

# Volume III

## Public Scoping and EAF



**Town of Aurelius**  
Cayuga County, New York

**March 2006**



Engineers • Environmental Scientists • Planners • Landscape Designers

**Town of Aurelius**

**The Town of Aurelius  
Community Comprehensive Plan  
Volume III**

**March 2006**



*Engineers • Environmental Scientists • Planners • Landscape Designers*

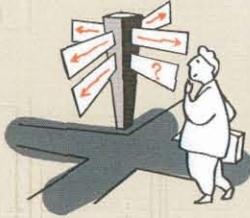
**290 Elwood Davis Road  
Box 3107  
Syracuse, New York 13220**

## Sectional Contents of Volume III

<u>Section</u>	<u>Item</u>
Cover	Environmental Assessment Form
Appendix A	Commercial Design Preference Survey
Appendix B	Comprehensive Plan Community Wide Survey
Appendix C	Meeting Minutes

What is your preference ??

Where do we go from here ??



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Restaurants



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Restaurants



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Photo A



What do you prefer ?

Results

- (1) Preferred Photo A
- (25) Preferred Photo B
- (5) Had no opinion

Photo B



Restaurants




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Photo A

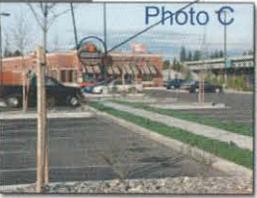


What do you prefer ?

Results

- (3) Preferred Photo A
- (23) Preferred Photo C
- (7) Had no opinion

Photo C



Restaurants




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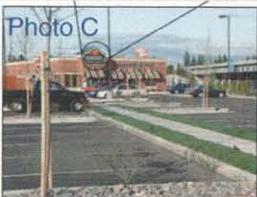
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Photo C



What do you prefer ?

Results

- (6) Preferred Photo C
- (24) Preferred Photo D
- (3) Had no opinion

Photo D



Restaurants




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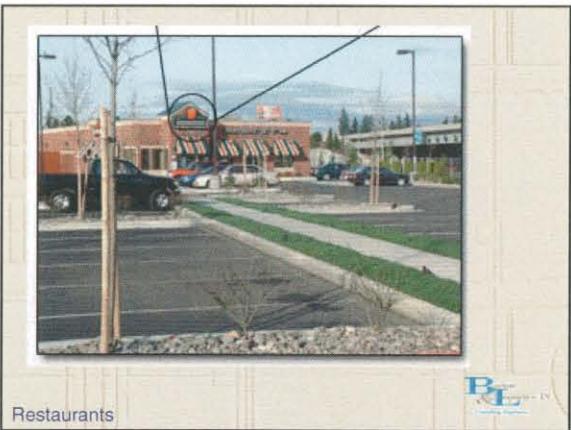
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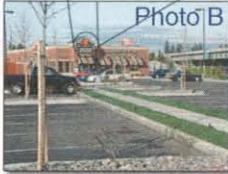
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Photo A



Photo B



What do you prefer ?

Results

- (23) Preferred Photo A
- (6) Preferred Photo B
- (4) Had no opinion

Restaurants



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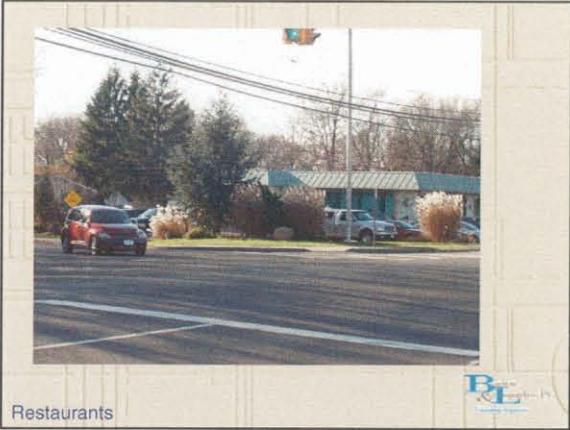
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Restaurants



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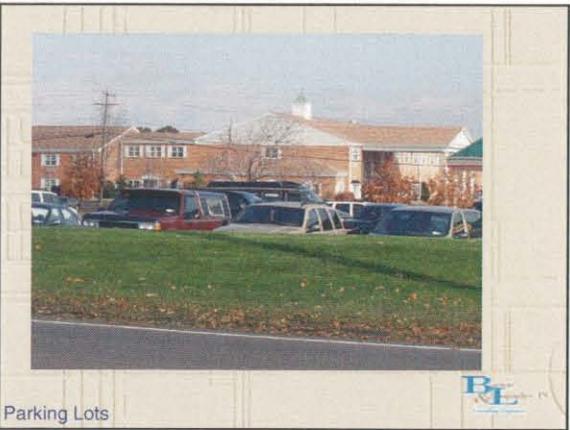
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Parking Lots



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Parking Lots



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Photo A



Photo B



What do you prefer ?

