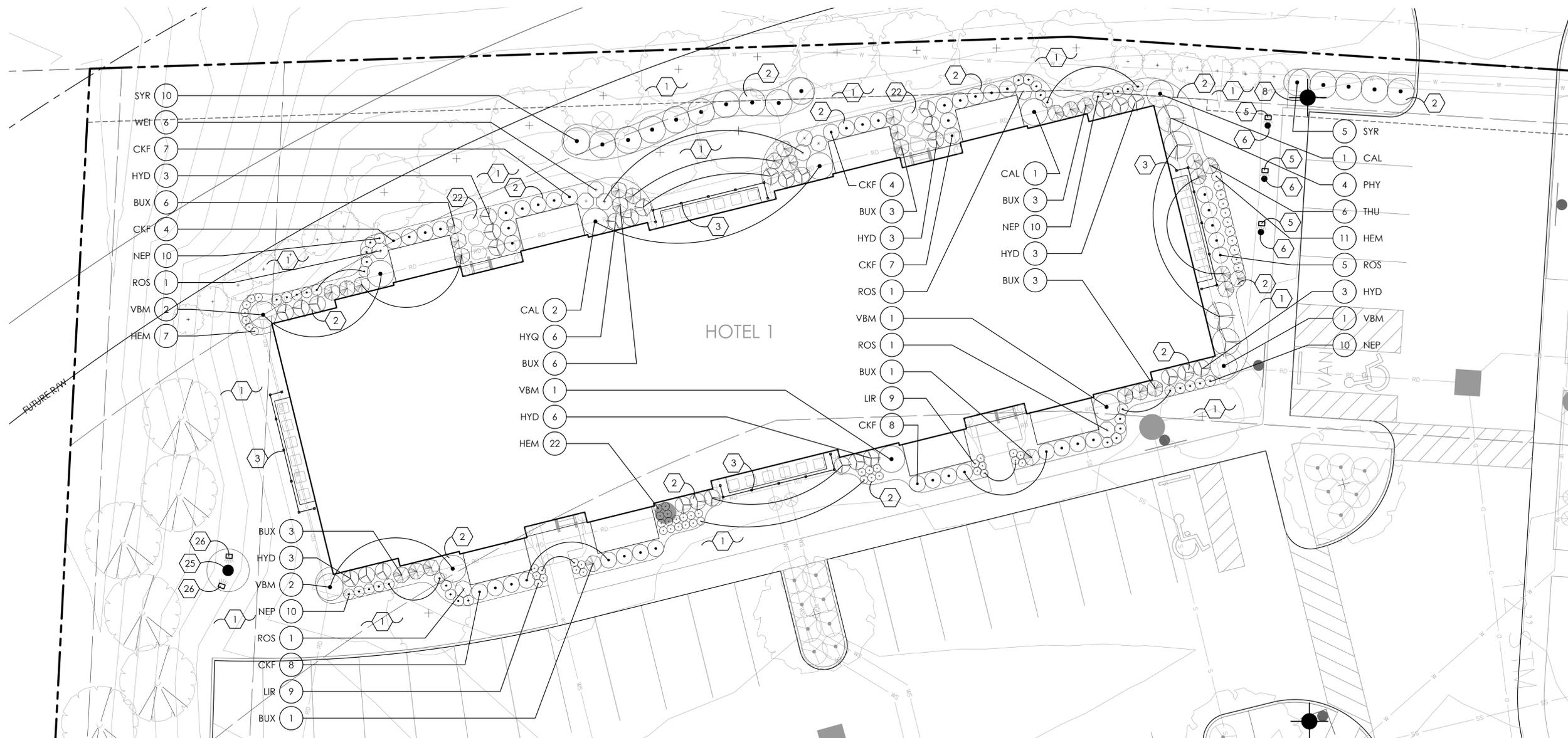
PREPARED FOR
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 SUITE 100
 WESTERVILLE, OH 43082

Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
 4876 Cemetery Hill Road, Hilliard, OH 43026
 p. 614.467.7194
 www.farisplanninganddesign.com

DATE	03/27/23
PROJECT	22005
SHEET	

D-2.2



ENLARGEMENT 2 PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
SHRUBS					
26	BUX	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	24" HGT.	B&B
4	CAL	CALYCANTHUS 'APHRODITE'	SWEETSHRUB	24" HGT.	B&B
21	HYD	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	24" HGT.	B&B
6	HYQ	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	24" HGT.	B&B
4	PHY	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE® NINEBARK	24" HGT.	B&B
9	ROS	ROSA 'RADTKOPINK'	KNOCK OUT® PINK DOUBLE SHRUB ROSE	24" HGT.	B&B
15	SYR	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	36" HGT.	B&B
6	THU	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	GOLDEN GLOBE ARBORVITAE	24" HGT.	B&B
5	VBM	VIBURNUM CARLESII 'CAYUGA'	CAYUGA KOREANSPICE VIBURNUM	24" HGT.	B&B
6	WEI	WEIGELA FLORIDA 'BOKRASPIWI'	SPILLED WINE® WEIGELA	24" HGT.	B&B
PERENNIALS/ORNAMENTAL GRASSES					
38	CKF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	NO. 2	CONT.
40	HEM	HEMEROCALLIS 'BIG TIME HAPPY'	BIG TIME HAPPY DAYLILY	NO. 1	CONT.
18	LIR	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	NO. 1	CONT.
40	NEP	NEPETA 'JUNIOR WALKER'	JUNIOR WALKER CATMINT	NO. 1	CONT.

CONSTRUCTION NOTES

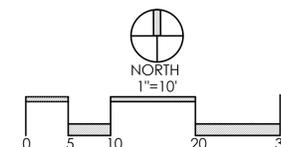
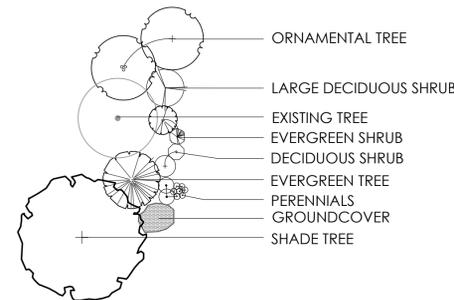
- 1 LAWN AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 2 LANDSCAPE AREA. PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 3 AC CONDENSOR SCREENING FENCE. SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
- 5 ACCENT LIGHTING, MODEL #FFLED39 - 39 WATT FROM RAB LIGHTING, OR OWNER APPROVED EQUAL. AVAILABLE THROUGH RABLIGHTING.COM 888-722-1000. SEE DETAIL 1, SHEET D-6 FOR MORE INFORMATION.
- 6 FLAGPOLE - POLE-TECH, INC., MODEL PT205A EXTERIOR HALYARD, SATIN FINISH, OR OWNER APPROVED EQUAL. AVAILABLE FROM WWW.POLETECH.COM. FLAGS TO BE FURNISHED BY OWNER. CONTRACTOR TO FURNISH ALL NECESSARY APPURTENANCES TO MEET MANUFACTURER'S RECOMMENDED INSTALLATION. LOCATE AND ORIENT AS INDICATED. INSTALLATION TO ALLOW FOR FLAGPOLES TO BE REMOVABLE PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
- 8 LIGHT AND POST. 12' POST WITH LED POST MOUNT LANTERN; AVAILABLE THROUGH A.S.D. LIGHTING, OR OWNER APPROVED EQUAL. SEE DETAIL 3, SHEET D-6 FOR MORE INFORMATION.
- 22 HICKORY GRAY FLAGSTONE, AVERAGE 3' DIAMETER, 2" THICKNESS, OR OWNER APPROVED EQUAL. AVAILABLE THROUGH SEMCO OUTDOOR; 6015 TAYLOR RD, COLUMBUS, OH, 43230
- 25 FLAGPOLE - MODEL: DELUXE IH SERIES 70" TAPERED ALUMINUM, SATIN FINISH, SKU: CPECX70IH, OR OWNER APPROVED EQUAL. AVAILABLE FROM WWW.UNITED-STATES-FLAG.COM. FLAGS TO BE FURNISHED BY OWNER. CONTRACTOR TO FURNISH ALL NECESSARY APPURTENANCES TO MEET MANUFACTURER'S RECOMMENDED INSTALLATION. LOCATE AND ORIENT AS INDICATED. SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
- 26 FLAGPOLE LIGHTING. 150W LED - PHOTOCELL - TENNON MOUNT "KNUCKLE". 120-277V UNLV - 5000 KELVIN TEMP - 3X3 SPOT - 2" SLIPFITTER. SEE DETAIL 2, SHEET D-6 FOR MORE INFORMATION.
- 27 MONUMENT ENTRY SIGN; SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.

GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
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PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



REVISIONS

LANDSCAPE ENLARGEMENTS II

NORTHPORT RESIDENTIAL HOTEL
 PREPARED FOR
METRO DEVELOPMENT
 470 OLDE WORKINGTON ROAD
 SUITE 100
 WESTERVILLE, OH 43082

Faris Planning & Design
 LANDSCAPE ARCHITECTURE
 Hilliard, OH 43026
 p. 614.467.7194
 www.farisplanninganddesign.com

DATE	03/27/23
PROJECT	22005
SHEET	

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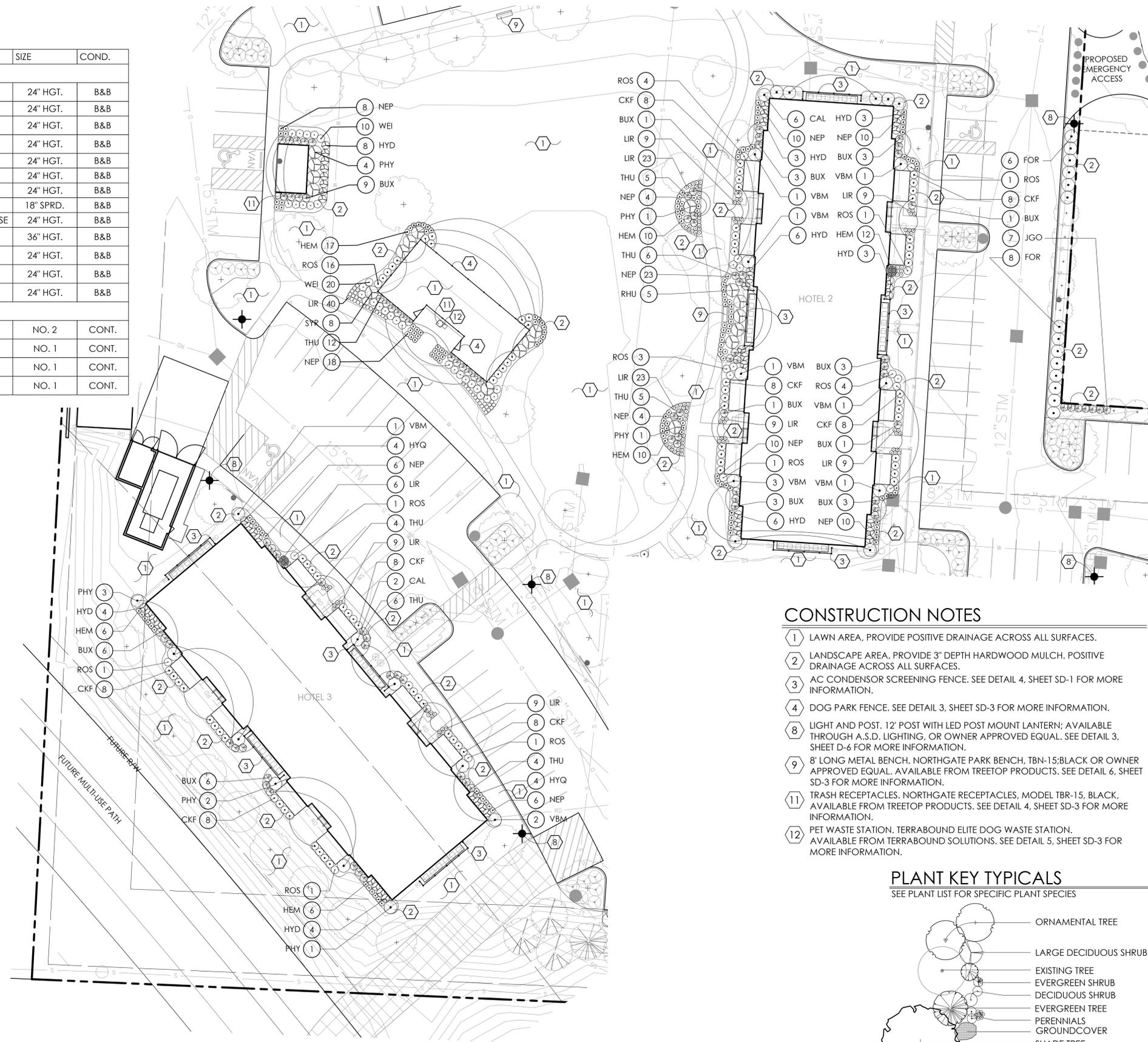
ENLARGEMENT 3 PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
SHRUBS					
40	BUX	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	24" HGT.	B&B
8	CAL	CALYCANTHUS 'APHRODITE'	SWEETSHRUB	24" HGT.	B&B
37	HYD	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	24" HGT.	B&B
8	HYQ	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	24" HGT.	B&B
14	FOR	FORSYTHIA INTERMEDIA 'LYNWOOD GOLD'	LYNWOOD GOLD FORSYTHIA	24" HGT.	B&B
7	JGO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" HGT.	B&B
12	PHY	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE® NINEBARK	24" HGT.	B&B
5	RHU	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	18" SPRD.	B&B
34	ROS	ROSA 'RADKOPINK'	KNOCK OUT® PINK DOUBLE SHRUB ROSE	24" HGT.	B&B
8	SYR	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	36" HGT.	B&B
42	THU	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	GOLDEN GLOBE ARBORVITAE	24" HGT.	B&B
12	VBM	VIBURNUM CARLESII 'CAYUGA'	CAYUGA KOREANSPICE VIBURNUM	24" HGT.	B&B
30	WEI	WEIGELA FLORIDA 'BOKRASPIWI'	SPILLED WINE® WEIGELA	24" HGT.	B&B
PERENNIALS/ORNAMENTAL GRASSES					
64	CKF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	NO. 2	CONT.
61	HEM	HEMEROCALLIS 'BIG TIME HAPPY'	BIG TIME HAPPY DAYLILY	NO. 1	CONT.
137	LIR	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	NO. 1	CONT.
109	NEP	NEPETA 'JUNIOR WALKER'	JUNIOR WALKER CATMINT	NO. 1	CONT.

GENERAL PLANTING NOTES:

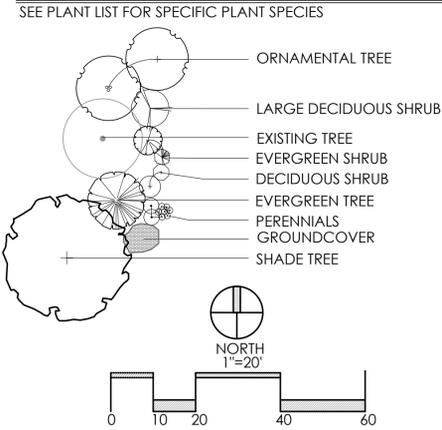
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- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
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CONSTRUCTION NOTES

- LAWN AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA. PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.
- AC CONDENSOR SCREENING FENCE. SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
- DOG PARK FENCE. SEE DETAIL 3, SHEET SD-3 FOR MORE INFORMATION.
- LIGHT AND POST. 12" POST WITH LED POST MOUNT LANTERN; AVAILABLE THROUGH A.S.D. LIGHTING, OR OWNER APPROVED EQUAL. SEE DETAIL 3, SHEET D-6 FOR MORE INFORMATION.
- 8' LONG METAL BENCH. NORTHGATE PARK BENCH, TBN-15; BLACK OR OWNER APPROVED EQUAL. AVAILABLE FROM TREETOP PRODUCTS. SEE DETAIL 6, SHEET SD-3 FOR MORE INFORMATION.
- TRASH RECEPTACLES. NORTHGATE RECEPTACLES, MODEL TBR-15, BLACK. AVAILABLE FROM TREETOP PRODUCTS. SEE DETAIL 4, SHEET SD-3 FOR MORE INFORMATION.
- PET WASTE STATION. TERRABOUND ELITE DOG WASTE STATION. AVAILABLE FROM TERRABOUND SOLUTIONS. SEE DETAIL 5, SHEET SD-3 FOR MORE INFORMATION.

PLANT KEY TYPICALS



REVISIONS	
LANDSCAPE ENLARGEMENTS III	
NORTHPORT RESIDENTIAL HOTEL PREPARED FOR METRO DEVELOPMENT 470 OLDE WORKINGTON ROAD SUITE 100 WESTERVILLE, OH 43082	
Faris Planning & Design LANDSCAPE ARCHITECTURE 4876 Cemetery P. (614) 467-1194 www.farisplanninganddesign.com	
DATE	03/27/23
PROJECT	22005
SHEET	
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GENERAL PLANTING NOTES:

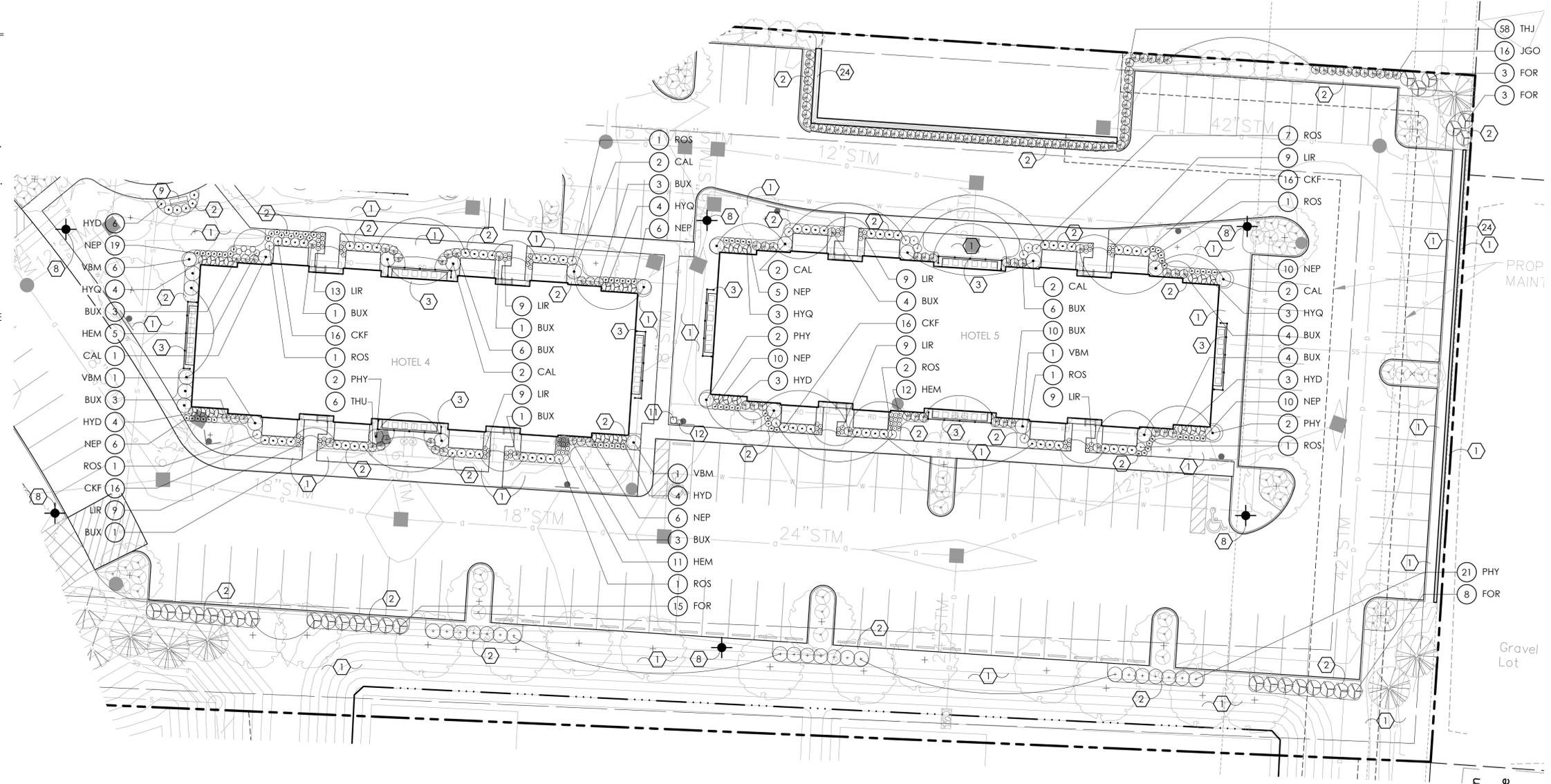
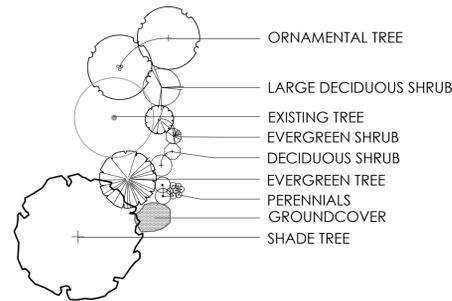
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2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
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4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
5. ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
6. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
7. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
9. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
10. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES

- 1 LAWN AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 2 LANDSCAPE AREA. PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 3 AC CONDENSOR SCREENING FENCE. SEE DETAIL 4, SHEET SD-1 FOR MORE INFORMATION.
- 4 DOG PARK FENCE. SEE DETAIL 3, SHEET SD-3 FOR MORE INFORMATION.
- 8 LIGHT AND POST. 12" POST WITH LED POST MOUNT LANTERN; AVAILABLE THROUGH A.S.D. LIGHTING. OR OWNER APPROVED EQUAL. SEE DETAIL 3, SHEET D-6 FOR MORE INFORMATION.
- 9 8' LONG METAL BENCH. NORTHGATE PARK BENCH, TBN-15; BLACK OR OWNER APPROVED EQUAL. AVAILABLE FROM TREETOP PRODUCTS. SEE DETAIL 6, SHEET SD-3 FOR MORE INFORMATION.
- 11 TRASH RECEPTACLES. NORTHGATE RECEPTACLES, MODEL TBR-15, BLACK, AVAILABLE FROM TREETOP PRODUCTS. SEE DETAIL 4, SHEET SD-3 FOR MORE INFORMATION.
- 12 PET WASTE STATION. TERRABOUND ELITE DOG WASTE STATION. AVAILABLE FROM TERRABOUND SOLUTIONS. SEE DETAIL 5, SHEET SD-3 FOR MORE INFORMATION.
- 24 RETAINING WALL. SEE DETAIL 7, SHEET SD-3 FOR MORE INFORMATION.

PLANT KEY TYPICALS

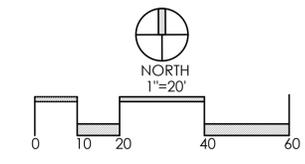
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



ENLARGEMENT 5 PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
SHRUBS					
50	BUX	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	24" HGT.	B&B
11	CAL	CALYCANTHUS 'APHRODITE'	SWEETSHRUB	24" HGT.	B&B
20	HYD	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	24" HGT.	B&B
14	HYQ	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	24" HGT.	B&B
29	FOR	FORSYTHIA INTERMEDIA 'LYNWOOD GOLD'	LYNWOOD GOLD FORSYTHIA	24" HGT.	B&B
16	JGO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" HGT.	B&B
27	PHY	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE@ NINEBARK	24" HGT.	B&B
16	ROS	ROSA 'RADTKOPINK'	KNOCK OUT@ PINK DOUBLE SHRUB ROSE	24" HGT.	B&B
58	THJ	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOTS SPIRE ARBORVITAE	4-5' HGT.	B&B
6	THU	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	GOLDEN GLOBE ARBORVITAE	24" HGT.	B&B
9	VBM	VIBURNUM CARLESII 'CAYUGA'	CAYUGA KOREANSPICE VIBURNUM	24" HGT.	B&B
PERENNIALS/ORNAMENTAL GRASSES					
64	CKF	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	NO. 2	CONT.
28	HEM	HEMEROCALLIS 'BIG TIME HAPPY'	BIG TIME HAPPY DAYLILY	NO. 1	CONT.
76	LIR	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	NO. 1	CONT.
72	NEP	NEPETA 'JUNIOR WALKER'	JUNIOR WALKER CATMINT	NO. 1	CONT.



REVISIONS

LANDSCAPE ENLARGEMENTS IV

NORTHPORT RESIDENTIAL HOTEL
 PREPARED FOR
METRO DEVELOPMENT
 470 OLDE WORKINGTON ROAD
 SUITE 100
 WESTERVILLE, OH 43082

Faris Planning & Design
 LANDSCAPE ARCHITECTURE
 Hilliard, OH 43026
 p (614) 467-1954
 www.farisplanninganddesign.com

DATE	03/27/23
PROJECT	22005
SHEET	

D-2.5

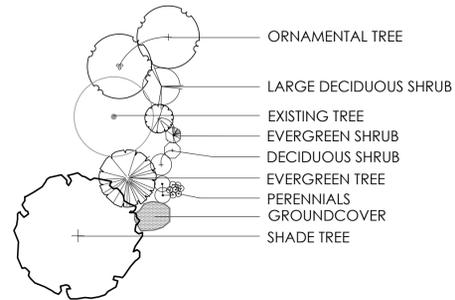
OVERALL LANDSCAPE PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
TREES						
7	AME	AMELANCHIER CANADENSIS 'GLENN FORM'	GLENFORM RAINBOW PILLAR® SERVICEBERRY	2" CAL.	B&B	3 STEM MIN.
14	CAR	CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT EUROPEAN HORNBEAM	2" CAL.	B&B	
9	SYR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2" CAL.	B&B	
13	LIQ	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	2" CAL.	B&B	
20	MAG	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2" CAL.	B&B	
14	NYS	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE TUPELO BLACKGUM	2" CAL.	B&B	
6	PAB	PICEA ABIES	NORWAY SPRUCE	5-6' HGT.	B&B	
8	PAG	PICEA GLAUCA	WHITE SPRUCE	5-6' HGT.	B&B	
9	PGD	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	5-6' HGT.	B&B	
13	TAX	TAXODIUM DISTICHUM	COMMON BALDCYPRESS	2" CAL.	B&B	
13	TIL	TILIA AMERICANA 'BOULEVARD'	BOULEVARD AMERICAN LINDEN	2" CAL.	B&B	
6	PLA	PLATANUS X ACERIFOLIA 'MORTON CIRCLE' EXCLAMATION!	EXCLAMATION™ LONDON PLANETREE	2" CAL.	B&B	
5	ULM	ULMUS 'MORTON STALWART'	COMMENDATION ELM	2" CAL.	B&B	
5	ZEL	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2" CAL.	B&B	
SHRUBS						
111	RHU	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	18" SPRD.	B&B	

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES

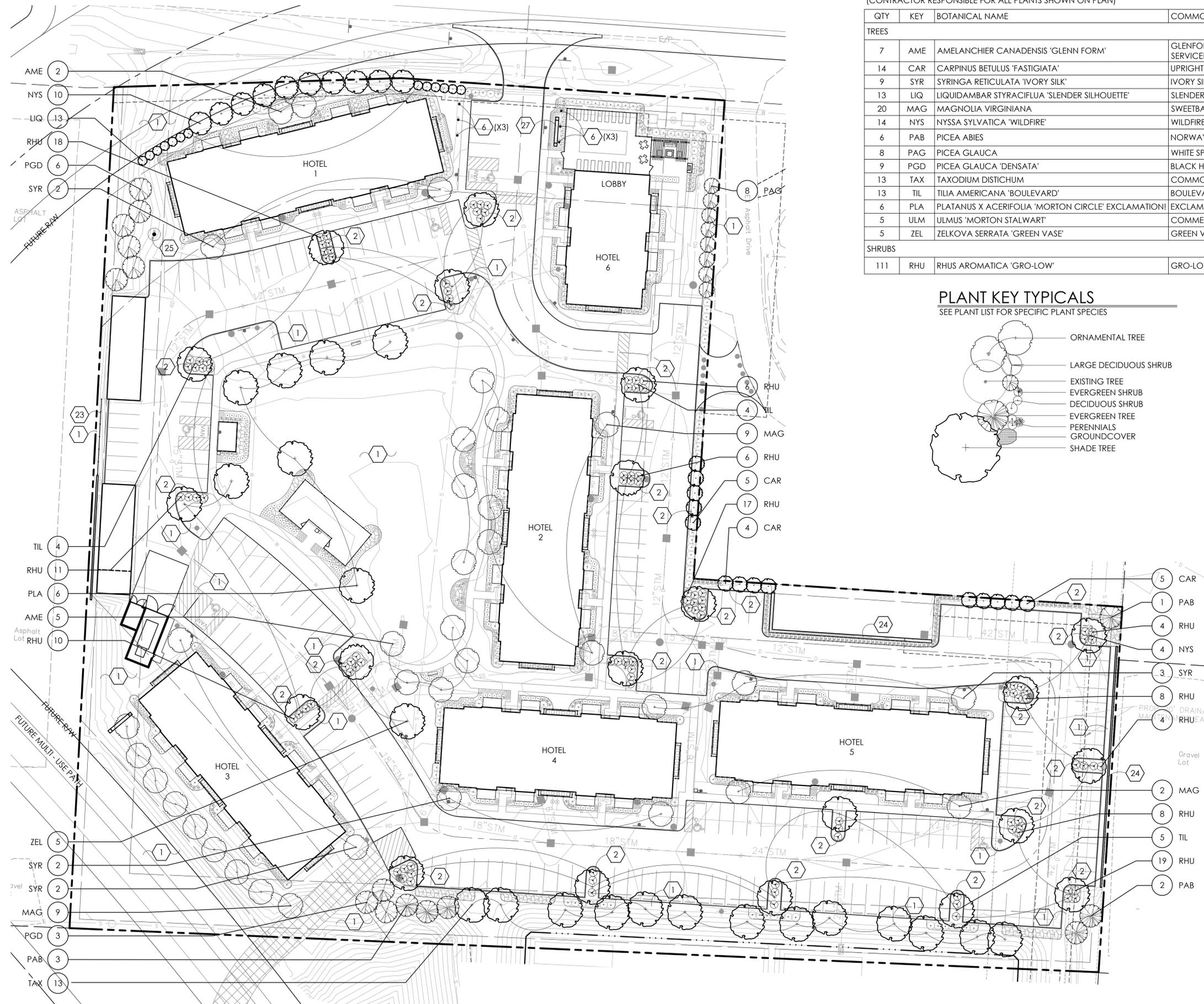


CONSTRUCTION NOTES

- 1 LAWN AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 2 LANDSCAPE AREA. PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 6 FLAGPOLE - POLE-TECH, INC., MODEL PT205A EXTERIOR HALYARD, SATIN FINISH, OR OWNER APPROVED EQUAL. AVAILABLE FROM WWW.POLETECH.COM. FLAGS TO BE FURNISHED BY OWNER. CONTRACTOR TO FURNISH ALL NECESSARY APPURTENANCES TO MEET MANUFACTURER'S RECOMMENDED INSTALLATION. LOCATE AND ORIENT AS INDICATED. INSTALLATION TO ALLOW FOR FLAGPOLES TO BE REMOVABLE PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL 5, SHEET SD-1 FOR MORE INFORMATION.
- 23 6' HGT. WOOD FENCE. SEE DETAIL 2, SHEET SD-3 FOR MORE INFORMATION.
- 24 RETAINING WALL. SEE DETAIL 7, SHEET SD-3 FOR MORE INFORMATION.
- 25 FLAGPOLE - MODEL: DELUXE IH SERIES 70' TAPERED ALUMINUM, SATIN FINISH, SKU: CPECK70IH, OR OWNER APPROVED EQUAL. AVAILABLE FROM WWW.UNITED-STATES-FLAG.COM. FLAGS TO BE FURNISHED BY OWNER. CONTRACTOR TO FURNISH ALL NECESSARY APPURTENANCES TO MEET MANUFACTURER'S RECOMMENDED INSTALLATION. LOCATE AND ORIENT AS INDICATED. SEE DETAIL 6, SHEET SD-1 FOR MORE INFORMATION.
- 27 MONUMENT ENTRY SIGN; SEE DETAIL 7, SHEET SD-1 FOR MORE INFORMATION.

GENERAL PLANTING NOTES:

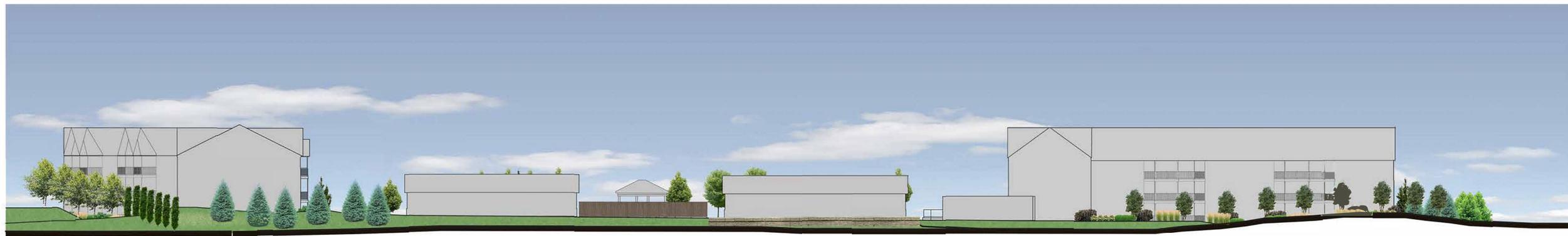
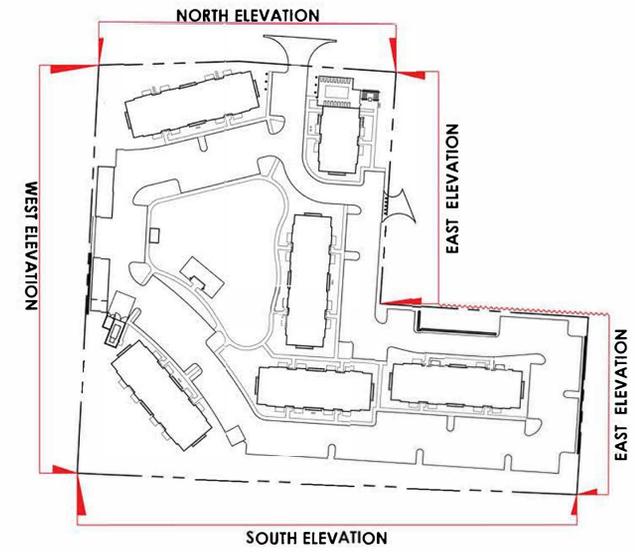
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
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REVISIONS	
OVERALL LANDSCAPE PLAN	
NORTHPORT RESIDENTIAL HOTEL	PREPARED FOR METRO DEVELOPMENT 470 OLDE WORKINGTON ROAD SUITE 100 WESTERVILLE, OH 43082
Faris Planning & Design	LANDSCAPE ARCHITECTURE Hilliard, OH 43026 www.farisplanninganddesign.com
DATE	03/27/23
PROJECT	22005
SHEET	
D-2	



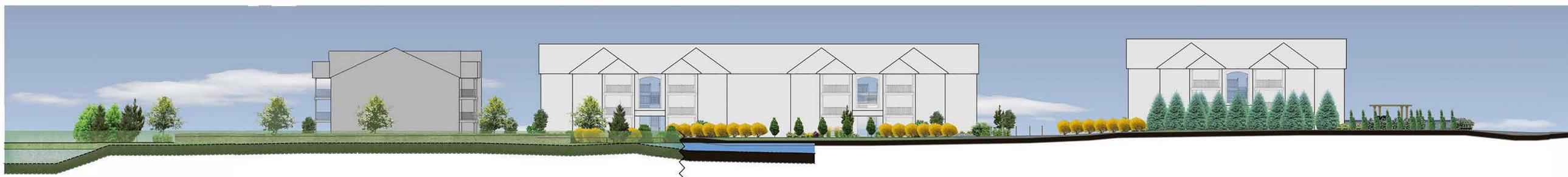
1 NORTHERN ELEVATION
SCALE: N.T.S.