Results

- (19) Preferred Photo A
- (9) Preferred Photo B
- (5) Had no opinion

Parking Lots




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Commercial Entrances




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Commercial Entrances




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**Photo A**



**What do you prefer ?**

Results

- (0) Preferred Photo A
- (30) Preferred Photo B
- (3) Had no opinion

**Photo B**



Commercial Entrances




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**Photo B**



**What do you prefer ?**

Results

- (18) Preferred Photo B
- (11) Preferred Photo C
- (1) Had no opinion
- (3) Liked Both Entrances

**Photo C**



Commercial Entrances




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**Photo A**



**What do you prefer ?**

Results

- (11) Preferred Photo A
- (18) Preferred Photo B
- (4) Had no opinion

**Photo B**



Parking Buffer




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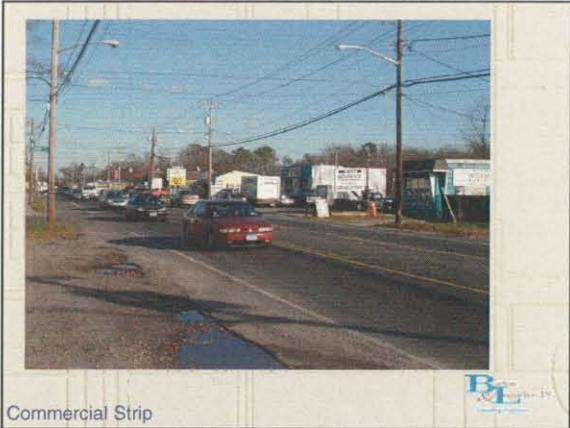
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Commercial Strip



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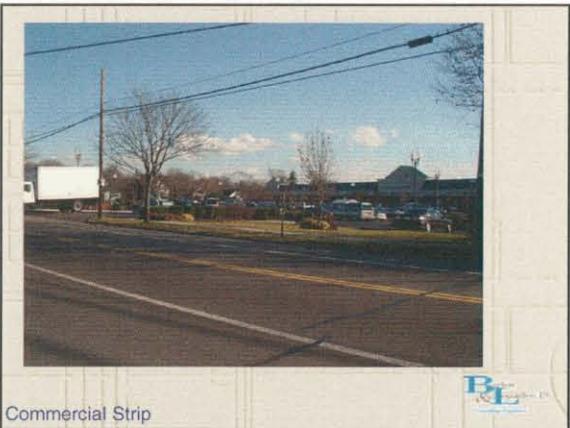
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Commercial Strip



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Photo A

What do you prefer ?

Results

(0) Preferred Photo A

(30) Preferred Photo B

(3) Had no opinion

Photo B

Commercial Strip



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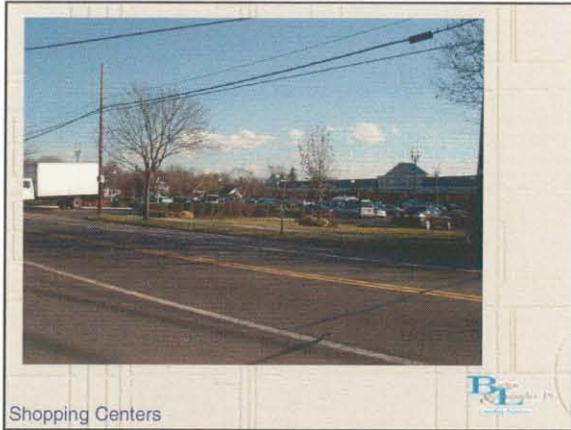
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Photo A

What do you prefer ?

Results

- (25) Preferred Photo A
- (4) Preferred Photo B
- (2) Had no opinion
- (2) Liked both pictures

Photo B

Shopping Centers

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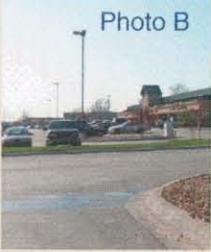
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Photo A      What do you prefer ?

Results

- (3) Preferred Photo A
- (28) Preferred Photo B
- (11) Had no opinion

Mall Parking




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Photo A      What do you prefer ?




Results

- (15) Preferred Photo A
- (17) Preferred Photo C
- (1) Had no opinion

Mall Parking




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What do you prefer ?




Results

- (23) Preferred Photo C
- (8) Preferred Photo B
- (2) Had no opinion

Mall Parking




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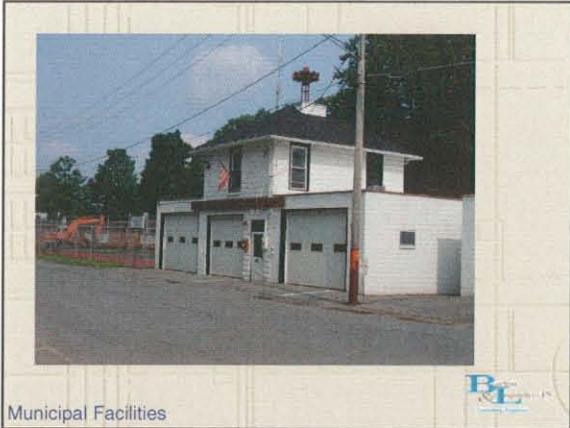
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Municipal Facilities



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Municipal Facilities



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Photo A

What do you prefer ?

Results

- (33) Preferred Photo A
- (0) Preferred Photo B
- (0) Had no opinion

Photo B

Municipal Facilities

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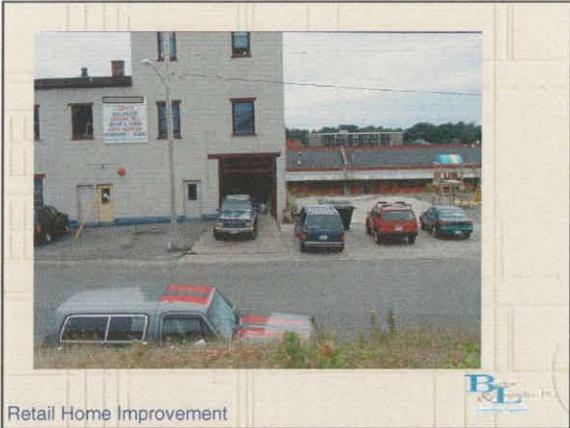
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Retail Home Improvement



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Retail Home Improvement



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Retail Home Improvement



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**Photo A** What do you prefer ?



Results

- (0) Preferred Photo A
- (32) Preferred Photo B
- (1) Had no opinion

**Photo B**



Retail Home Improvement




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Signs




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Signs




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What do you prefer ?

- Results
- (28) Preferred Photo A
  - (3) Preferred Photo B
  - (2) Had no opinion



Signs



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Photo A

What do you prefer ?



- Results
- (16) Preferred Photo A
  - (13) Preferred Photo C
  - (2) Had no opinion
  - (2) Preferred either sign

Signs



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End Survey



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# *Town of Aurelius*

## *Community Survey Results*

*Comprehensive Plan Update*

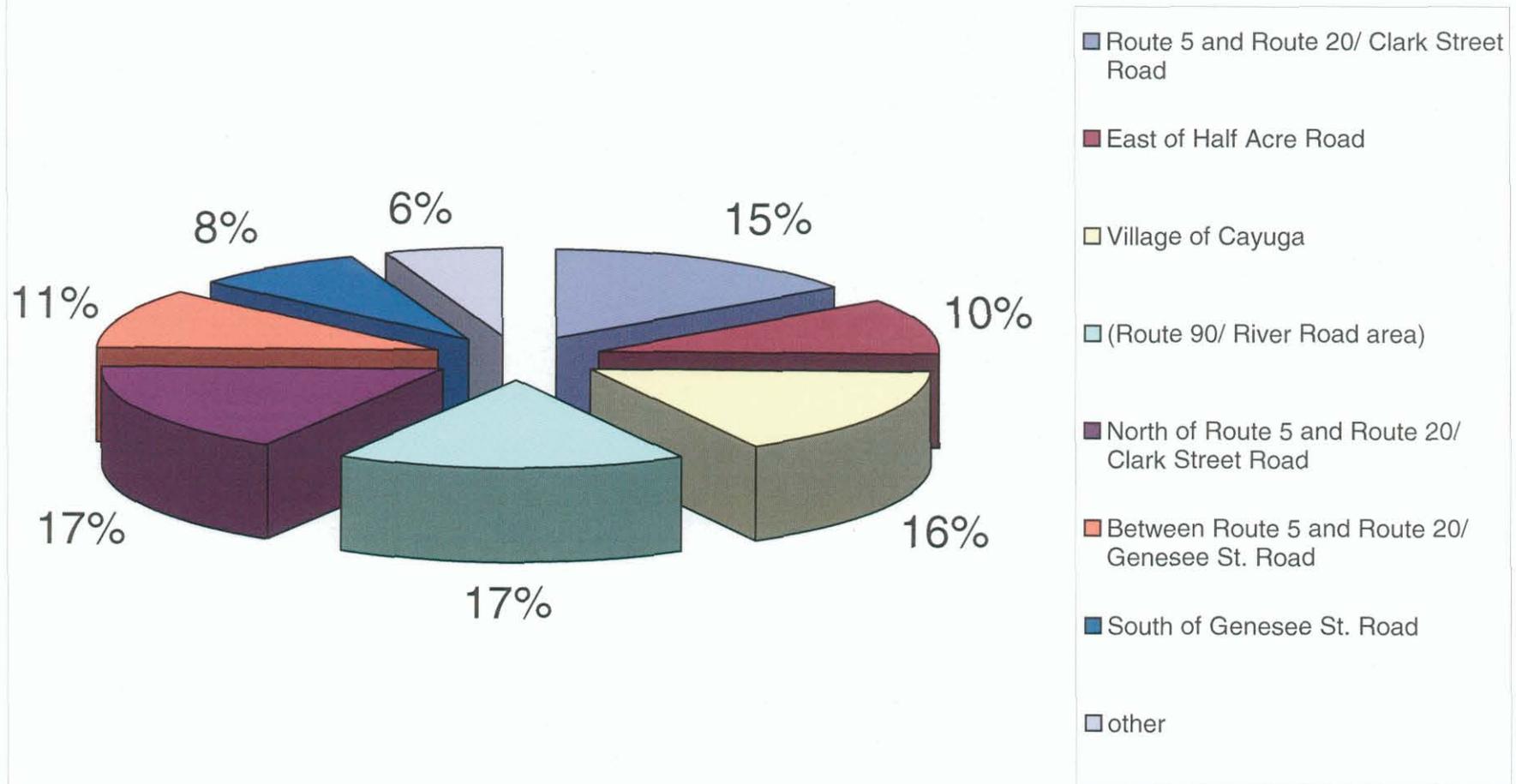
*Prepared for*  
*Comprehensive Plan Ad-Hoc Committee*