2 WESTERN ELEVATION
SCALE: N.T.S.



3 SOUTHERN ELEVATION
SCALE: N.T.S.



4 EASTERN ELEVATION
SCALE: N.T.S.

REVISIONS	

LANDSCAPE
ELEVATIONS

NORTHPORT RESIDENTIAL
HOTEL

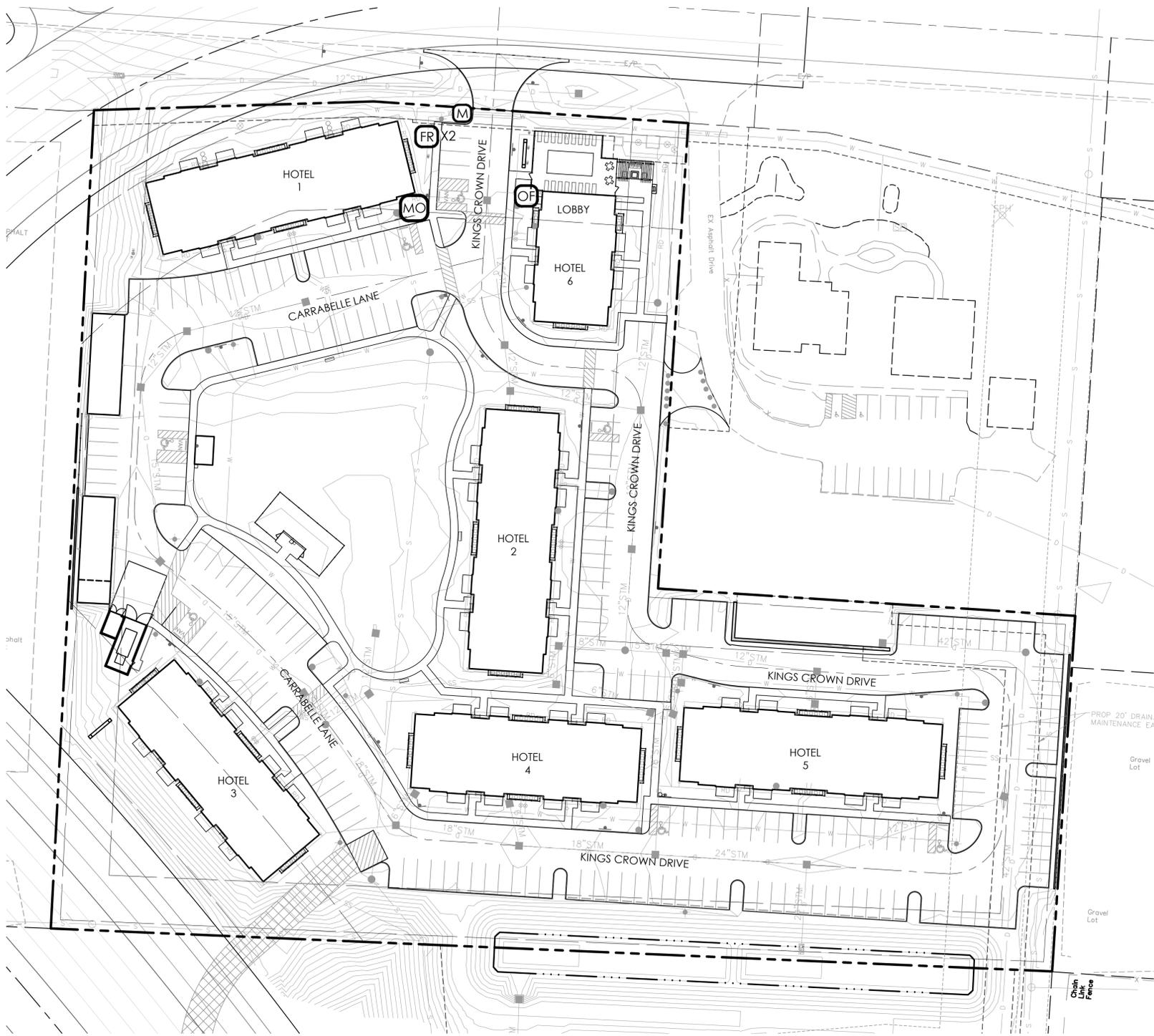
PREPARED FOR
METRO DEVELOPMENT
470 OLDE WORTHINGTON ROAD
SUITE 100
WESTERVILLE, OH 43082

Paris Planning & Design

LAND PLANNING • LANDSCAPE ARCHITECTURE
4876 Cemetery
PO 6114 487-1964
www.parisplanninganddesign.com
Hilliard, OH 43026

DATE	03/27/23
PROJECT	22005
SHEET	

D-3



TEMPORARY SIGNAGE
(SEE DETAIL 7, THIS SHEET)

- BEDROOM AVAILABILITY/NOW OPEN
- NOW RENTING
- LEASING OFFICE (DIRECTIONAL SIGN)
- "TOP NOTCH SCHOOLS" SIGN
- "NOW RENTING" SIGN
- "GRAND OPENING" SIGN
- "GREAT AMENITIES" SIGN
- "HANG OUT" SIGN
- "WE ARE... WILL RETURN.. SHORTLY" SIGN

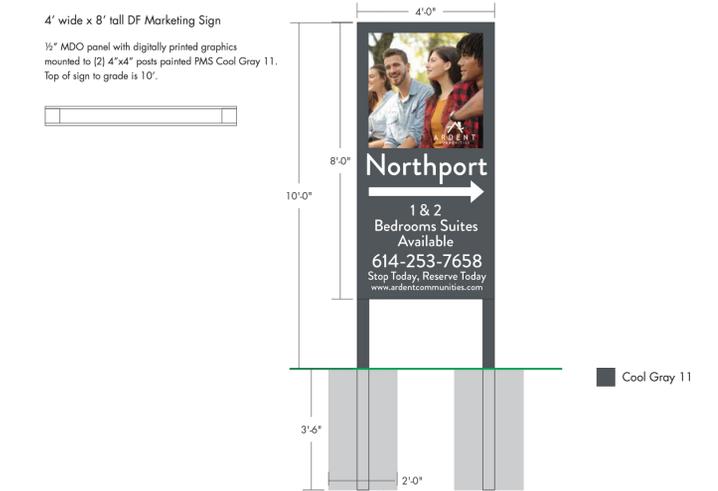
*NOTE: CONTRACTOR RESPONSIBLE FOR QUANTITY & FINAL PLACEMENT OF ALL SIGNS & FURNISHINGS SHOWN ON PLAN

FINAL SIGN PLACEMENT WILL BE DETERMINED BY ARDENT

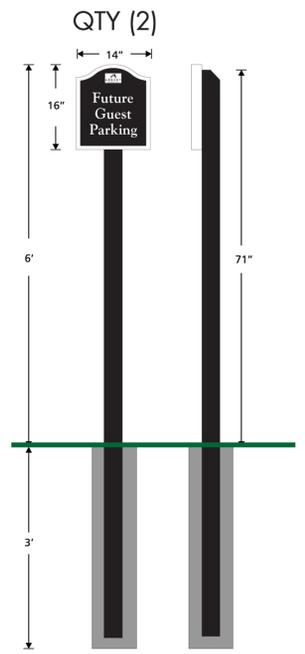
CONTRACTOR TO VERIFY MESSAGING AND CONTENT WITH OWNER BEFORE INSTALLATION.

LEGEND

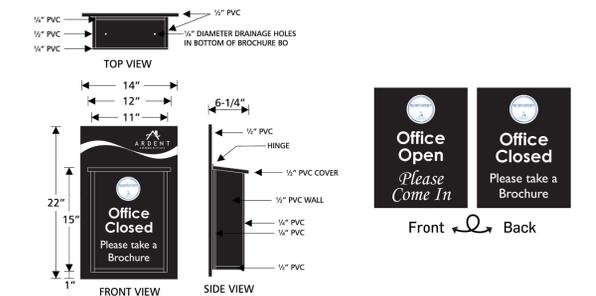
- (M)** MARKETING SIGN
- (FR)** FUTURE GUEST SIGN (X4)
- (OF)** LOBBY CLOSED/OPEN SIGN
- (MO)** MODEL SIGN



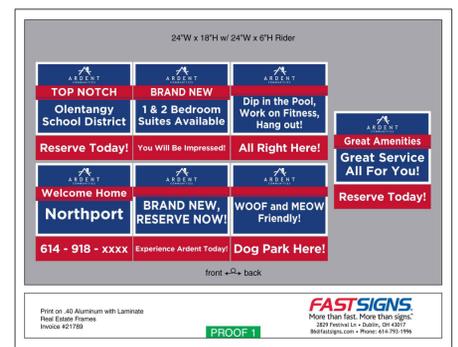
1 MARKETING SIGN DETAIL
NTS



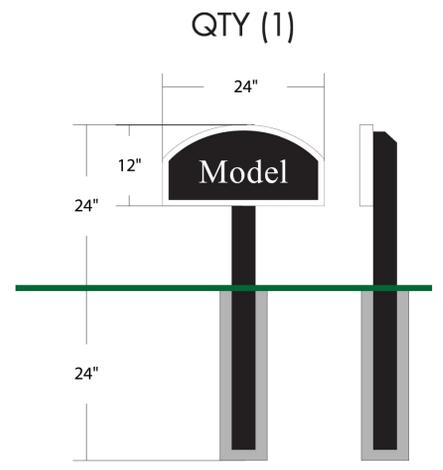
4 FUTURE GUEST PARKING SIGN DETAIL
NTS



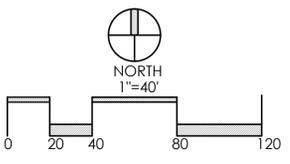
2 LOBBY OPEN/CLOSED SIGN DETAIL
NTS



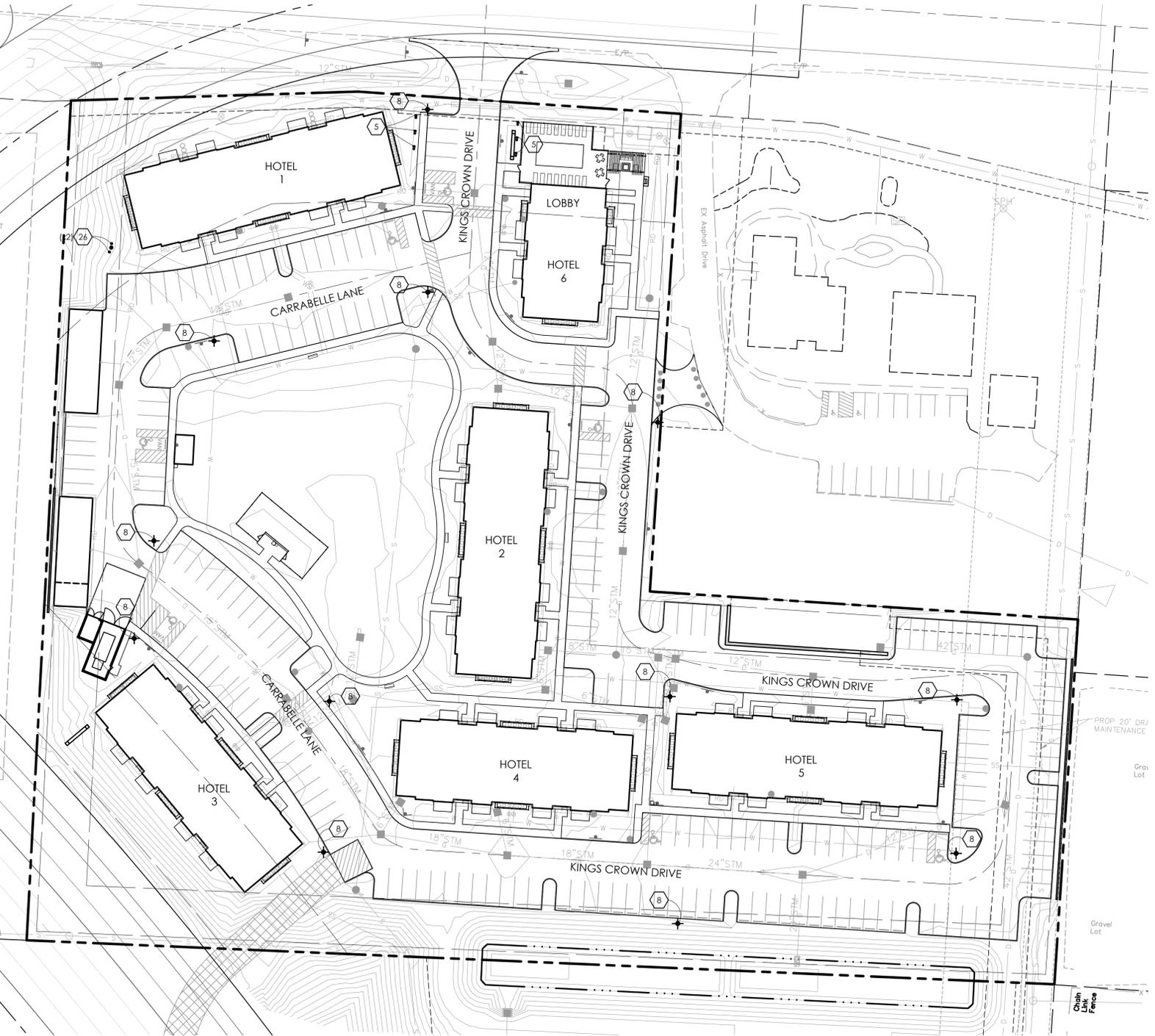
5 TEMPORARY SIGNAGE DETAIL
NTS



3 MODEL SUITE SIGN DETAIL
NTS



REVISIONS	
COMMUNITY SIGNAGE PLAN	
NORTHPORT RESIDENTIAL HOTEL	
PREPARED FOR METRO DEVELOPMENT 470 OLDE WORTHINGTON ROAD SUITE 100 WESTERVILLE, OH 43082	
Faris Planning & Design LAND PLANNING LANDSCAPE ARCHITECTURE 4876 Cemetery Hill Rd., Hilliard, OH 43026 p. 614.467.1954 www.farisplanninganddesign.com	
DATE	03/27/23
PROJECT	22005
SHEET	
D-4.1	



- CONSTRUCTION NOTES**
- 5 ACCENT LIGHTING, MODEL #FFLED39 - 39 WATT FROM RAB LIGHTING, OR OWNER APPROVED EQUAL. AVAILABLE THROUGH RABLIGHTING.COM 888-722-1000. SEE DETAIL 1, SHEET D-6 FOR MORE INFORMATION.
 - 8 LIGHT AND POST, 12' POST WITH LED POST MOUNT LANTERN; AVAILABLE THROUGH A.S.D. LIGHTING, OR OWNER APPROVED EQUAL. SEE DETAIL 3, SHEET D-6 FOR MORE INFORMATION.
 - 26 FLAGPOLE LIGHTING, 150W LED - PHOTOCELL - TENNON MOUNT "KNUCKLE". 120-277V UNLV - 5000 KELVIN TEMP - 3X3 SPOT - 2" SLIPFITTER. SEE DETAIL 2, SHEET D-6 FOR MORE INFORMATION.



2 ACCENT LIGHT (70' FLAGPOLE)
SCALE: N.T.S.

1 ACCENT LIGHT (ENTRY FLAGPOLES)
SCALE: N.T.S.

FFLED39 **RAB**

Project: _____

Type: _____

Prepared By: _____

Date: _____

Driver Info

Type	Constant Current	Volts	39W
120V	0.35A	Color Temp	5000K (Cool)
200V	0.23A	Color Accuracy	15-CRI
240V	0.20A	L70 Lifetime	100,000
277V	0.18A	Lumens	5,750
Input Watts	43.69W	Efficiency	141.7 LPW

Rectangular shaped LED floodlight designed to replace 150W Metal Halide, painted, pendant. 3rd Floor technology ensures long LED and driver lifespan. Use for building lighting, sign lighting, LED landscape lighting and indoor security lighting.
Color: Bronze
Weight: 12.8 lbs.

Technical Specifications

 Listings UL Listed Suitable for wet locations. Suitable for mounting within 3.2m (10') of the ground. DLC Listed This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest level rebates from DLC Member Utilities. DLC Product Code: F02001708	 Electrical Driver: Constant Current, Class 2, 120-277V, 50-60Hz, 120V @ 3.5A, 200V @ 0.23A, 240V @ 0.19A, 277V @ 0.17A Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dim as low as 10%. THD: 15.1% at 120V, 15.10% at 277V Power Factor: 99% at 120V, 91.4% at 277V	 Mounting: Heavy-duty mounting arm with 1/2" ring seal & stainless steel screw IP Rating: IP66 Ingress Protection rating IP66 for dust and water Maximum Ambient Temperature: Suitable for use in 40°C (104°F) Cold Weather Starting: Minimum starting temperature is -40°C (40°F) Effective Projected Area: EPA = 0.85 Green Technology: Mercury and UV free, RoHS-compliant components.
 LED Characteristics L85/5000: 100,000 hours LED lifespan based on IES LM-80 results and TM-21 calculations LEDs: Long-life, high-efficiency, surface-mount LEDs Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent bin-to-bin color control Color Stability: LED color temperature is warranted to shift no more than 25K in color temperature over a 5-year period Color Uniformity: RAB's range of Correlated Color Temperature allows the guarantee of the American National Standard for (CIE) J Products, ANSI C13.37-2017.	 Construction Lens: Soda lime silica clear glass Housing: Die-cast aluminum housing, lens frame and mounting arm	

Need help? Tech help line: (888) 722-1000 Email: customers@rablighting.com Website: www.rablighting.com
Copyright © 2020 RAB Lighting All Rights Reserved. Note: Specifications are subject to change at any time without notice. Page 1 of 3

A.S.D. LED POST LIGHT
Premium Series

DESIGN & OPTIONS: LED POST LIGHT has an used aluminum body. Available in 12' and 15' heights. 12' height has a 12" diameter top with a 12" diameter stem with a 12" diameter top. 15' height has a 15" diameter top with a 15" diameter stem with a 15" diameter top. 12' height has a 12" diameter top with a 12" diameter stem with a 12" diameter top. 15' height has a 15" diameter top with a 15" diameter stem with a 15" diameter top.

INSTALLATION: This fixture has a Tennon Mount. Mount the fixture to a 2" diameter hole in a 4" diameter post. The fixture has a 2" diameter hole in the top. The fixture has a 2" diameter hole in the top. The fixture has a 2" diameter hole in the top.

APPLICATION: LED POST LIGHT is used for outdoor lighting. It is used for outdoor lighting.

ENERGY SAVINGS & EFFICIENCY: This fixture provides a long life span. It provides a long life span.

CERTIFICATION & WARRANTY: This fixture is certified. It is certified. It is certified. It is certified. It is certified.

PRODUCT LEGEND:

Item	Part Number	Description
1	ASD-12-12-12	12' LED Post Light
2	ASD-15-15-15	15' LED Post Light

LED POST LIGHT:

Item	Part Number	Description
1	ASD-12-12-12	12' LED Post Light
2	ASD-15-15-15	15' LED Post Light

LPST:

Item	Part Number	Description
1	ASD-12-12-12	12' LED Post Light
2	ASD-15-15-15	15' LED Post Light

INSTALLATION GUIDE:

IMPORTANT SAFETY INFORMATION:

WARNING: RISK OF PERSONAL INJURY - READ and follow all WARNINGS and instructions. Do not touch the fixture when it is hot. Do not touch the fixture when it is hot. Do not touch the fixture when it is hot.

ELECTRICAL SCHEMATIC DIAGRAM:

ORDERING INFORMATION:

Item	Part Number	Description
1	ASD-12-12-12	12' LED Post Light
2	ASD-15-15-15	15' LED Post Light

FACTORY INSTALLED PHOTOCELL:

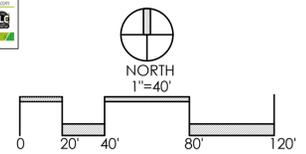
INSTALLATION STEPS:

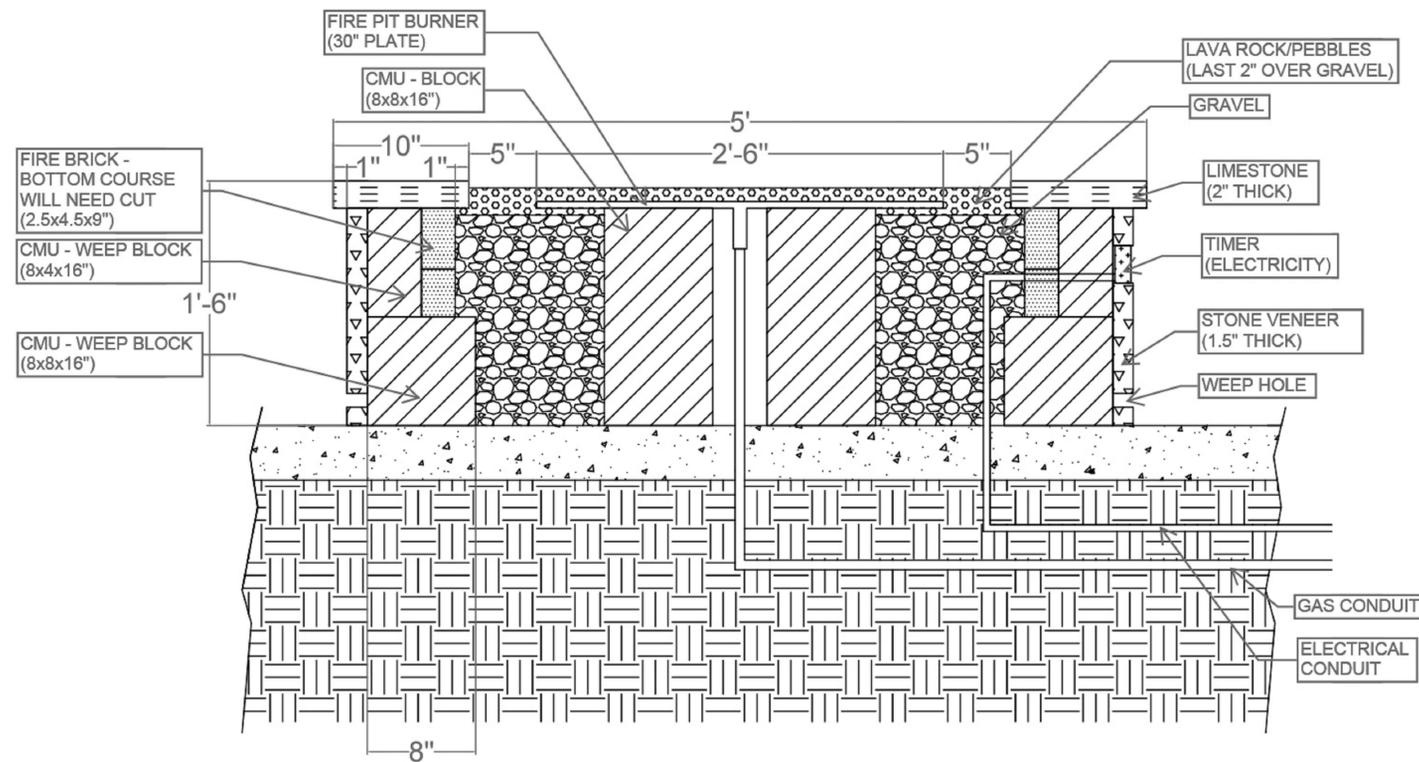
1. Remove the top cap of the fixture.
2. Remove the top cap of the fixture.
3. Remove the top cap of the fixture.