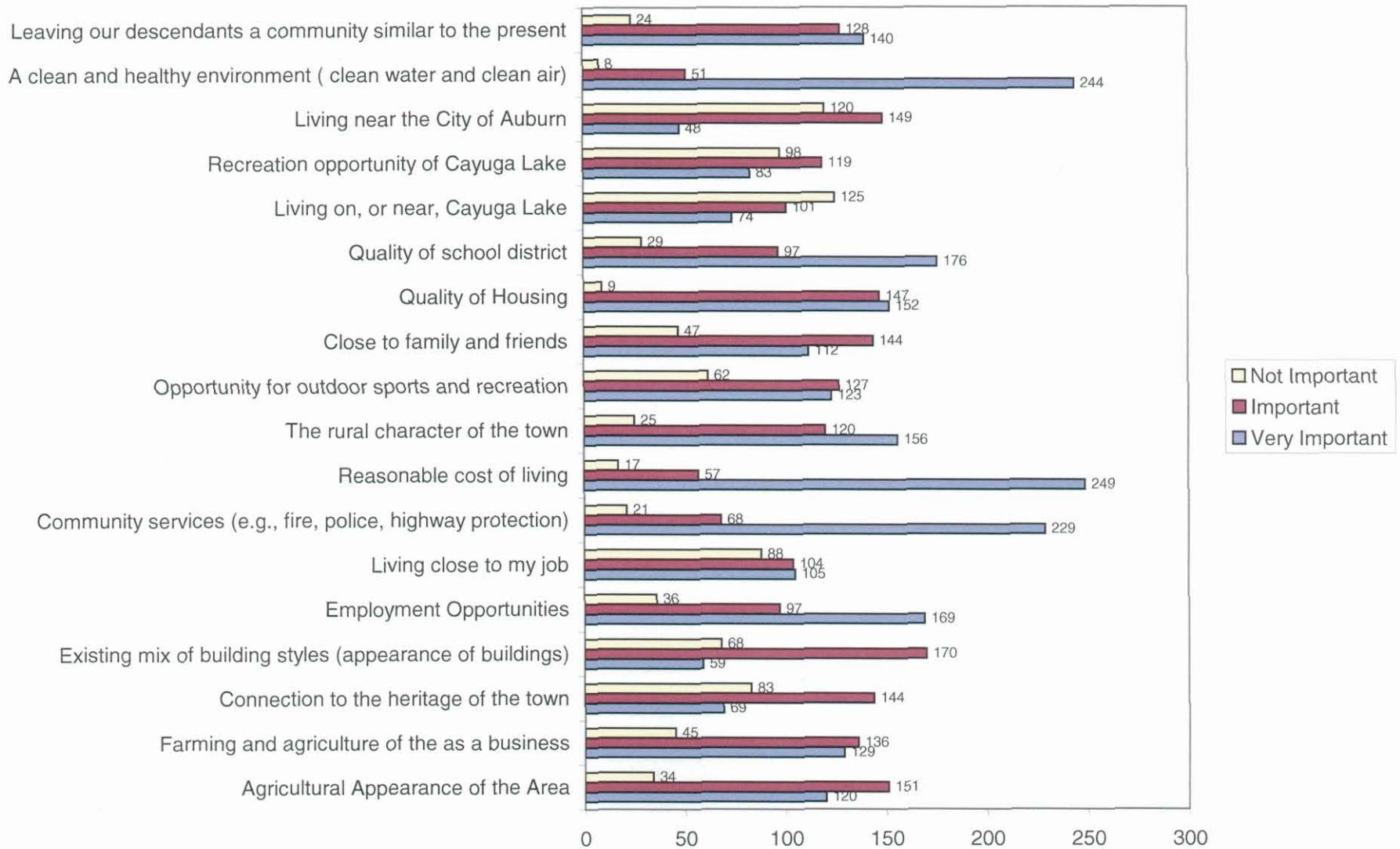
*Engineers • Environmental Scientists • Planners • Landscape Designers*

*July 12, 2005*

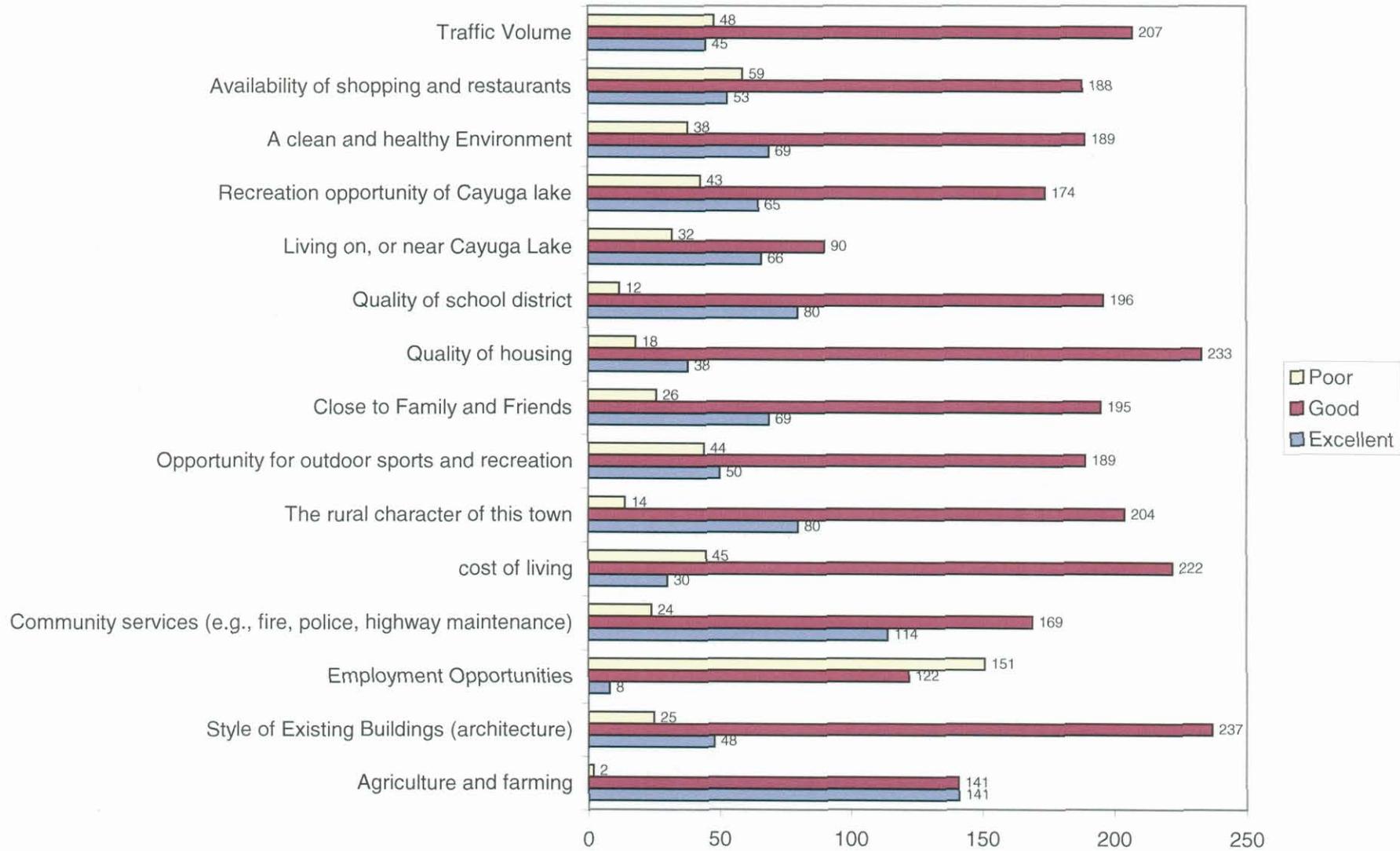
1) Which of the following best describes the part of town that you live in?



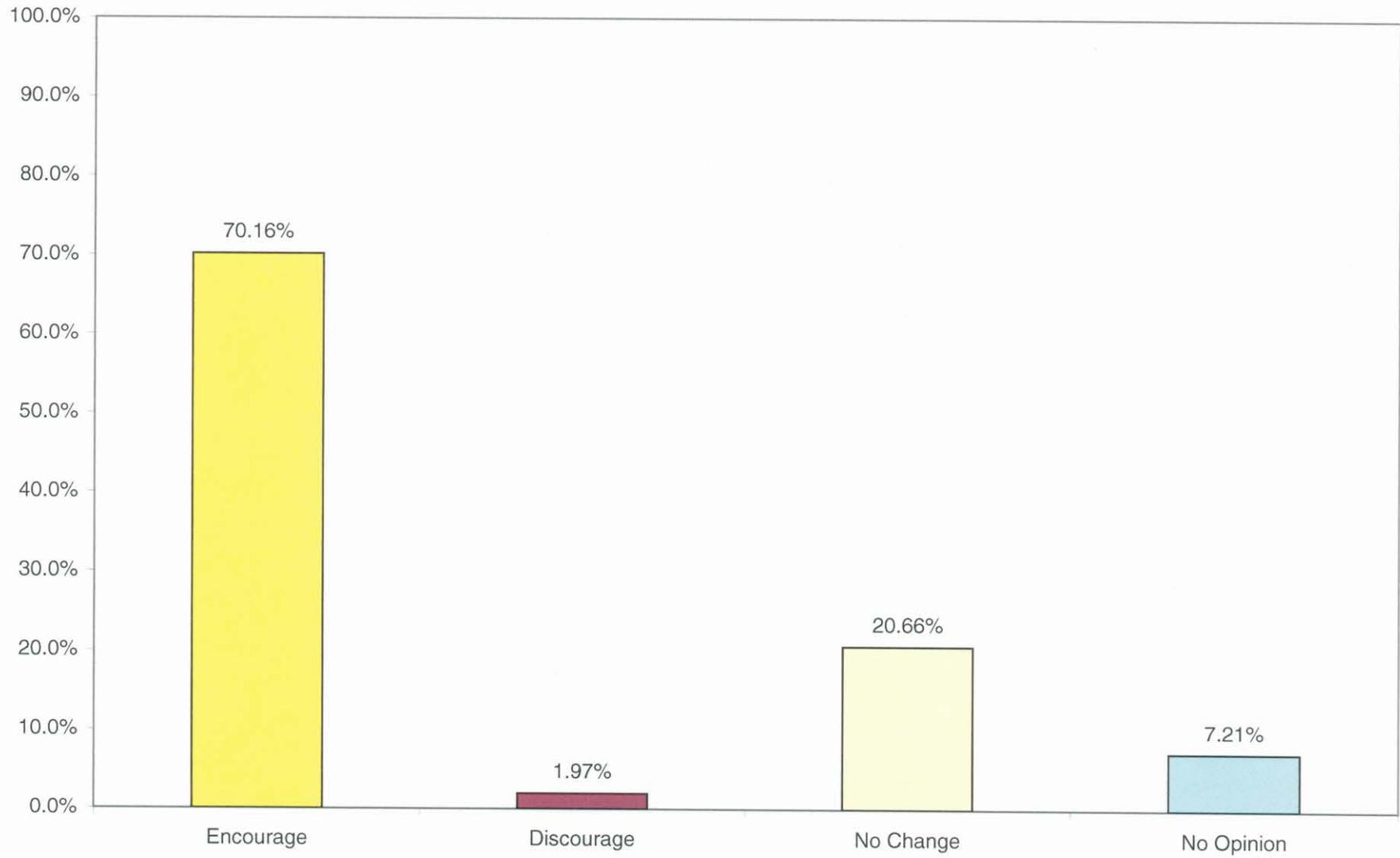
**2) Please Rate the following items in their importance to you:**