CCCT ADJUSTMENT:

ADD LIGHTING CORP
www.addlighting.com

3 LIGHT AND POST DETAIL
SCALE: N.T.S.





HPC
FIRE INSPIRED®
CSA CERTIFIED-OUTDOOR USE ONLY
FOR COMMERCIAL AND RESIDENTIAL USE

HEARTH PRODUCTS CONTROLS
2225 LYONS RD.
MIAMISBURG, OH 45342
TOLL FREE: 877.585.9800
PHONE: 937.435.8800
www.hpcfire.com

RECOMMENDED ENCLOSURE SIZE

AVAILABLE IN:
• 120VAC, 24VAC OR 12VAC
• DROP OR 180°
MATERIAL: 304 STAINLESS STEEL
RELA MODELS HAVE A 40% REDUCTION IN BTU ON LOW SETTING

PART NUMBER	STANDARD BTU		DIMENSION CHART	
	PENTA	TORPEDO	A"	B"
TOR-18FSSLSQ	65K	65K	18	12
TOR-24FSSLSQ	125K	125K	24	18
TOR-30FSSLSQ	200K	200K	30	24
TOR-36FSSLSQ	290K	275K	36	30
TOR-42FSSLSQ	400K	375K	42	36

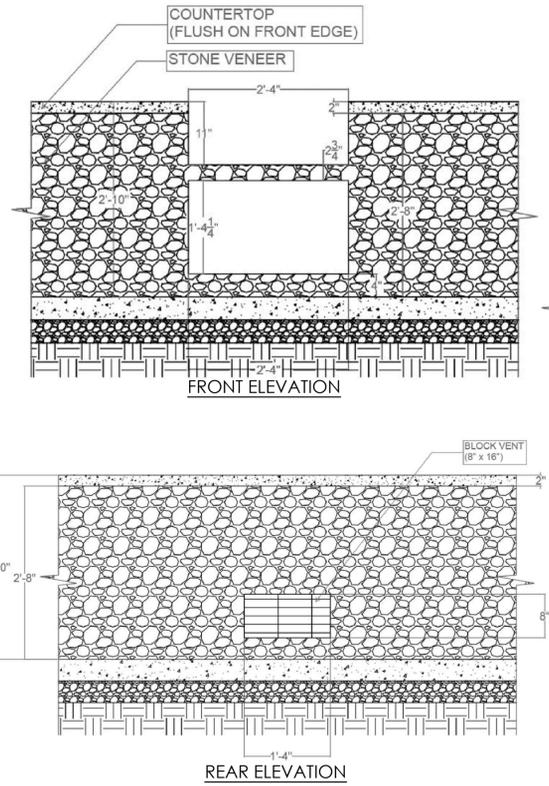
Notes:
1. PROPER VENTING
• ENCLOSURES: Recommend 4 each 18 sq. in. vents on opposing sides (Minimum 2 each 18 sq. in. vents).
• BOWLS (Copper, concrete or metal) - Bowl to be raised above mounting surface minimum of 3/4" gap. Bowl to have a minimum of 6" diameter hole in bottom.
2. GAS SUPPLY - FOR USE WITH FIXED PIPING SYSTEMS ONLY - NOT FOR USE WITH SMALL TANKS.
• Natural Gas: Operating Supply Pressure: Minimum: 8.0" W.C., Maximum: 7.0" W.C.
• LP Gas: Operating Supply Pressure: Minimum: 10.0" W.C., Maximum: 11.0" W.C.
3. LOW VOLTAGE POWER SUPPLY
• Manufacturer requires 100 watt power supply be added for low voltage fire pits.
IMPORTANT: Ensure any flex line that may be used from the permanent main fuel supply to the product is rated to the stated max btu of the product and certified to ANSI Z21.75/CSA 6.2.7.
4. MODIFICATION OF PRODUCT WILL VOID ANY CERTIFICATION AND WARRANTY.
5. FOLLOW ALL MANUFACTURER INSTALLATION INSTRUCTIONS AND LOCAL CODES.
6. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS AS OF THE REVISION DATE.
7. DO NOT SCALE DRAWING.
8. THESE DRAWINGS ARE FOR SIZING AND PLANNING PURPOSES. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT. THE MANUFACTURER IS RESPONSIBLE FOR THE ACCURACY OF THE DRAWING.
9. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.hpcfire.com
REFERENCE NUMBER 771-047

ELECTRONIC IGNITION
E1 SQUARE PAN- FLAME SENSING WITH ELECTRONIC HOT SURFACE IGNITION

771-047 REVISION DATE: 01/14/2022

1 FIRE PIT & BURNER DETAIL

N.T.S.
NOTE:
- CONTRACTOR TO ADD VENTS. FINAL VENT SIZES AND LOCATIONS TO BE IN ACCORDANCE WITH LOCAL AND NATIONAL CODES.



2 GRILL STATION DETAIL

N.T.S.
NOTE:
- BLOCK VENT LOCATION SHOWN IS SCHEMATIC. FINAL VENT SIZES AND LOCATIONS TO BE IN ACCORDANCE WITH LOCAL AND NATIONAL CODES.

MHP
OUTDOOR GRILLS
PREMIUM BUILT-IN OPTIONS
A Division of Modern Home Products

CUSTOMIZE AND COMPLETE YOUR OUTDOOR ENTERTAINMENT AREA
Constructed of heavy-duty commercial-grade stainless steel all of our options are specifically designed to enhance your grilling experience and built with same level of craftsmanship that we put into our grills. Made in the USA and covered by a Limited Lifetime Warranty.

MHP Outdoor Grill - Natural Gas Grill - WNK4-N
MHP Outdoor Grill - Sleeve - NMSGSG
MHP Outdoor Grill - Small Double Doors - NMSDS

Stainless Steel Grill Sleeve
Islands or outdoor kitchen designs must be constructed of non-combustible materials and a grill sleeve is required when installing your new MHP grill.

Side Burner
Additional cooking surface for more grilling versatility.

Door/Drawer Combo
Combines a drawer - the perfect place to store grilling utensils, accessories and more - with access to storage to fit your specific needs.

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MHP
OUTDOOR GRILLS
AMERICA'S FIRST AND BEST BUILT GAS GRILL FOR OVER 50 YEARS

	Double Drawer NMS-DDS	Triple Drawer NMS-TDS	Small Double Doors NMSDS	Large Double Doors NMSDS-LG	Sm. Vertical Single Door NMSDS-SSDV
Overall Dimensions	17" W x 17" H x 21" D	17" W x 28" H x 21" D	31" W x 20" H	18" W x 24" H	18" W x 24" H
Opening Needed	14-1/2" W x 14-1/2" H	14-1/2" W x 25-1/2" H	27-1/4" W x 16-1/4" H	14-1/4" W x 20-1/4" H	14-1/4" W x 20-1/4" H
Opening Direction	—	—	—	Right	Right

	Ls. Vertical Single Door NMSDS-LSD	Sm. Horizontal Single Door NMSDS-SSDH	Door & Drawer Combo NMS-DDC	Pull-Out Trash Compartment NMS-TP	Cooler Pull-Out NMS-CP
Overall Dimensions	17" W x 28" H	24" W x 18" H	17" W x 28" H x 21" D	17" W x 28" H x 18-1/2" D	33" W x 20" H x 20-1/2" D
Opening Needed	14-1/2" W x 25-1/2" H	20-1/4" W x 14-1/4" H	14-1/2" W x 25-1/2" H	14-1/2" W x 25-1/2" H	27-1/4" W x 17-1/4" H
Opening Direction	Right	Right	Right	Right	—

	Drop-In Side Burner LSB2	Premium Side Burner SBBIL	Grill Sleeve NMSGSG	Grill Sleeve NMSG-GS
Overall Dimensions	9-3/4" W x 15-3/4" D	18" W x 8" H x 22-1/2" D	31" W x 11-1/4" H x 19-1/4" D	31" W x 11-1/4" H x 19-1/4" D
Opening Needed	8-3/4" W x 14-1/4" H	13-1/4" W x 7-1/2" H x 16" D	27-1/2" W x 11" H x 18" D	27-1/2" W x 11" H x 18" D
Family Owned & Operated Since 1957	14,000	18,000	—	—
BTUs	—	—	—	—
WNK4	✓	✓	✓	—
TJK2	✓	✓	✓	—
W3G	✓	✓	✓	✓
T3G	✓	✓	✓	✓
WHFG	✓	✓	✓	✓
THFG	✓	✓	✓	✓
WFG	✓	✓	✓	✓
TRG	✓	✓	✓	✓

Made in America

Modern Home Products Corporation | MHP ProFire Grills | PHOENIX GRILLS | BRAVO MHP GRILL PARTS | Celebrating 80 Years in Business

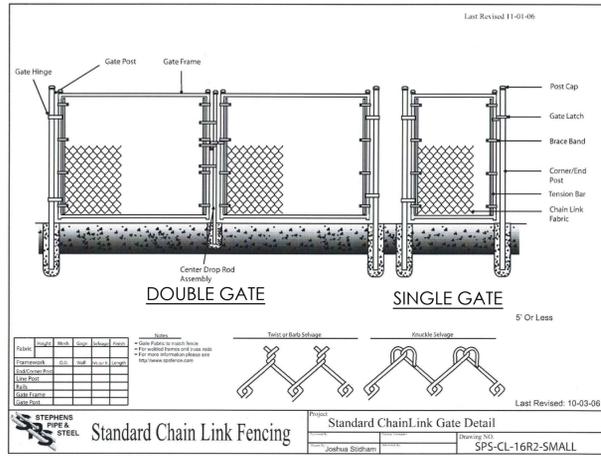
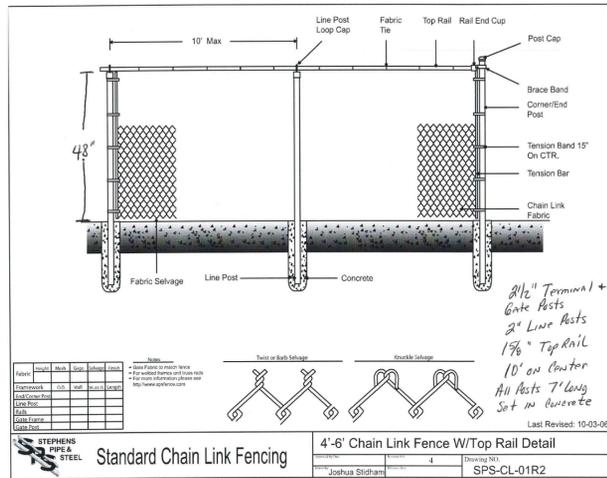
REVISIONS

NORTHPORT RESIDENTIAL HOTEL
PREPARED FOR
METRO DEVELOPMENT
470 OLDE WORKINGTON ROAD
SUITE 100
WESTERVILLE, OH 43082

Paris Planning & Design
LANDSCAPE ARCHITECTURE
Hilliard, OH 43026
www.parisplanninganddesign.com

LAND PLANNING
4876 Cemetery
p. 6 | 614 | 467-1194

DATE 03/27/23
PROJECT 22005
SHEET EX_D6.1



LOCKEY USA PS61 PANIC SHIELD KIT

INCLUDES
 24" Panic Shield
 36" PB1100 Panic Bar
 PS-5B Strike Bracket
 PSGB200 Gate Box
 285P Keyless Panic Trim
 Max Guard

ORDERING INFORMATION
 Order #: PS61
 Options: Silver (S) or Black (B)

DIMENSIONS & SPECIFICATIONS

24" Panic Shield for PB1100
 Height: 24"
 Width: Expandable up to 54"
 Weight: 27.5 lbs.
 Material: 16 ga electro-galvanized steel
 Finish: Powder-coated silver

PSGB200 Gate Box:
 Length: 7"
 Width: 2"
 Depth: 2"
 Weight: 1 lb.
 Material: 14 ga HRPO

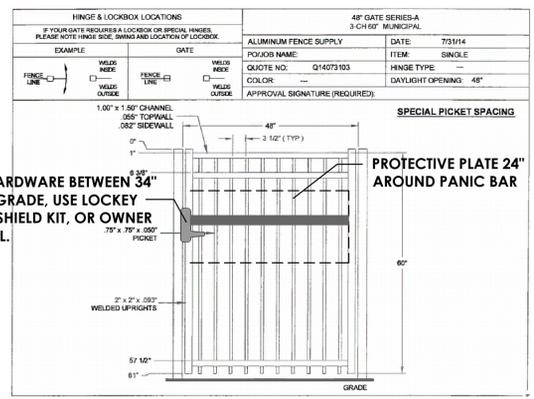
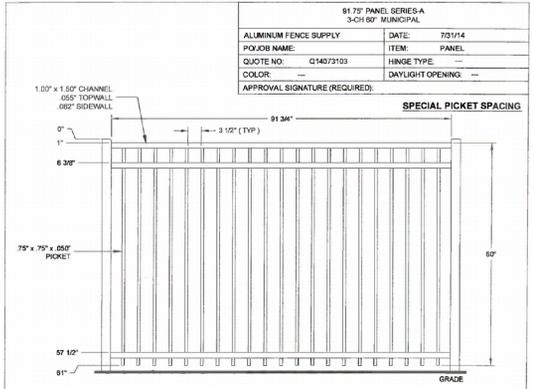
PB1100 Panic Bar
 Length: 33"
 Height: 6"
 Depth: 2.5"
 Weight: 9 lbs.
 Materials
 Head Cover: Zinc die-casted
 Push Bar, Chassis, Slide Cover, End Cap: Plated steel
 Latch Bolt: Stainless steel powder metallurgy
 Finish: Aluminum

285P Keyless Panic Trim
 Length: 5 1/2"
 Width: 1 5/8"
 Depth: 2 1/4"
 Weight: 2 lbs.
 Material: Zinc-plated steel

Max Guard
 Length: 26"
 Width: 4 3/4"
 Depth: 3/4"
 Weight: 2 lbs.
 Material: 16 ga galvanized steel

Strike Bracket
 Length: 7"
 Width: 3.77"
 Depth: 1.18"
 Weight: 2 lbs. 4.2oz
 Material: 1/4" HRPO Steel

WWW.LOCKEYUSA.COM/PANIC-SHIELD-KITS



INSTALL PANIC HARDWARE BETWEEN 34" AND 48" ABOVE GRADE. USE LOCKEY USA PS61 PANIC SHIELD KIT, OR OWNER APPROVED EQUAL.

3 DOG PARK FENCE & GATE DETAIL
 N.T.S.
 NOTE: ALL FENCE MATERIALS TO BE BLACK IN COLOR



MANUFACTURER: TREETOPPRODUCTS.COM
 MODEL: NORTHGATE PARK BENCH (SKU: TBN-15)



MANUFACTURER: TERRA BOUND SOLUTIONS
 MODEL: ELITE DOG WASTE STATION (SKU: 44-ELITESTATION)



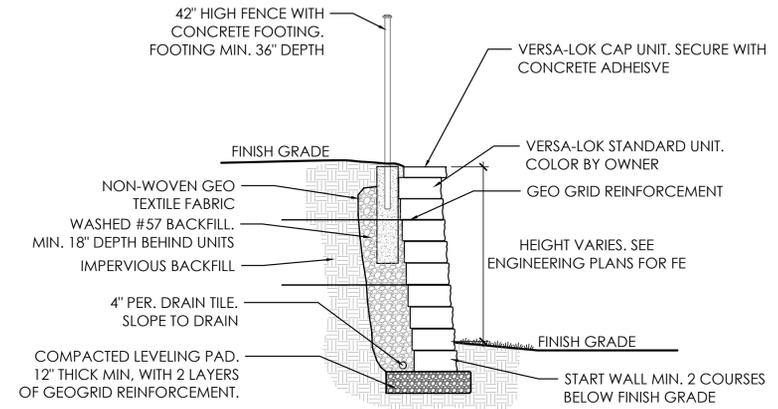
MANUFACTURER: TREETOPPRODUCTS.COM
 MODEL: NORTHGATE RECEPTACLES (SKU: TWR-15)

1 POOL FENCE & GATE DETAIL
 SCALE: N.T.S.
 NOTES:
 1. GATE TO BE SELF-CLOSING.
 2. USE MANUFACTURER'S SPECIFIED GATE.
 3. LATCH AND ACCESS HARDWARE TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS, AND TO CONFORM TO ADA.
 4. LOCK TO BE SELF-LATCHING AND LOCKABLE.

6 METAL BENCH DETAIL
 SCALE: N.T.S.

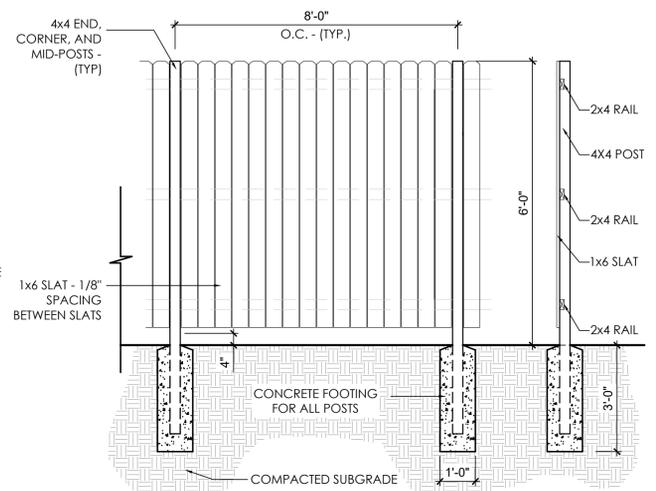
5 PET WASTE STATION DETAIL
 SCALE: N.T.S.

4 TRASH RECEPTACLE DETAIL
 SCALE: N.T.S.



7 VERSA LOK RETAINING WALL - REINFORCED
 N.T.S.
 NOTE:
 -DETAIL FOR BIDDING PURPOSES ONLY. FINAL SHOP DRAWINGS BY STRUCTURAL ENGINEER

NOTE:
 -ALL WOOD TO BE PRESSURE TREATED OR WESTERN RED CEDAR AS APPROVED BY OWNER
 -WOOD SCREWS TO BE FLAT HEAD WEATHER MASTER DACROTIZED STEEL COARSE, THREAD 12x2 MANUFACTURED BY TETRON INC. OR OWNER APPROVED EQUAL
 -ALL WOOD MEMBERS TO BE PAINTED/STAINED TO MATCH FENCE COLOR OF ADJACENT CONDOMINIUM ASSOCIATION TO THE EAST. SUBMIT SAMPLE FOR OWNERS APPROVAL.