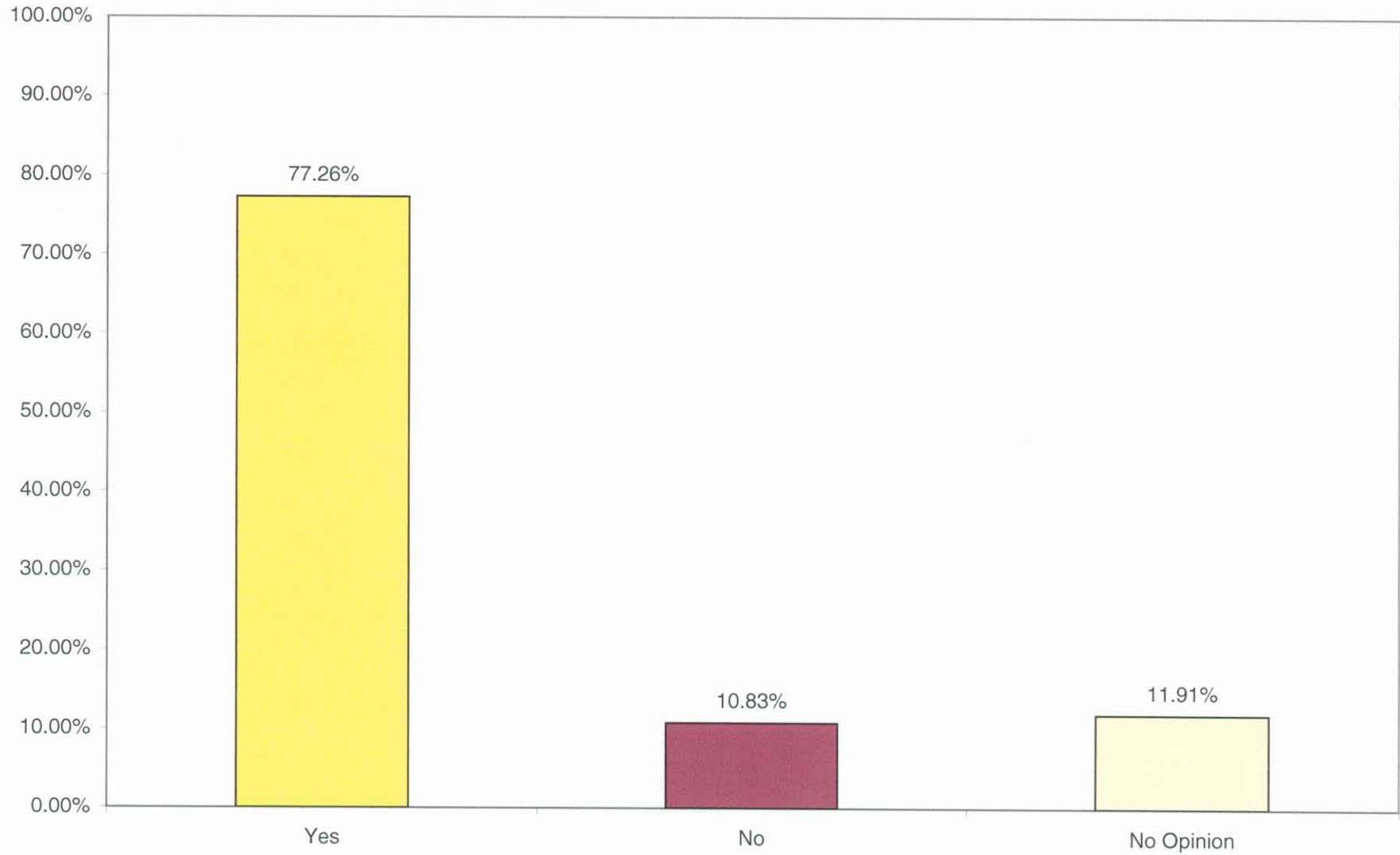
### 3) Please Rate Aurelius in the following areas:



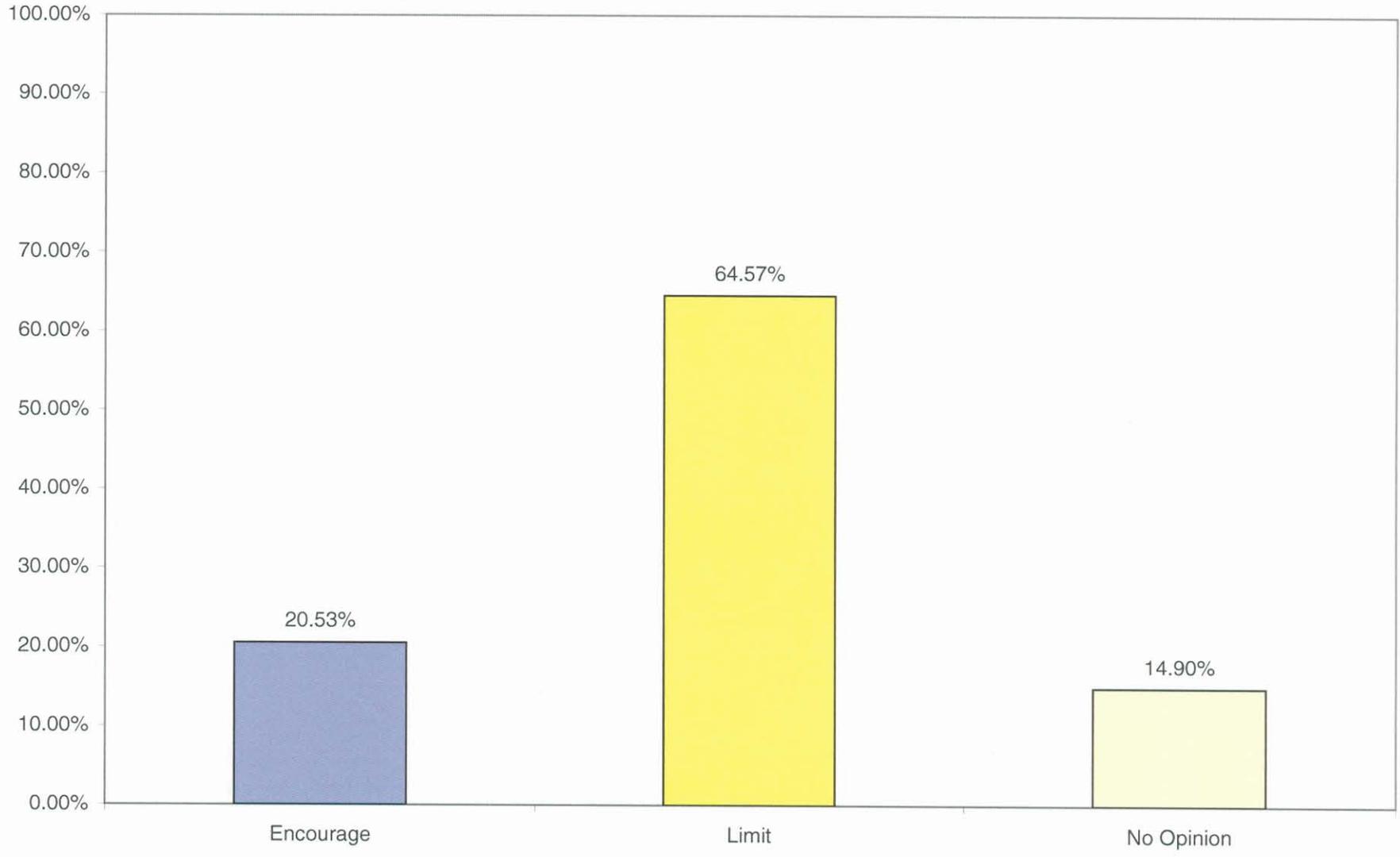
#### 4) Should the Town encourage the continuation of farming in the town?



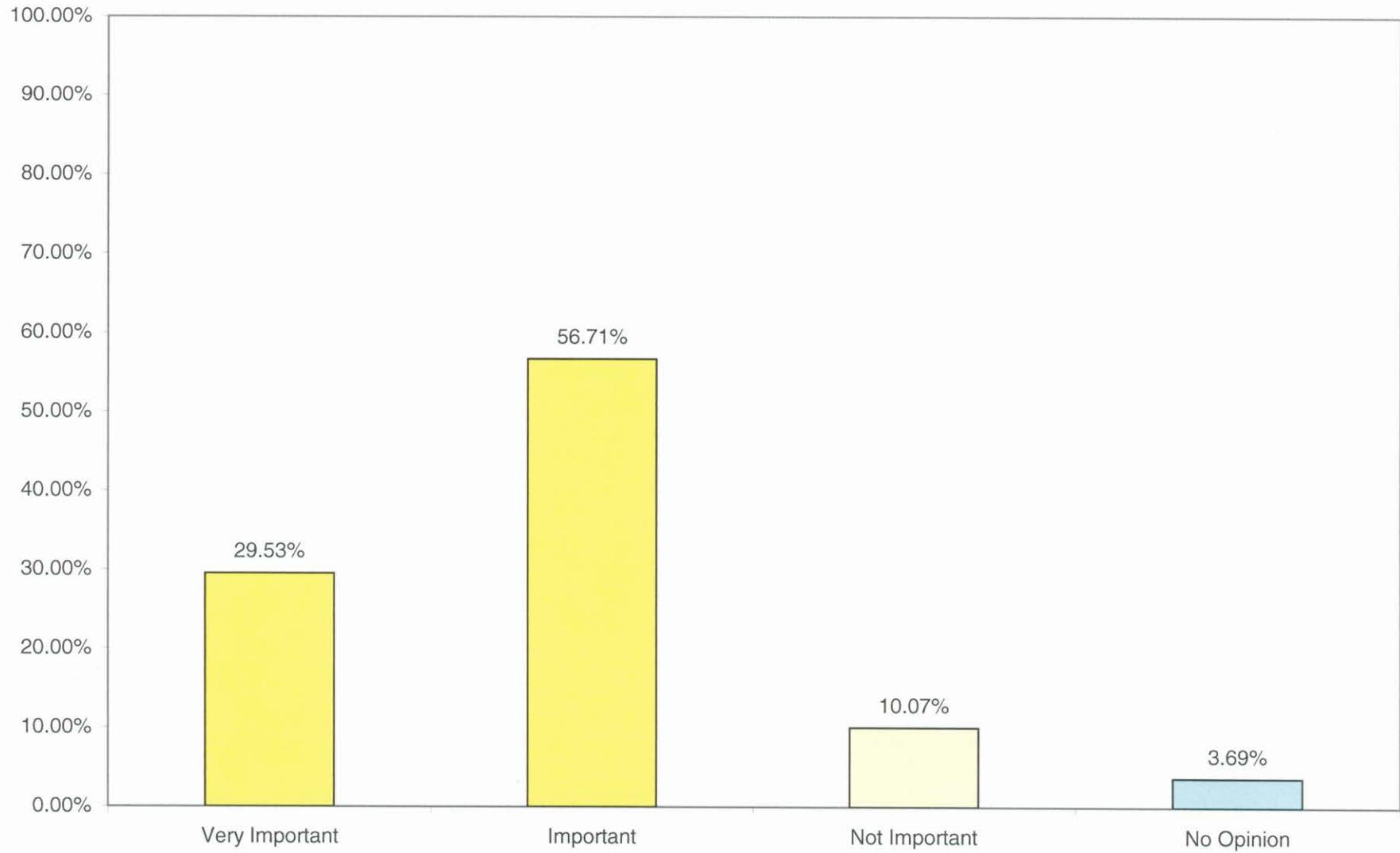
5) Is it important to maintain the rural character of the town?