2 6' WOOD PRIVACY FENCE
 N.T.S.

REVISIONS

SITE DETAILS III

NORTHPORT RESIDENTIAL HOTEL
 PREPARED FOR
METRO DEVELOPMENT
 470 OLDE WORKINGTON ROAD
 SUITE 100
 WESTERVILLE, OH 43082

Faris Planning & Design
 LAND PLANNING LANDSCAPE ARCHITECTURE
 4876 Cemetery Hill Rd., Hilliard, OH 43026
 P. (614) 467-7194
 www.farisplanninganddesign.com

DATE	03/27/23
PROJECT	22005
SHEET	

EX_D6.2

REVISIONS	

SITE DETAILS IV

NORTHPORT RESIDENTIAL HOTEL

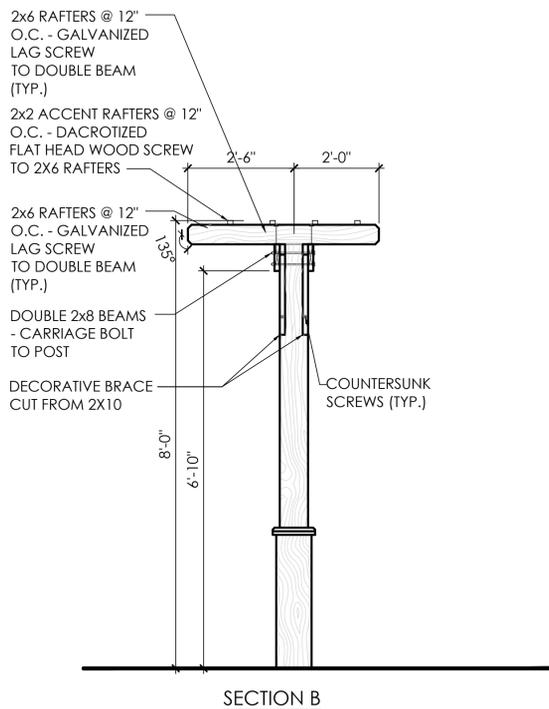
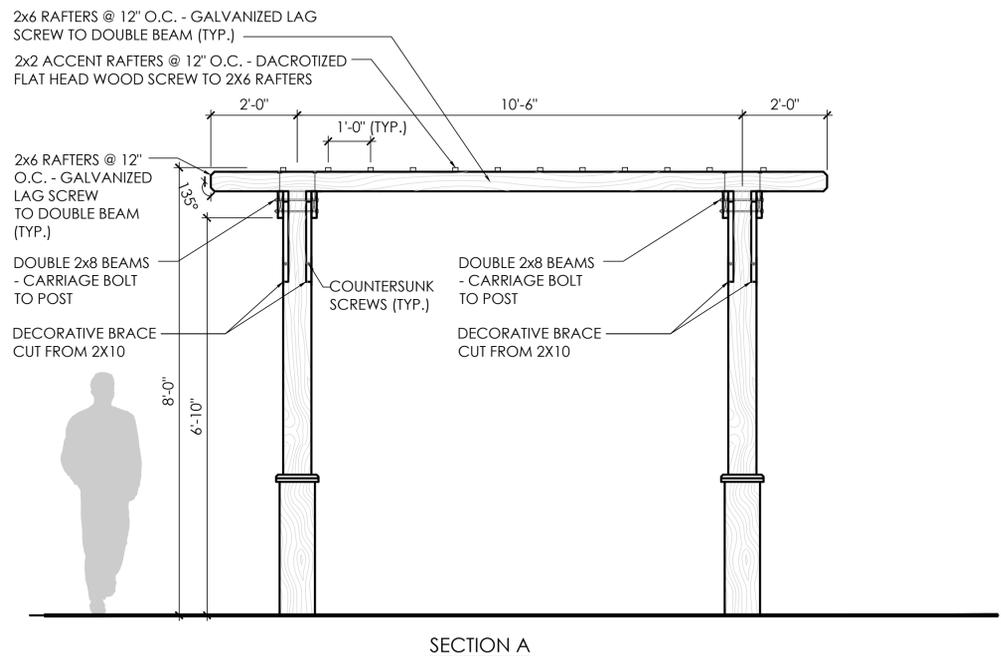
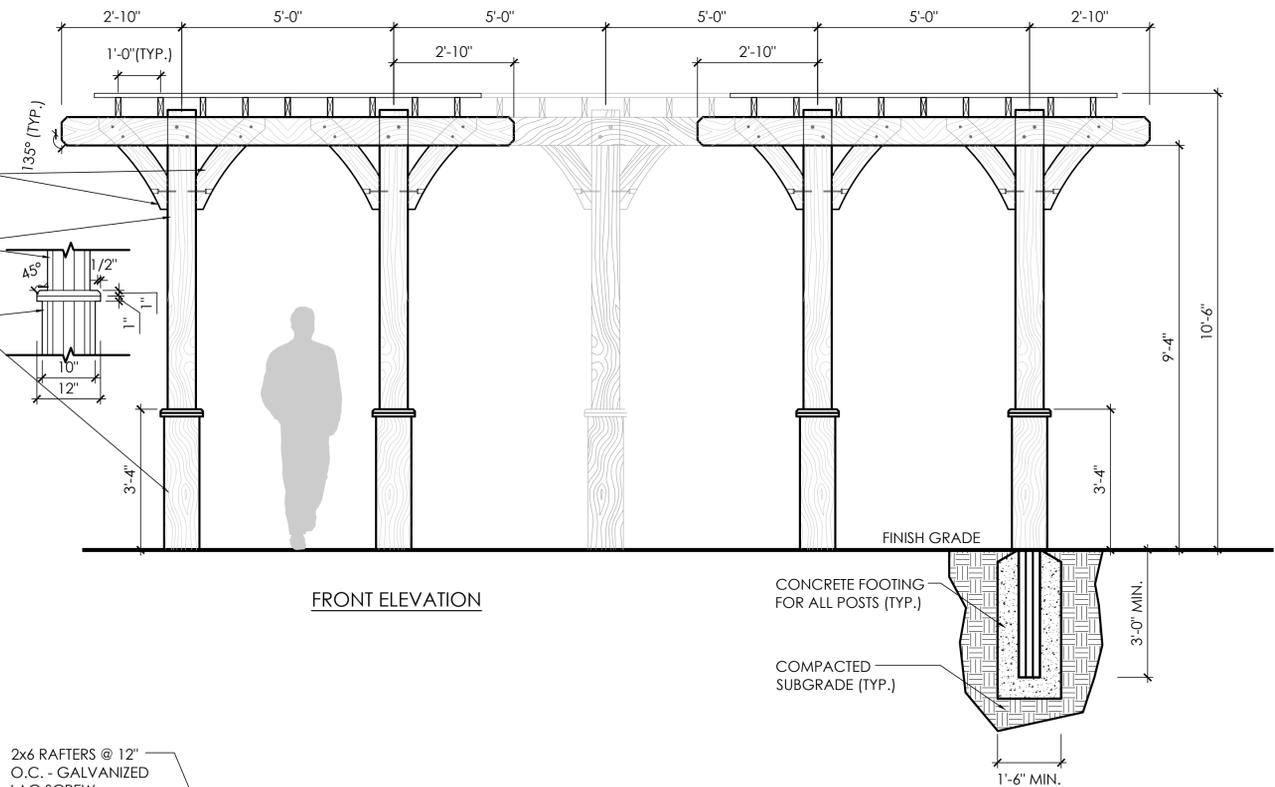
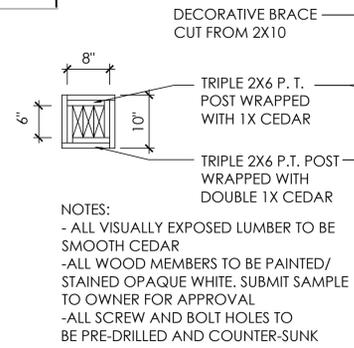
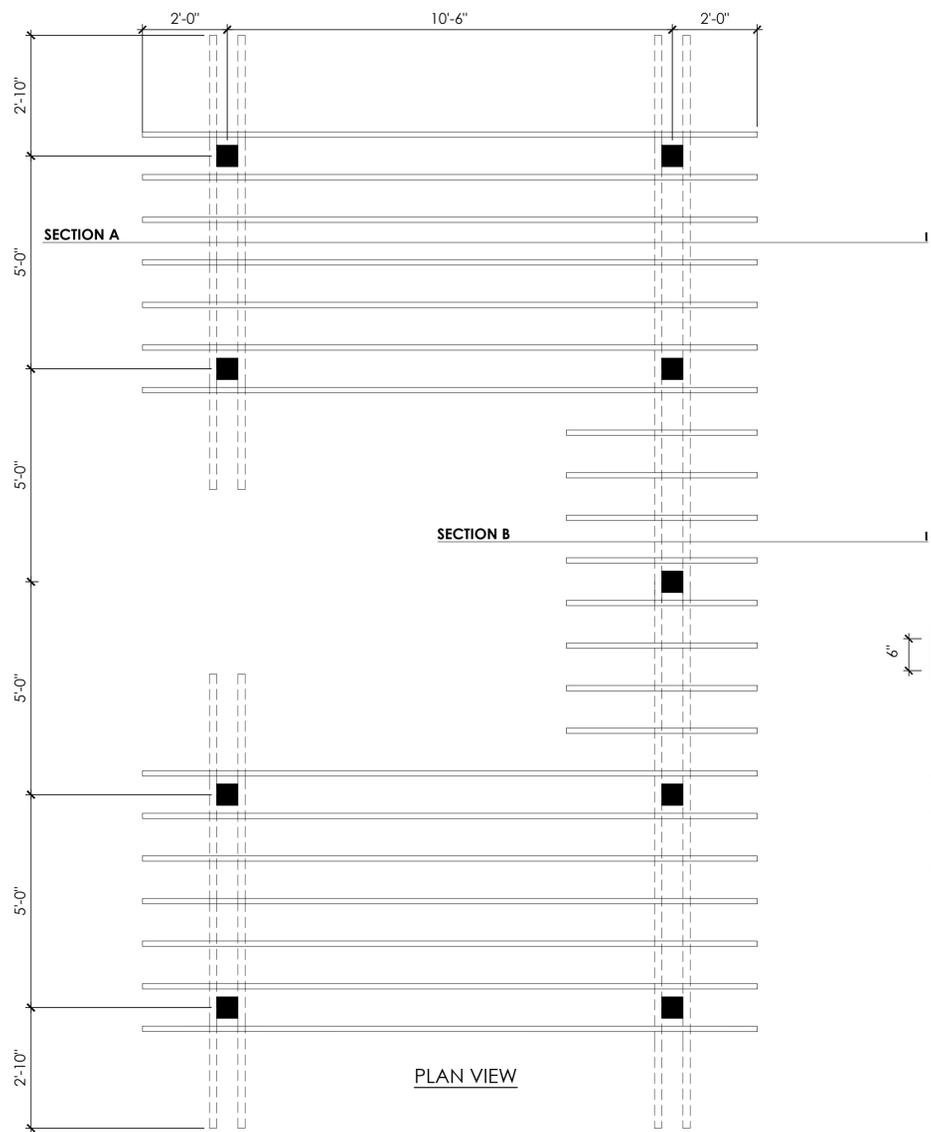
PREPARED FOR
HOTEL
 METRO DEVELOPMENT
 470 OLDE WORKINGTON ROAD
 SUITE 100
 WESTERVILLE, OH 43082

Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
 4876 Cemetery Hill Rd., OH 43026
 p. 614.467.1954
 www.farisplanninganddesign.com

DATE	03/27/23
PROJECT	22005
SHEET	

EX_D6.3



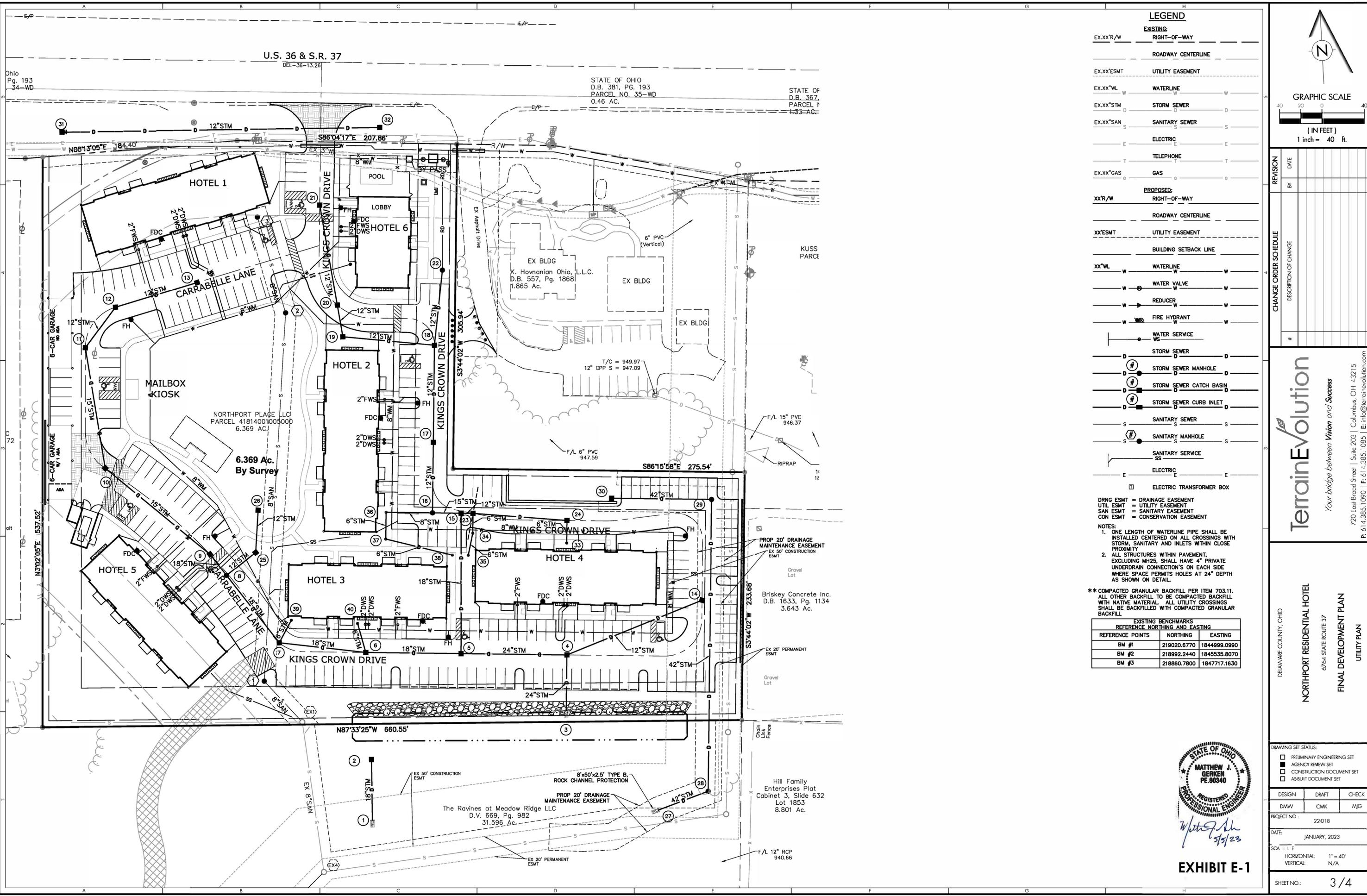
1 WOOD ARBOR
 N.T.S.
 NOTE:
 - DETAIL FOR BIDDING PURPOSES ONLY. FINAL SHOP DRAWINGS BY STRUCTURAL ENGINEER.

U.S. 36 & S.R. 37
DEL-36-13.26

STATE OF OHIO
D.B. 381, PG. 193
PARCEL NO. 35-WD
0.46 AC.

STATE OF OHIO
D.B. 367,
PARCEL NO.
1.33 AC.

Ohio
Pg. 193
34-WD



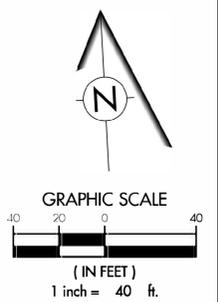
LEGEND

- EXISTING:**
- EX.XX'R/W RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - EX.XX'ESMT UTILITY EASEMENT
 - EX.XX'WL WATERLINE
 - EX.XX'STM STORM SEWER
 - EX.XX'SAN SANITARY SEWER
 - E ELECTRIC
 - T TELEPHONE
 - EX.XX'GAS GAS
- PROPOSED:**
- XX'R/W RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - XX'ESMT UTILITY EASEMENT
 - BUILDING SETBACK LINE
 - XX'WL WATERLINE
 - W WATER VALVE
 - W REDUCER
 - W FIRE HYDRANT
 - W WATER SERVICE
 - D STORM SEWER
 - # STORM SEWER MANHOLE
 - # STORM SEWER CATCH BASIN
 - # STORM SEWER CURB INLET
 - S SANITARY SEWER
 - # SANITARY MANHOLE
 - SS SANITARY SERVICE
 - E ELECTRIC
 - ELECTRIC TRANSFORMER BOX

- NOTES:**
- ONE LENGTH OF WATERLINE PIPE SHALL BE INSTALLED CENTERED ON ALL CROSSINGS WITH STORM, SANITARY AND INLETS WITHIN CLOSE PROXIMITY
 - ALL STRUCTURES WITHIN PAVEMENT, EXCLUDING MH25, SHALL HAVE 4" PRIVATE UNDERDRAIN CONNECTION'S ON EACH SIDE WHERE SPACE PERMITS HOLES AT 24" DEPTH AS SHOWN ON DETAIL.
- ** COMPACTED GRANULAR BACKFILL PER ITEM 703.11. ALL OTHER BACKFILL TO BE COMPACTED BACKFILL WITH NATIVE MATERIAL. ALL UTILITY CROSSINGS SHALL BE BACKFILLED WITH COMPACTED GRANULAR BACKFILL.**

EXISTING BENCHMARKS
REFERENCE NORTHING AND EASTING

REFERENCE POINTS	NORTHING	EASTING
BM #1	219020.6770	1844999.0990
BM #2	218992.2440	1845535.8070
BM #3	218860.7800	1847717.1630



REVISION

DATE	BY	DESCRIPTION OF CHANGE

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Your bridge between Vision and Success

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P: 614.385.1090 | F: 614.385.1065 | E: info@terrainevolution.com

DELAWARE COUNTY, OHIO
NORTHPORT RESIDENTIAL HOTEL
6704 STATE ROUTE 37
FINAL DEVELOPMENT PLAN
UTILITY PLAN

DRAWING SET STATUS:

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DMW	CMK	MJG

PROJECT NO.: 22-018
DATE: JANUARY, 2023
SCALE: HORIZONTAL: 1" = 40'
VERTICAL: N/A
SHEET NO.: 3/4

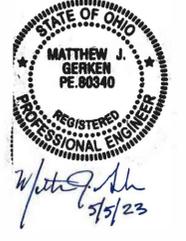


EXHIBIT E-1



Delaware County Engineer

Chris Bauserman, P.E., P.S.

July 8th, 2022

Zoning Inspector
Berlin Township
3271 Cheshire Road
Delaware Ohio 43015

Re: Northport Hotel

Dear Township:

The Delaware County Engineer's Office (DCEO) has reviewed the proposed conceptual layout submitted to our office June 17th, 2022 for the Northport Residential Hotel development of parcel # 41814001005000. Storm water management will be required to conform to current Delaware County Standards and is expected to be analyzed in more detail during the final engineering phase.

We recommend the following modifications to the site plan be incorporated prior to final zoning approval.

- 1) Access to/from this site is via a state route, therefore access is under ODOT's jurisdiction.
- 2) A traffic study will be required and will need to be submitted for review.
- 3) Verify that there are adequate drainage outlets that exist for the site. The existing pond is on drainage maintenance. This pond is the outlet for the Lighthouse subdivision. The approval to fill in the pond is dependent on whether or not the existing pond was established for flood control or water quality. This will need to be verified.
- 4) Drainage maintenance will be determined in Final Engineering
- 5) Variances will be determined in Final Engineering
- 6) Offsite drainage easements will required and will need to be established and recorded prior to final plan approval.
- 7) Erosion and sedimentation control (DESC) requirements will be required.
- 8) The site layout will need to incorporate the proposed Sunbury Parkway alignment.

Please note that the reviewed plans are preliminary in nature and, therefore, only address the conceptual layout. Final engineering plans will need to be submitted that comply with the current edition of the Delaware County Engineer's Design, Construction and Surveying Standards Manual. All variances from the Delaware County Design, Construction and Surveying Standards Manual are required.

Thank you for the opportunity to comment on this proposal. Subject to the Township's approval, we will review the detailed engineering plans for this site.

Sincerely,

Michael A. Love, P.E., PTOE
Deputy Development Engineer

cc: Scott Sanders AICP, DCRPC
Matt Gerken PE, Terrain Evolution
Brian Davidson PE, PS ODOT D6

EXHIBIT E-3



Delaware County

Regional Sewer District

Director/Sanitary Engineer
Tiffany M. Maag, P.E.

June 24, 2022

David Walker
Terrain Evolution
720 East Broad Street, Ste 203
Columbus, OH 43215

sent via email: dwalker@terrinevolution.com

Re: **Serviceability Request**
Northport Residential Hotel, Berlin Township
Parcel: 41814001005000

Dear Mr. Walker:

Pursuant to your request dated June 17, 2022, for a sanitary sewer service letter for the aforementioned parcel, we offer the following conditional sanitary sewer availability:

Availability

The Delaware County Sanitary Engineer's Office can confirm that public sanitary sewer is available to serve the above referenced parcel. Extensions from the existing sanitary sewer along the southern or eastern property lines will be necessary to provide service to the proposed development.

Capacity

Capacity is available to serve the proposed development. Capacity for the proposed development is **not reserved** until such time that all the requirements for the sewer extension or commercial tap permit have been fulfilled. Sewer capacity is dynamic and subject to decrease pending ongoing development.

If you should have any questions or concerns about this correspondence, please feel free to contact me.

Sincerely,

Kelly Thiel
Staff Engineer III

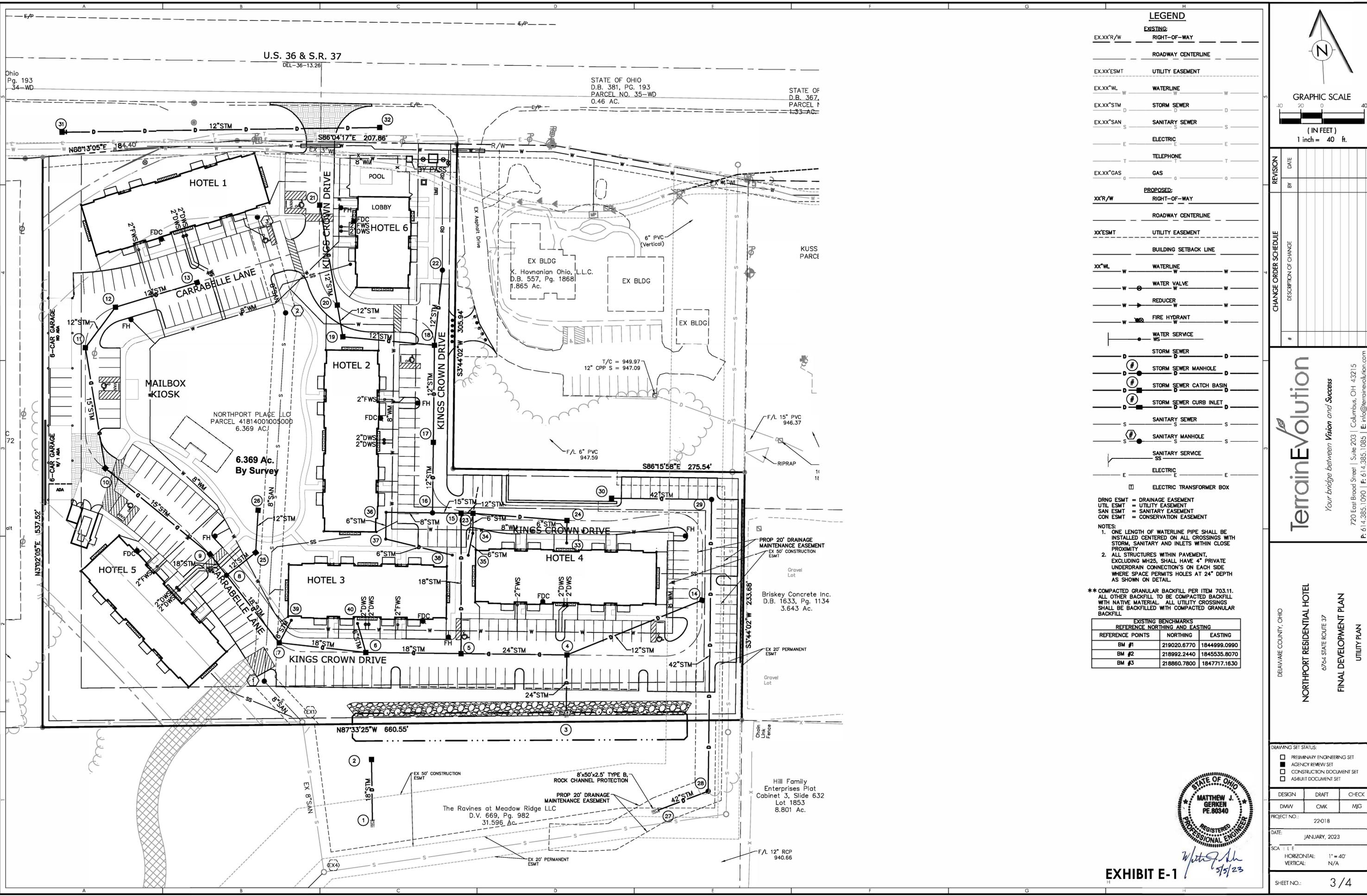
cc: Correspondence File
mgerken@terrinevolution.com
mwilliamson@terrinevolution.com

U.S. 36 & S.R. 37
DEL-36-13.26

STATE OF OHIO
D.B. 381, PG. 193
PARCEL NO. 35-WD
0.46 AC.

STATE OF OHIO
D.B. 367,
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Ohio
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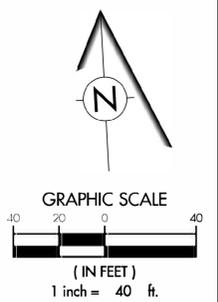


LEGEND

- EXISTING:**
- EX.XX'R/W RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - EX.XX'ESMT UTILITY EASEMENT
 - EX.XX'WL WATERLINE
 - EX.XX'STM STORM SEWER
 - EX.XX'SAN SANITARY SEWER
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- PROPOSED:**
- XX'R/W RIGHT-OF-WAY
 - ROADWAY CENTERLINE
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 - D STORM SEWER CURB INLET
 - S SANITARY SEWER
 - S SANITARY MANHOLE
 - SS SANITARY SERVICE
 - E ELECTRIC
 - E ELECTRIC TRANSFORMER BOX

- NOTES:**
- ONE LENGTH OF WATERLINE PIPE SHALL BE INSTALLED CENTERED ON ALL CROSSINGS WITH STORM, SANITARY AND INLETS WITHIN CLOSE PROXIMITY
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EXISTING BENCHMARKS		
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BM #2	218992.2440	1845535.8070
BM #3	218860.7800	1847717.1630



REVISION	DATE	BY	DESCRIPTION OF CHANGE

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Your bridge between Vision and Success

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DELAWARE COUNTY, OHIO
NORTHPORT RESIDENTIAL HOTEL
6704 STATE ROUTE 37
FINAL DEVELOPMENT PLAN
UTILITY PLAN

- DRAWING SET STATUS:**
- PRELIMINARY ENGINEERING SET
 - AGENCY REVIEW SET
 - CONSTRUCTION DOCUMENT SET
 - AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DMW	CMK	MJG
PROJECT NO.:	22-018	
DATE:	JANUARY, 2023	
SCALE:	HORIZONTAL: 1" = 40' VERTICAL: N/A	
SHEET NO.:	3/4	



Matthew J. Gerken
5/5/23

EXHIBIT E-1



Berlin Township Fire Department
Fire Prevention Bureau
2708 Lackey Old State Road
Delaware, Ohio 43015
(740) 548-6031

Fire Chief AJ Miller
Lt. Craig A. Hall, Fire Prevention

November 21, 2022

Terrain Evolution, Inc.
Mr. Matt Gerken, PE
720 E. Broad Street, Suite 203
Columbus, Oh. 43215

I am writing in response to your request regarding the proposed land use development known as Northpoint Development. This Section of land is located in Berlin Township and Berlin Township Fire Department does provide fire protection for this area. I have reviewed the final project drawings dated 11/04/2022.

Please see the following comments:

- 1) Under Description page 4 item 630 street name of Shanahan Road, be renamed due to this street already existing in Berlin Township.
- 2) Emergency Access posted signage stating: Emergency Access Entrance Only I assume the post will be of the removable or breakaway type?
- 3) Main street shows 26 ft wide. Is there parking allowed on street? If no will it be posted? If yes, the hydrant side of the street will need to be posted Fire Lane No Parking

We appreciate the opportunity to work with you in the future and thank you for your interest in Berlin Township. If we can be of any further assistance please do not hesitate to call or visit our 2708 Lackey Old State location.

Respectfully,

Lt. Craig A. Hall, CFSI
chall@berlintwp.us

EXHIBIT E-6



1 BUILDING TYPE G - FRONT AND REAR ELEVATION
SCALE: 1:10



2 SIDE A ELEVATION
SCALE: 1:10



3 SIDE B ELEVATION
SCALE: 1:10

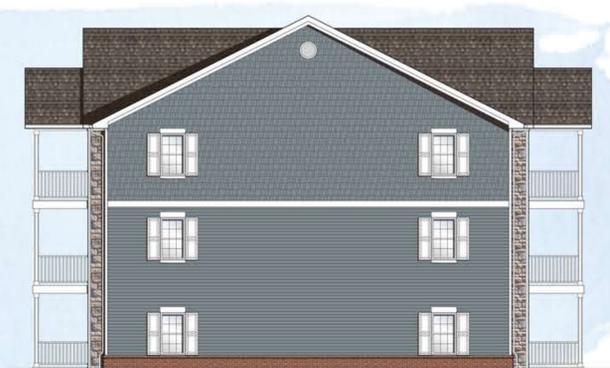


1 BUILDING TYPE J - FRONT AND REAR ELEVATION
SCALE: 1:10

DIMENSIONAL ASPHALT SHINGLES
HARDIE SHAKE SIDING
HARDIE BOARD AND BATTEN
HARDIE SIDING
STONE
BRICK



2 SIDE A ELEVATION
SCALE: 1:10



3 SIDE B ELEVATION
SCALE: 1:10



1 BUILDING TYPE H - FRONT ELEVATION
SCALE: 1:10



2 BUILDING TYPE H - REAR ELEVATION
SCALE: 1:10



3 SIDE A ELEVATION
SCALE: 1:10



4 SIDE B ELEVATION
SCALE: 1:10

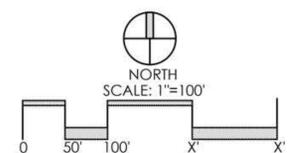
ARCHITECTURAL ELEVATIONS - BUILDING TYPES G, J AND H

EXHIBIT F-1



NORTHPORT RESIDENTIAL HOTEL

PREPARED FOR METRO DEVELOPMENT
DATE: 3.23.23



Faris Planning & Design
LAND PLANNING LANDSCAPE ARCHITECTURE
4876 Cemetery Hilliard, OH 43026
p. (614) 487-1964 www.farisplanninganddesign.com



1 MAIL KIOSK - FRONT ELEVATION
SCALE: 1:10



2 MAIL KIOSK - SIDE ELEVATION
SCALE: 1:10



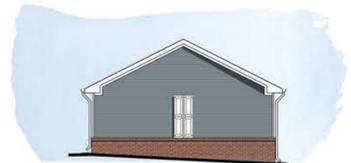
3 MAIL KIOSK - BACK ELEVATION
SCALE: 1:10



4 GARAGE 1 - BACK ELEVATION
SCALE: 1:10



5 GARAGE 1 - FRONT ELEVATION
SCALE: 1:10



6 GARAGE 1 - SIDE ELEVATION
SCALE: 1:10



7 GARAGE 2 - BACK ELEVATION
SCALE: 1:10



8 GARAGE 2 - FRONT ELEVATION
SCALE: 1:10



9 GARAGE 2 - SIDE ELEVATION
SCALE: 1:10



10 COMPACTOR - SIDE A ELEVATION
SCALE: 1:10



11 COMPACTOR - FRONT ELEVATION
SCALE: 1:10



10 COMPACTOR - SIDE B ELEVATION
SCALE: 1:10

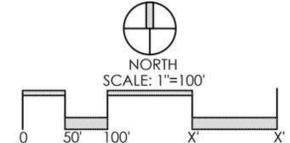
ARCHITECTURAL ELEVATIONS - ANCILIARY STRUCTURES

NORTHPORT RESIDENTIAL HOTEL

PREPARED FOR METRO DEVELOPMENT
DATE: 3.23.23



COLLABORATIVE DESIGN, LTD



Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
4876 Cemetery Hilliard, OH 43026
p. (614) 487-1964 www.farisplanninganddesign.com

SIDING: LP BUILDING SOLUTIONS



EXPERT FINISH BOARD AND BATTEN
COLOR: SUMMIT BLUE



EXPERT FINISH HORIZONTAL
COLOR: SUMMIT BLUE



EXPERT FINISH SHAKE
COLOR: SUMMIT BLUE



COLOR: SUMMIT BLUE



TRIM:LP
COLOR: WHITE

ROOF: TAMKO or IKO



HERITAGE ARCHITECTURAL
ASPHALT SHINGLES
COLOR: WEATHERED WOOD



CAMBRIDGE
ARCHITECTURAL ASPHALT
SHINGLES
COLOR: DRIFTWOOD

STONE: DUTCH QUALITY



COLOR: KENTUCKY BLEND
LIMESTONE

BRICK: TRIANGLE



COLOR: PORTSMOUTH

REVISIONS	
ARCHITECTURAL MATERIALS	
NORTHPORT RESIDENTIAL HOTEL <small>PREPARED FOR</small> METRO DEVELOPMENT 470 OLDE WORTHINGTON ROAD SUITE 100 WESTERVILLE, OH 43082	
Faris Planning & Design <small>LAND PLANNING LANDSCAPE ARCHITECTURE</small> 4876 Cemetery Hilliard, OH 43026 P (614) 487-1964 www.farisplanninganddesign.com	
DATE	03/23/23
PROJECT	22005
SHEET	
F-2	

From: Andrew.Hurst@dot.ohio.gov
To: [Todd Stanhope](#)
Cc: Jerry.Sanor@dot.ohio.gov; [Joseph D. Thomas Jr.; Thom Ries \(tries@terrainevolution.com\); Matt Gerken \(mgerken@terrainevolution.com\)](mailto:Joseph D. Thomas Jr.; Thom Ries (tries@terrainevolution.com); Matt Gerken (mgerken@terrainevolution.com))
Subject: RE: Greer Property Traffic Analysis
Date: Thursday, May 19, 2022 2:35:28 PM

We will not be requiring the right turn lane at this time.

From: Todd Stanhope <TStanhope@smartservices-inc.com>
Sent: Thursday, April 28, 2022 9:31 AM
To: Hurst, Andrew <Andrew.Hurst@dot.ohio.gov>
Cc: Sanor, Jerry <Jerry.Sanor@dot.ohio.gov>; Joseph D. Thomas Jr. <JThomasJr@drkmetro.com>; Thom Ries (tries@terrainevolution.com) <tries@terrainevolution.com>; Matt Gerken (mgerken@terrainevolution.com) <mgerken@terrainevolution.com>
Subject: Greer Property Traffic Analysis

Drew

For your review, attached is the TA for the subject site. Please let us know if you have any questions or need any additional information at this point.

TODD STANHOPE, PE, PTOE
SMART SERVICES
DIRECTOR OF TRAFFIC ENGINEERING

✉ tstanhope@smartservices-inc.com
📍 1900 Crown Park Ct, Columbus, OH 43235
📞 OFFICE 614.914.5543 FAX 740.522.4706
🌐 SmartServices-Inc.com



CAUTION: This is an external email and may not be safe. If the email looks suspicious, please do not click links or open attachments and forward the email to csc@ohio.gov or click the Phish Alert Button if available.

EXHIBIT G-1

Greer Property Traffic Analysis

Prepared For:

Metro Development

Prepared By:



1900 Crown Park Court, Suite E
Columbus, OH 43235
(614) 914-5543
www.SmartServices-Inc.com

April 2022

SSI Project #: 821401

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Greer Property Traffic Analysis

Prepared For:

Metro Development
470 Olde Worthington Road, Suite 100
Westerville, OH 43082-8913

Telephone: (614) 540-2400

Prepared By:

Smart Services, Inc.
1900 Crown Park Court, Suite E
Columbus, OH 43235

Telephone: (614) 914-5543
e-mail: tstanhope@smartservices-inc.com

Under the direction of:



Registered Engineer No. E-64507, Ohio

4-28-2022

Date



April 2022



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APPENDIX

Traffic Counts

Referenced Documents

Turn Lane Warrant Graphs

Turn Lane Length Calculations

BACKGROUND

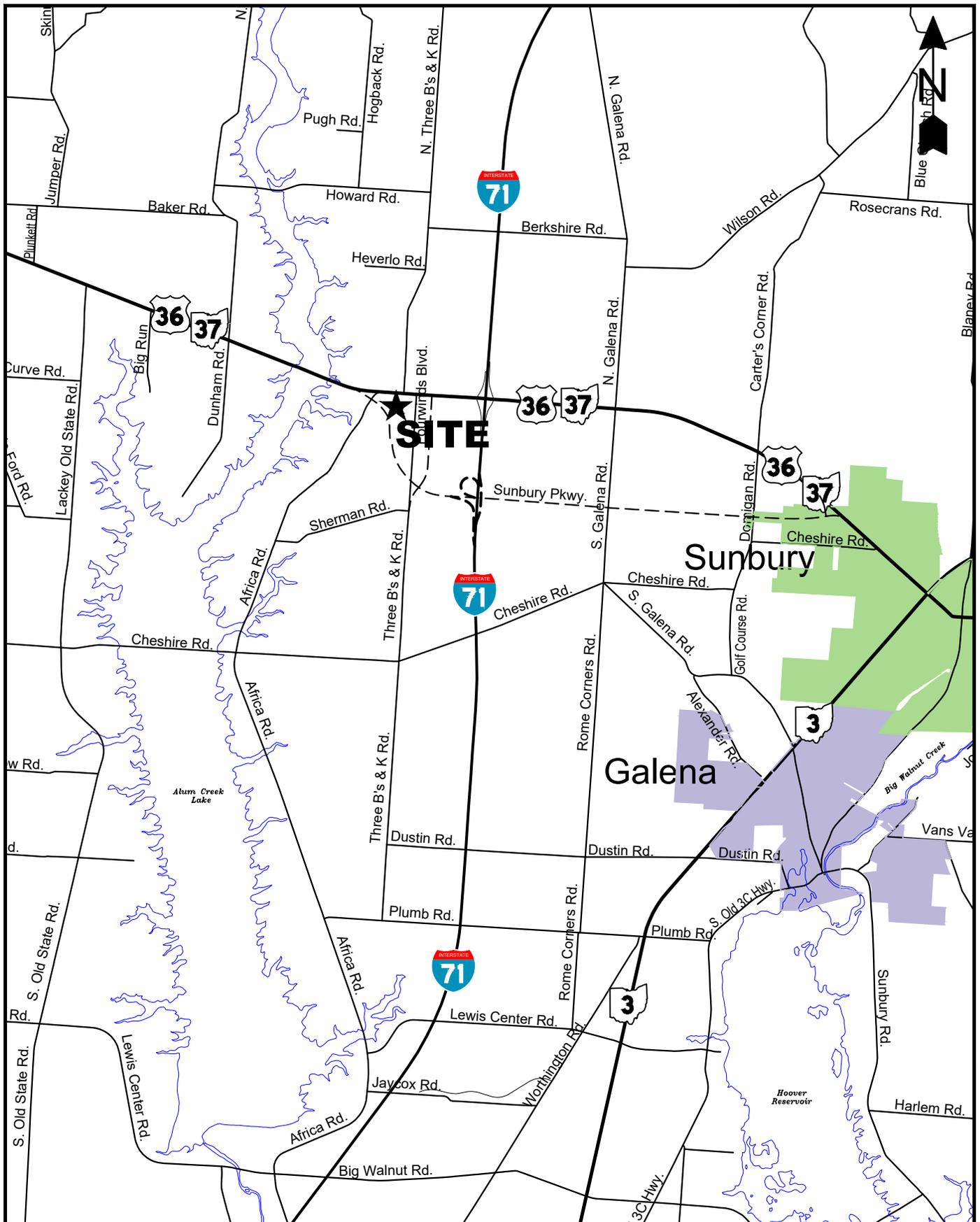
Metro Development is proposing to develop a 6.369-acre site with an approximately 120-unit residential hotel. The site is located south of existing US 36/SR 37, east of Africa Road. Figure 1 shows the location of the site. Access is proposed on US 36/SR 37. Figure 2 shows the site plan. The permitting agency for the access on US36/SR 37 is the Ohio Department of Transportation (ODOT) and per the *State Highway Access Management Manual (SHAMM)*, a Traffic Analysis is required for this level of development. The method of traffic development was the same as what was used in the *Ravines at Meadow Ridge TIS REV 1*.

EXISTING CONDITIONS

Table 1 shows the summary of the basis of existing traffic volumes used in the Traffic Analysis. The count report is in the Appendix.

INTERSECTION/SEGMENT	SOURCE	AM PEAK HOUR	PM PEAK HOUR
US 36/SR 37 & Africa Road	Smart Services, Inc.	7/19/2018 8:00-9:00 AM	7/19/2018 4:30-5:30 PM
US 36/SR 37 & Africa Road	Smart Services, Inc.	9/15/2020 7:00-8:00 AM	9/15/2020 4:15-5:15 PM

TABLE 1 - Summary of Existing Traffic Basis



**GREER PROPERTY
TRAFFIC ANALYSIS**

PREPARED BY: **SMART SERVICES**

4/2022

FIGURE 1

SITE LOCATION

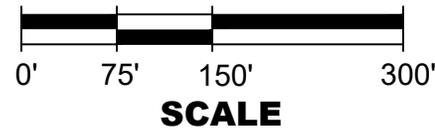


FIGURE 2
SITE LAYOUT
**GREER PROPERTY
TRAFFIC ANALYSIS**
4/2022

PREPARED BY:


PROJECTED SITE TRAFFIC

Trip Generation

In traffic engineering, the accepted method for computing trip generation is utilizing data from the *Trip Generation Manual, 11th Edition* published by the Institute of Transportation Engineers. The most representative land use in trip generation is “Multifamily Housing (Low-Rise) Not Close to Rail/Transit” (ITE Code #220)”. Table 2 shows the trip generation calculations.

Trip Distribution

The distribution of traffic was based on what was calculated in the *Ravines at Meadow Ridge TIS REV 1* but applied to the site location. The *Ravines at Meadow Ridge TIS REV 1* calculations are in the Appendix. Below is the resulting simplified distribution. Figures 3 and 4 show graphically the initial access distribution in each peak hour.

AM Peak

- 75% to the east on US 36/SR 37
- 25% to the west on US 36/SR 37

- 28% from the east on US 36/SR 37
- 72% from the west on US 36/SR 37

PM Peak

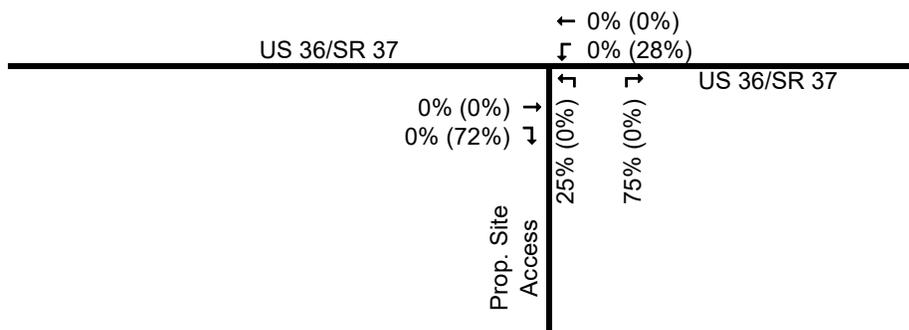
- 40% to the east on US 36/SR 37
- 60% to the west on US 36/SR 37

- 60% from the east on US 36/SR 37
- 40% from the west on US 36/SR 37

TIS SUBAREA	LAND USE	TIME OF DAY	DATA SET <i>Trip Generation Manual, 11th Edition</i> (Unless noted Otherwise)	RATE OR EQUATION FROM: <i>Trip Generation Manual 11th Edition</i>	TOTAL TRIPS	ENTERING		EXITING	
						%	TOTAL TRIPS	%	TOTAL TRIPS
1	Multifamily Housing (Low-Rise) Not Close to Rail/Transit (ITE Code #220) Ind. Variable (X) = 120 Dwelling Units	Daily	Weekday	$T = 6.41(X) + 75.31$	845	50%	423	50%	422
		AM Peak	Peak Hour of Adj. Street Traffic, One Hour between 7 & 9 AM	$T=0.31(X)+22.85$	60	24%	14	76%	46
		PM Peak	Peak Hour of Adj. Street Traffic, One Hour between 4 & 6 PM	$T=0.43(X)+20.55$	72	63%	45	37%	27
TOTALS		Daily			845		423		422
		AM Peak			60		14		46
		PM Peak			72		45		27

Greer Property Traffic Analysis - 4/2022

TABLE 2 - SITE TRIP GENERATION SUMMARY



LEGEND

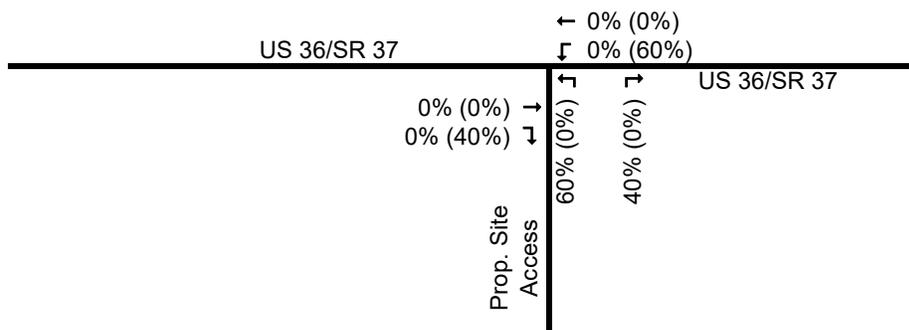
##% - Exiting Distribution
(###%) - Entering Distribution

**GREER PROPERTY
TRAFFIC ANALYSIS**
PREPARED BY: 

4/2022

FIGURE 3

SITE PRIMARY DISTRIBUTION - AM PEAK



LEGEND

##% - Exiting Distribution
(##%) - Entering Distribution

**GREER PROPERTY
TRAFFIC ANALYSIS**
PREPARED BY: 

4/2022

FIGURE 4

SITE PRIMARY DISTRIBUTION - PM PEAK

2023 & 2033 TRAFFIC

There are two components to the background traffic. The first is site traffic from area approved developments. The second is the application of background growth rates.

Additional Background Traffic (Fourwinds Drive Residential Development)

Site traffic shown in the *Fourwinds Drive Residential Development TIS*, prepared by Tran Associates, was added to the background traffic. The 2038 Full Build exhibits from the *Fourwinds Drive Residential Development TIS* are in the Appendix for reference.

Background Growth Rates

A 10-Year design horizon is required for a Traffic Analysis. Opening Day is assumed to be 2023; therefore, the design year is 2033. Growth rates were calculated for each movement based on a comparison of the 2018 existing traffic to the DEL-71-9.67 2038 'No Build' (no Sunbury Parkway interchange) traffic. Tables 3A and 3B show the growth rate calculations. Based on these movement calculations, the east leg growth rates were calculated and used in the Traffic Analysis. The resulting growth factors are shown in Table 3C.

Exhibits

Figure 5 shows the components of the 2023 Build' traffic. Figure 6 shows the components of the 2033 'Build' traffic.

MOVEMENT	2018 PEAK HOUR COUNT	2038 PEAK HOUR COUNT	LINEAR ANNUAL GROWTH RATE	2020 TO 2023 FACTOR	2020 TO 2033 FACTOR
EBTH	872	2410	8.82%	1.265	2.146
EBRT	139	190	1.83%	1.055	1.238
WBLT	248	360	2.26%	1.068	1.294
WBTH	855	1460	3.54%	1.106	1.460
NBLT	28	70	7.50%	1.225	1.975
NBRT	170	610	12.94%	1.388	2.682

Greer Property Traffic Analysis - 4/2022

TABLE 3A - Africa Road & US 36/SR 37 (AM PEAK)

MOVEMENT	2018 PEAK HOUR COUNT	2038 PEAK HOUR COUNT	LINEAR ANNUAL GROWTH RATE	2020 TO 2023 FACTOR	2020 TO 2033 FACTOR
EBTH	957	2300	7.02%	1.211	1.912
EBRT	97	130	1.70%	1.051	1.221
WBLT	155	530	12.10%	1.363	2.573
WBTH	1222	2770	6.33%	1.190	1.823
NBLT	62	110	3.87%	1.116	1.503
NBRT	178	440	7.36%	1.221	1.957

Greer Property Traffic Analysis - 4/2022

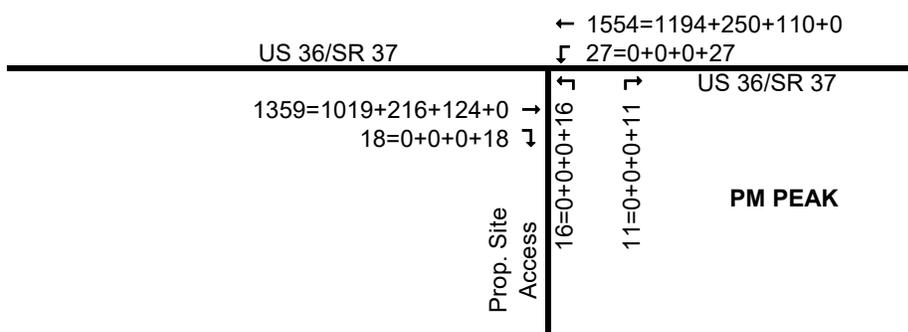
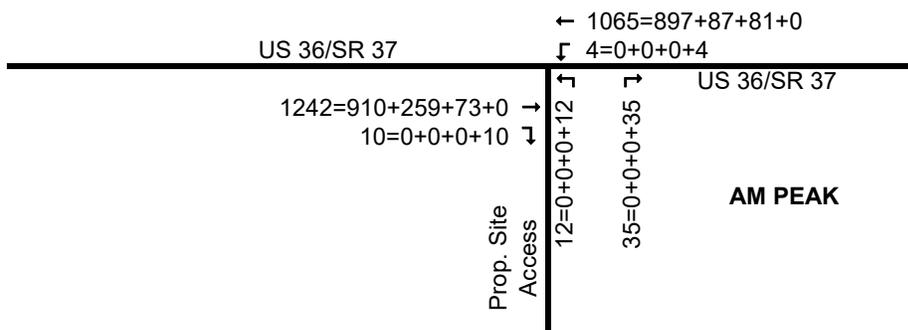
TABLE 3B - Africa Road & US 36/SR 37 (PM PEAK)

PEAK HOUR/MOVE MENT	2018 PEAK HOUR COUNT VOLUME	2038 PEAK HOUR COUNT VOLUME	LINEAR ANNUAL GROWTH RATE	2020 TO 2023 FACTOR	2020 TO 2033 FACTOR
AM - EB	1042	3020	9.49%	1.285	2.234
AM - WB	1103	1820	3.25%	1.098	1.423
PM - EB	1135	2740	7.07%	1.212	1.919
PM - WB	1377	3300	6.98%	1.209	1.908

Greer Property Traffic Analysis - 4/2022

TABLE 3C - US 36/SR 37 east of Africa Road

= Factors used in the Traffic Analysis



LEGEND

A=B+C+D+E

A = 2023 'BUILD'

C = GROWTH

E = SITE TOTAL

B = EXISTING (2020)

D = FOURWINDS RES. DEV.

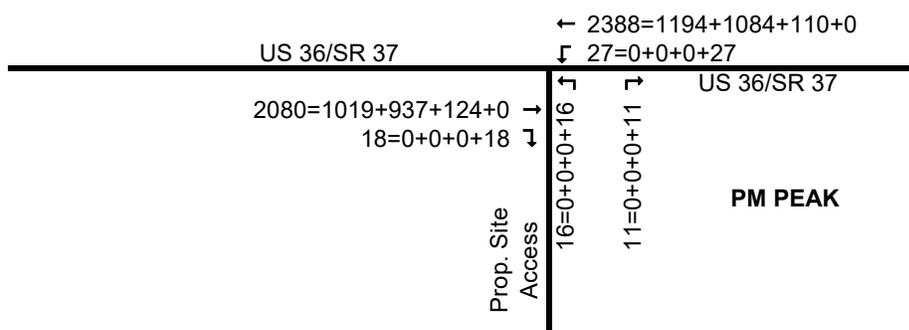
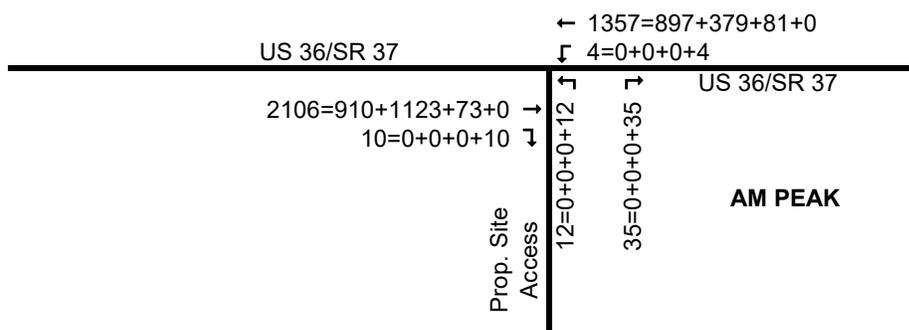
**GREER PROPERTY
TRAFFIC ANALYSIS**

PREPARED BY: 

4/2022

FIGURE 5

2023 'BUILD'



LEGEND

A=B+C+D+E

A = 2033 'BUILD'

C = GROWTH

E = SITE TOTAL

B = EXISTING (2020)

D = FOURWINDS RES. DEV.

GREER PROPERTY TRAFFIC ANALYSIS

PREPARED BY: SMART SERVICES

4/2022

FIGURE 6

2033 'BUILD'

TRAFFIC ANALYSIS

Turn Lane Warrant Analysis

The procedure to determine whether turn lanes are warranted is according to the *ODOT L&D Manual* published by the Ohio Department of Transportation (ODOT). There is an existing center two-way left turn lane to accommodate the left turn movement so only the right turn lane warrant was analyzed. The speed limit of 60 MPH was used for the analysis. The results are shown in Table 4. The graph from the *ODOT L&D Manual* is in the Appendix.

MOVEMENT	2023 ‘BUILD’	2033 ‘BUILD’
US 36/SR 37 EB right turn at Prop. Site Access	Warrant Not Met	Indeterminant

TABLE 4 – Summary of Turn Lane Warrant Analysis

CONCLUSIONS

2023 ‘Build’ and 2033 ‘Build’ volumes were developed for use in turn lane warrant and turn lane length analyses. Below is a summary of the conclusions for each condition:

2023 ‘Build’

- US 36/SR 37 & Prop. Site Access
 - There is an existing center two-way left turn lane to accommodate the westbound left turn movement.
 - An eastbound right turn lane is not warranted.

2033 ‘Build’

- US 36/SR 37 & Prop. Site Access
 - There is an existing center two-way left turn lane to accommodate the westbound left turn movement.
 - An eastbound right turn lane is indeterminant. Since the turn lane is not warranted opening day and Sunbury Parkway could be built within the horizon of the Traffic Analysis, this lane is not justified.

APPENDIX

US 36-SR 37 & Africa Rd - TMC

Thu Jul 19, 2018

Full Length (7 AM-9 AM, 4 PM-6 PM)

All Classes (Lights and Motorcycles, Heavy)

All Movements

ID: 778811, Location: 40.267328, -82.944492



Provided by: Smart Services, Inc.
88 W. Church Street, Newark, OH, 43055, US

Leg Direction	US 36-SR 37 Eastbound				US 36-SR 37 Westbound				Africa Rd Northbound				
Time	T	R	U	App	L	T	U	App	L	R	U	App	Int
2018-07-19 7:00AM	255	19	0	274	22	140	0	162	4	26	0	30	466
7:15AM	280	43	0	323	26	158	0	184	10	31	0	41	548
7:30AM	252	32	0	284	35	158	0	193	12	35	0	47	524
7:45AM	223	37	0	260	26	179	0	205	4	28	0	32	497
Hourly Total	1010	131	0	1141	109	635	0	744	30	120	0	150	2035
8:00AM	224	27	0	251	31	159	1	191	9	29	0	38	480
8:15AM	236	37	0	273	36	168	0	204	12	37	0	49	526
8:30AM	212	38	0	250	77	234	0	311	5	49	0	54	615
8:45AM	200	37	0	237	104	294	0	398	2	55	0	57	692
Hourly Total	872	139	0	1011	248	855	1	1104	28	170	0	198	2313
4:00PM	215	28	0	243	28	267	0	295	18	46	0	64	602
4:15PM	217	23	0	240	44	326	0	370	12	44	0	56	666
4:30PM	241	20	0	261	41	256	0	297	21	52	0	73	631
4:45PM	256	24	0	280	40	299	0	339	10	41	0	51	670
Hourly Total	929	95	0	1024	153	1148	0	1301	61	183	0	244	2569
5:00PM	226	29	0	255	32	328	0	360	11	52	0	63	678
5:15PM	234	24	0	258	42	339	0	381	20	33	0	53	692
5:30PM	197	24	0	221	42	282	0	324	20	57	0	77	622
5:45PM	198	27	0	225	36	268	0	304	14	42	0	56	585
Hourly Total	855	104	0	959	152	1217	0	1369	65	184	0	249	2577
Total	3666	469	0	4135	662	3855	1	4518	184	657	0	841	9494
% Approach	88.7%	11.3%	0%	-	14.7%	85.3%	0%	-	21.9%	78.1%	0%	-	-
% Total	38.6%	4.9%	0%	43.6%	7.0%	40.6%	0%	47.6%	1.9%	6.9%	0%	8.9%	-
Lights and Motorcycles	3337	449	0	3786	634	3500	1	4135	179	635	0	814	8735
% Lights and Motorcycles	91.0%	95.7%	0%	91.6%	95.8%	90.8%	100%	91.5%	97.3%	96.7%	0%	96.8%	92.0%
Heavy	329	20	0	349	28	355	0	383	5	22	0	27	759
% Heavy	9.0%	4.3%	0%	8.4%	4.2%	9.2%	0%	8.5%	2.7%	3.3%	0%	3.2%	8.0%

* L: Left, R: Right, T: Thru, U: U-Turn

US 36-SR 37 & Africa Rd - TMC

Thu Jul 19, 2018

AM Peak (8 AM - 9 AM)

All Classes (Lights and Motorcycles, Heavy)

All Movements

ID: 778811, Location: 40.267328, -82.944492



Provided by: Smart Services, Inc.
88 W. Church Street, Newark, OH, 43055, US

Leg Direction	US 36-SR 37 Eastbound				US 36-SR 37 Westbound				Africa Rd Northbound				
Time	T	R	U	App	L	T	U	App	L	R	U	App	Int
2018-07-19 8:00AM	224	27	0	251	31	159	1	191	9	29	0	38	480
8:15AM	236	37	0	273	36	168	0	204	12	37	0	49	526
8:30AM	212	38	0	250	77	234	0	311	5	49	0	54	615
8:45AM	200	37	0	237	104	294	0	398	2	55	0	57	692
Total	872	139	0	1011	248	855	1	1104	28	170	0	198	2313
% Approach	86.3%	13.7%	0%	-	22.5%	77.4%	0.1%	-	14.1%	85.9%	0%	-	-
% Total	37.7%	6.0%	0%	43.7%	10.7%	37.0%	0%	47.7%	1.2%	7.3%	0%	8.6%	-
PHF	0.924	0.914	-	0.926	0.596	0.727	0.250	0.693	0.583	0.773	-	0.868	0.836
Lights and Motorcycles	763	129	0	892	235	739	1	975	27	159	0	186	2053
% Lights and Motorcycles	87.5%	92.8%	0%	88.2%	94.8%	86.4%	100%	88.3%	96.4%	93.5%	0%	93.9%	88.8%
Heavy	109	10	0	119	13	116	0	129	1	11	0	12	260
% Heavy	12.5%	7.2%	0%	11.8%	5.2%	13.6%	0%	11.7%	3.6%	6.5%	0%	6.1%	11.2%

*L: Left, R: Right, T: Thru, U: U-Turn

US 36-SR 37 & Africa Rd - TMC

Thu Jul 19, 2018

PM Peak (4:30 PM - 5:30 PM) - Overall Peak Hour

All Classes (Lights and Motorcycles, Heavy)

All Movements

ID: 778811, Location: 40.267328, -82.944492



Provided by: Smart Services, Inc.
88 W. Church Street, Newark, OH, 43055, US

Leg Direction	US 36-SR 37 Eastbound				US 36-SR 37 Westbound				Africa Rd Northbound				
Time	T	R	U	App	L	T	U	App	L	R	U	App	Int
2018-07-19 4:30PM	241	20	0	261	41	256	0	297	21	52	0	73	631
4:45PM	256	24	0	280	40	299	0	339	10	41	0	51	670
5:00PM	226	29	0	255	32	328	0	360	11	52	0	63	678
5:15PM	234	24	0	258	42	339	0	381	20	33	0	53	692
Total	957	97	0	1054	155	1222	0	1377	62	178	0	240	2671
% Approach	90.8%	9.2%	0%	-	11.3%	88.7%	0%	-	25.8%	74.2%	0%	-	-
% Total	35.8%	3.6%	0%	39.5%	5.8%	45.8%	0%	51.6%	2.3%	6.7%	0%	9.0%	-
PHF	0.935	0.836	-	0.941	0.923	0.901	-	0.904	0.738	0.856	-	0.822	0.965
Lights and Motorcycles	902	94	0	996	152	1150	0	1302	60	172	0	232	2530
% Lights and Motorcycles	94.3%	96.9%	0%	94.5%	98.1%	94.1%	0%	94.6%	96.8%	96.6%	0%	96.7%	94.7%
Heavy	55	3	0	58	3	72	0	75	2	6	0	8	141
% Heavy	5.7%	3.1%	0%	5.5%	1.9%	5.9%	0%	5.4%	3.2%	3.4%	0%	3.3%	5.3%

*L: Left, R: Right, T: Thru, U: U-Turn

US 36-SR 37 & Africa Rd - TMC

Tue Sep 15, 2020

Full Length (7 AM-9 AM, 4 PM-6 PM)

All Classes (Lights and Motorcycles, Heavy)

All Movements

ID: 781000, Location: 40.267328, -82.944492



Provided by: Smart Services, Inc.
88 W. Church Street, Newark, OH, 43055, US

Leg Direction	US 36-SR 37 Eastbound				US 36-SR 37 Westbound				Africa Rd Northbound				
Time	T	R	U	App	L	T	U	App	L	R	U	App	Int
2020-09-15 7:00AM	179	8	0	187	23	189	0	212	8	15	0	23	422
7:15AM	233	6	0	239	34	187	0	221	4	22	0	26	486
7:30AM	200	6	0	206	36	198	0	234	7	30	0	37	477
7:45AM	202	8	0	210	43	187	0	230	2	29	0	31	471
Hourly Total	814	28	0	842	136	761	0	897	21	96	0	117	1856
8:00AM	187	8	0	195	29	158	0	187	4	32	0	36	418
8:15AM	182	8	0	190	29	150	0	179	2	42	0	44	413
8:30AM	161	15	0	176	36	189	0	225	6	30	0	36	437
8:45AM	144	11	0	155	34	152	0	186	1	23	0	24	365
Hourly Total	674	42	0	716	128	649	0	777	13	127	0	140	1633
4:00PM	218	10	0	228	19	250	1	270	12	29	0	41	539
4:15PM	240	12	0	252	35	257	0	292	5	22	0	27	571
4:30PM	224	9	0	233	42	272	0	314	13	30	0	43	590
4:45PM	214	14	0	228	30	274	1	305	9	38	0	47	580
Hourly Total	896	45	0	941	126	1053	2	1181	39	119	0	158	2280
5:00PM	217	11	0	228	34	250	0	284	9	34	0	43	555
5:15PM	228	7	0	235	30	257	0	287	10	35	0	45	567
5:30PM	235	9	0	244	32	271	1	304	8	34	0	42	590
5:45PM	206	12	0	218	43	194	0	237	7	34	0	41	496
Hourly Total	886	39	0	925	139	972	1	1112	34	137	0	171	2208
Total	3270	154	0	3424	529	3435	3	3967	107	479	0	586	7977
% Approach	95.5%	4.5%	0%	-	13.3%	86.6%	0.1%	-	18.3%	81.7%	0%	-	-
% Total	41.0%	1.9%	0%	42.9%	6.6%	43.1%	0%	49.7%	1.3%	6.0%	0%	7.3%	-
Lights and Motorcycles	2901	147	0	3048	492	3002	3	3497	106	448	0	554	7099
% Lights and Motorcycles	88.7%	95.5%	0%	89.0%	93.0%	87.4%	100%	88.2%	99.1%	93.5%	0%	94.5%	89.0%
Heavy	369	7	0	376	37	433	0	470	1	31	0	32	878
% Heavy	11.3%	4.5%	0%	11.0%	7.0%	12.6%	0%	11.8%	0.9%	6.5%	0%	5.5%	11.0%

* L: Left, R: Right, T: Thru, U: U-Turn

US 36-SR 37 & Africa Rd - TMC

Tue Sep 15, 2020

AM Peak (7 AM - 8 AM)

All Classes (Lights and Motorcycles, Heavy)

All Movements

ID: 781000, Location: 40.267328, -82.944492



Provided by: Smart Services, Inc.
88 W. Church Street, Newark, OH, 43055, US

Leg Direction	US 36-SR 37 Eastbound				US 36-SR 37 Westbound				Africa Rd Northbound				
Time	T	R	U	App	L	T	U	App	L	R	U	App	Int
2020-09-15 7:00AM	179	8	0	187	23	189	0	212	8	15	0	23	422
7:15AM	233	6	0	239	34	187	0	221	4	22	0	26	486
7:30AM	200	6	0	206	36	198	0	234	7	30	0	37	477
7:45AM	202	8	0	210	43	187	0	230	2	29	0	31	471
Total	814	28	0	842	136	761	0	897	21	96	0	117	1856
% Approach	96.7%	3.3%	0%	-	15.2%	84.8%	0%	-	17.9%	82.1%	0%	-	-
% Total	43.9%	1.5%	0%	45.4%	7.3%	41.0%	0%	48.3%	1.1%	5.2%	0%	6.3%	-
PHF	0.873	0.875	-	0.881	0.791	0.961	-	0.958	0.656	0.800	-	0.791	0.955
Lights and Motorcycles	725	26	0	751	125	613	0	738	21	91	0	112	1601
% Lights and Motorcycles	89.1%	92.9%	0%	89.2%	91.9%	80.6%	0%	82.3%	100%	94.8%	0%	95.7%	86.3%
Heavy	89	2	0	91	11	148	0	159	0	5	0	5	255
% Heavy	10.9%	7.1%	0%	10.8%	8.1%	19.4%	0%	17.7%	0%	5.2%	0%	4.3%	13.7%

*L: Left, R: Right, T: Thru, U: U-Turn

US 36-SR 37 & Africa Rd - TMC

Tue Sep 15, 2020

PM Peak (4:15 PM - 5:15 PM) - Overall Peak Hour

All Classes (Lights and Motorcycles, Heavy)

All Movements

ID: 781000, Location: 40.267328, -82.944492



Provided by: Smart Services, Inc.
88 W. Church Street, Newark, OH, 43055, US

Leg Direction	US 36-SR 37 Eastbound				US 36-SR 37 Westbound				Africa Rd Northbound				
Time	T	R	U	App	L	T	U	App	L	R	U	App	Int
2020-09-15 4:15PM	240	12	0	252	35	257	0	292	5	22	0	27	571
4:30PM	224	9	0	233	42	272	0	314	13	30	0	43	590
4:45PM	214	14	0	228	30	274	1	305	9	38	0	47	580
5:00PM	217	11	0	228	34	250	0	284	9	34	0	43	555
Total	895	46	0	941	141	1053	1	1195	36	124	0	160	2296
% Approach	95.1%	4.9%	0%	-	11.8%	88.1%	0.1%	-	22.5%	77.5%	0%	-	-
% Total	39.0%	2.0%	0%	41.0%	6.1%	45.9%	0%	52.0%	1.6%	5.4%	0%	7.0%	-
PHF	0.932	0.821	-	0.934	0.839	0.961	0.250	0.951	0.692	0.816	-	0.851	0.973
Lights and Motorcycles	812	44	0	856	136	980	1	1117	36	117	0	153	2126
% Lights and Motorcycles	90.7%	95.7%	0%	91.0%	96.5%	93.1%	100%	93.5%	100%	94.4%	0%	95.6%	92.6%
Heavy	83	2	0	85	5	73	0	78	0	7	0	7	170
% Heavy	9.3%	4.3%	0%	9.0%	3.5%	6.9%	0%	6.5%	0%	5.6%	0%	4.4%	7.4%

*L: Left, R: Right, T: Thru, U: U-Turn



88 W. Church Street
 Newark, OH 43055
 (740) 345-4700

www.smartservices-inc.com

Ravines at Meadow Ridge Distribution Calculations based upon Fourwinds Development

GATEWAY LOCAITON	AM PEAK				PM PEAK			
	TRIPS	%	IN	OUT	TRIPS	%	IN	OUT
To I-71 north of US 36/SR 37	29	10.0%			15	8.2%		
To I-71 south of US 36/SR 37	128	44.1%		290	24	13.0%		184
To US 36/SR 37 east of I-71	52	17.9%			35	19.0%		
To US 36/SR 37 west of N 3Bs & K	81	27.9%			110	59.8%		
From I-71 north of US 36/SR 37	8	7.9%			47	15.2%		
From I-71 south of US 36/SR 37	5	5.0%	101		74	23.9%	310	
From US 36/SR 37 east of I-71	15	14.9%			65	21.0%		
From US 36/SR 37 west of N 3Bs & K	73	72.3%			124	40.0%		
			101	290			310	184

A=B+C or B+C=A
A = 2038 Total Traffic Volume
B = 2038 Background Traffic Volume
C = Site Primary Trips



SCALE: N.T.S.



Small Firm Client Experience, Big Firm Capabilities

941 Chatham Lane, Suite 319
Columbus, Ohio, 43221 / (614) 459-7930

PROJECT NO.	CIMINEL - 16129	FIGURE	5
PROJECT:	BROOKDOC INVESTMENTS FOURWINDS DR @ US-36/SR-37		
TITLE:	2038 FULL BUILD TRAFFIC VOLUMES AM PEAK	D.B.	SA
		C.B.	DRC
		REV.	

A=B+C or B+C=A
A = 2038 Total Traffic Volume
B = 2038 Background Traffic Volume
C = Site Primary Trips



SCALE: N.T.S.

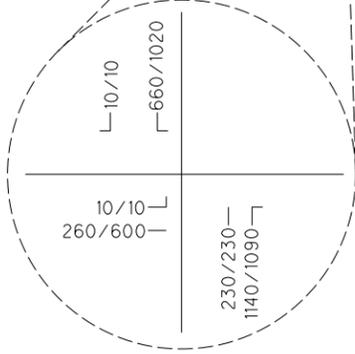
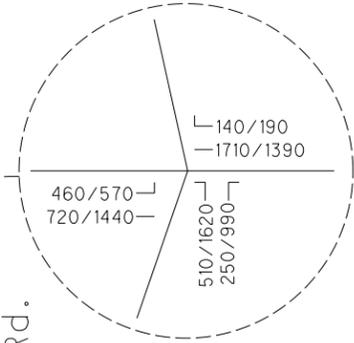
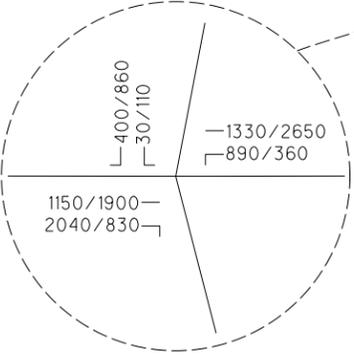
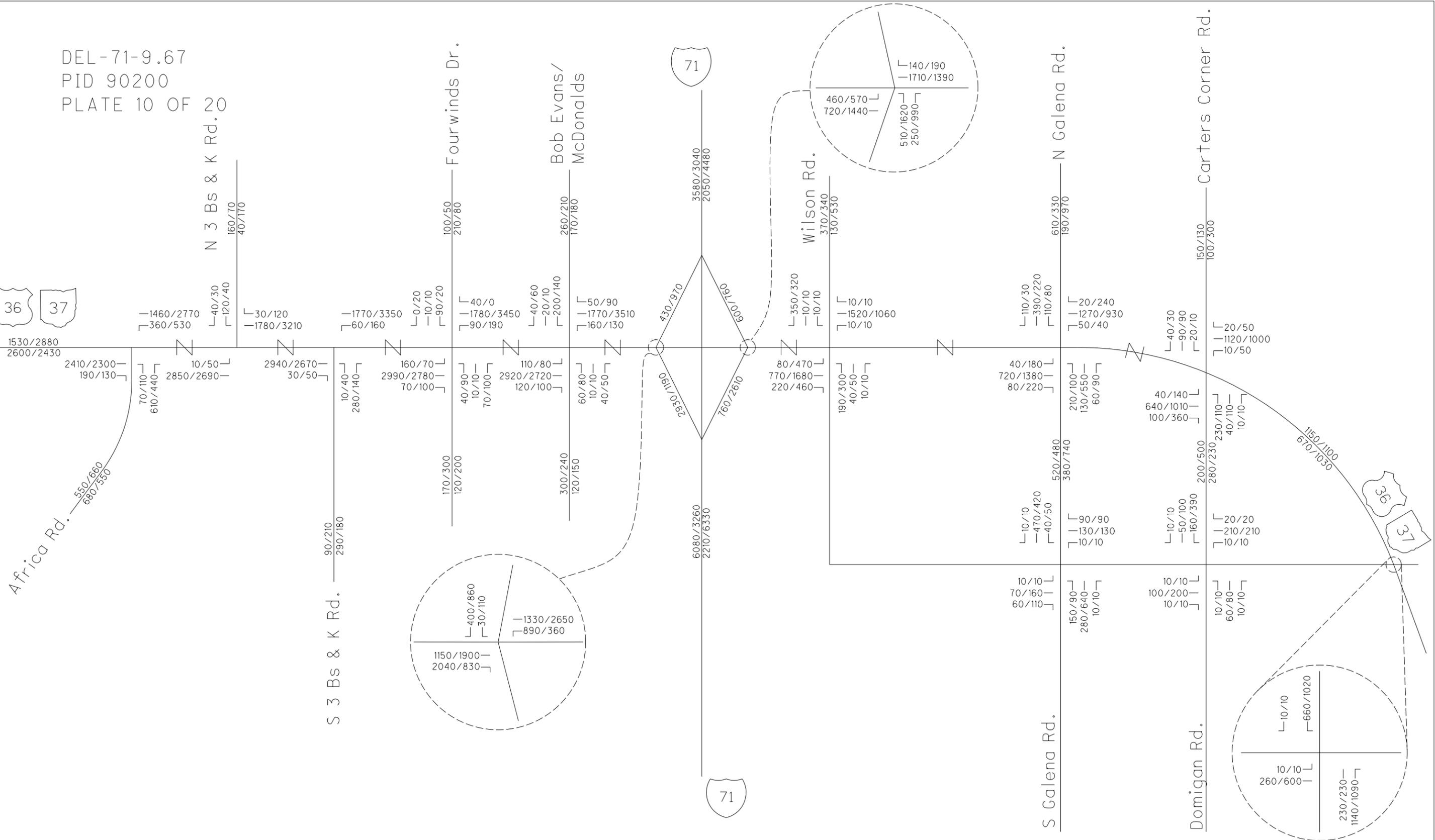


Small Firm Client Experience, Big Firm Capabilities

941 Chatham Lane, Suite 319
Columbus, Ohio, 43221 / (614) 459-7930

PROJECT NO.	CIMINEL - 16129	FIGURE 6
PROJECT:	BROOKDOC INVESTMENTS FOURWINDS DR @ US-36/SR-37	
TITLE:	2038 FULL BUILD TRAFFIC VOLUMES PM PEAK	D.B. <u>SA</u> C.B. <u>DRC</u> REV. _____

DEL-71-9.67
 PID 90200
 PLATE 10 OF 20



DEL-71-9.67 PID NO. 90200	
NO BUILD 2038 AM PEAK/PM PEAK	
OHIO DEPARTMENT OF TRANSPORTATION	
OFFICE OF STATEWIDE PLANNING & RESEARCH	
NOVEMBER 30, 2016	NOT TO SCALE