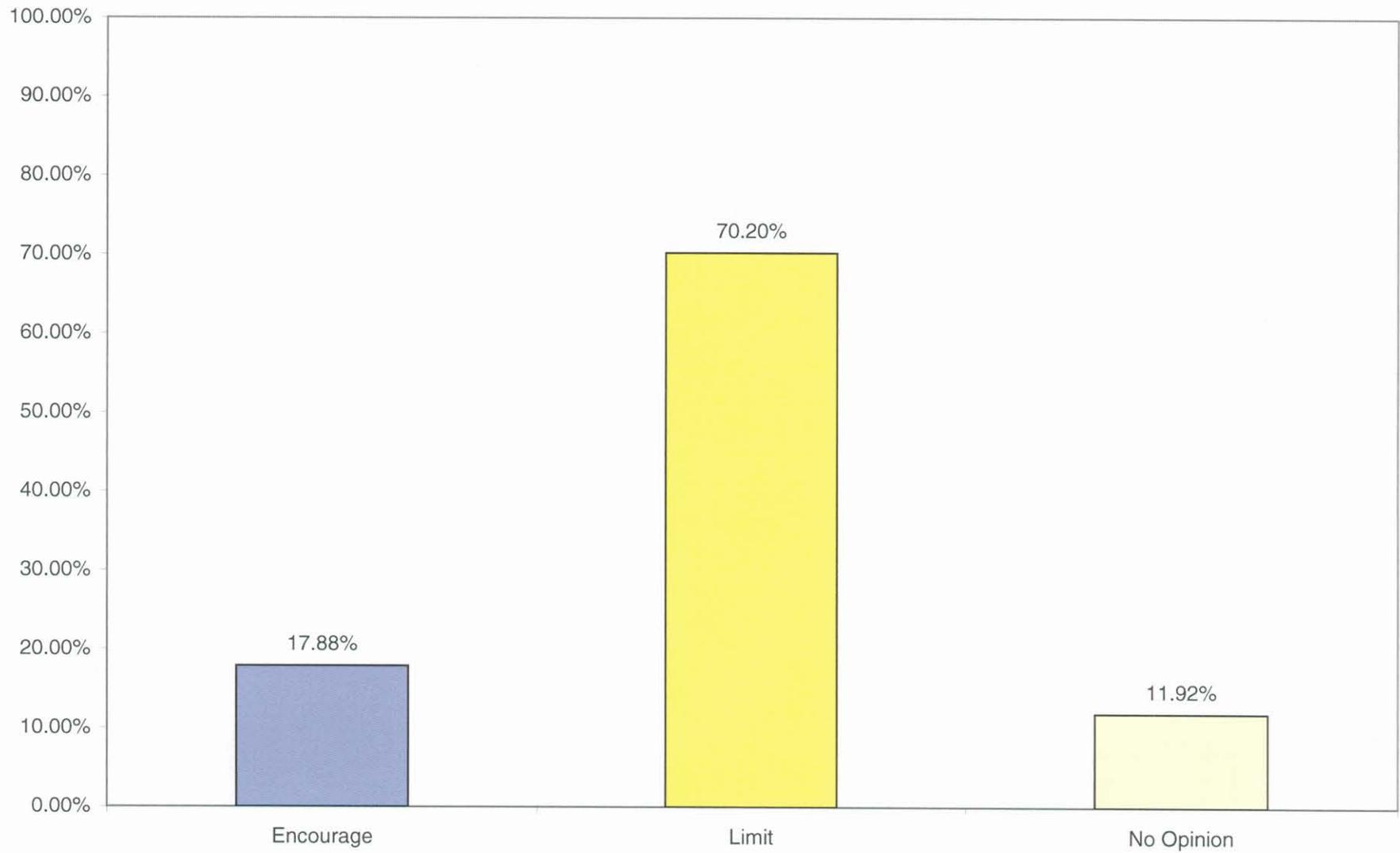
6) Should the Town encourage or limit the conversion of farm land to residential use?



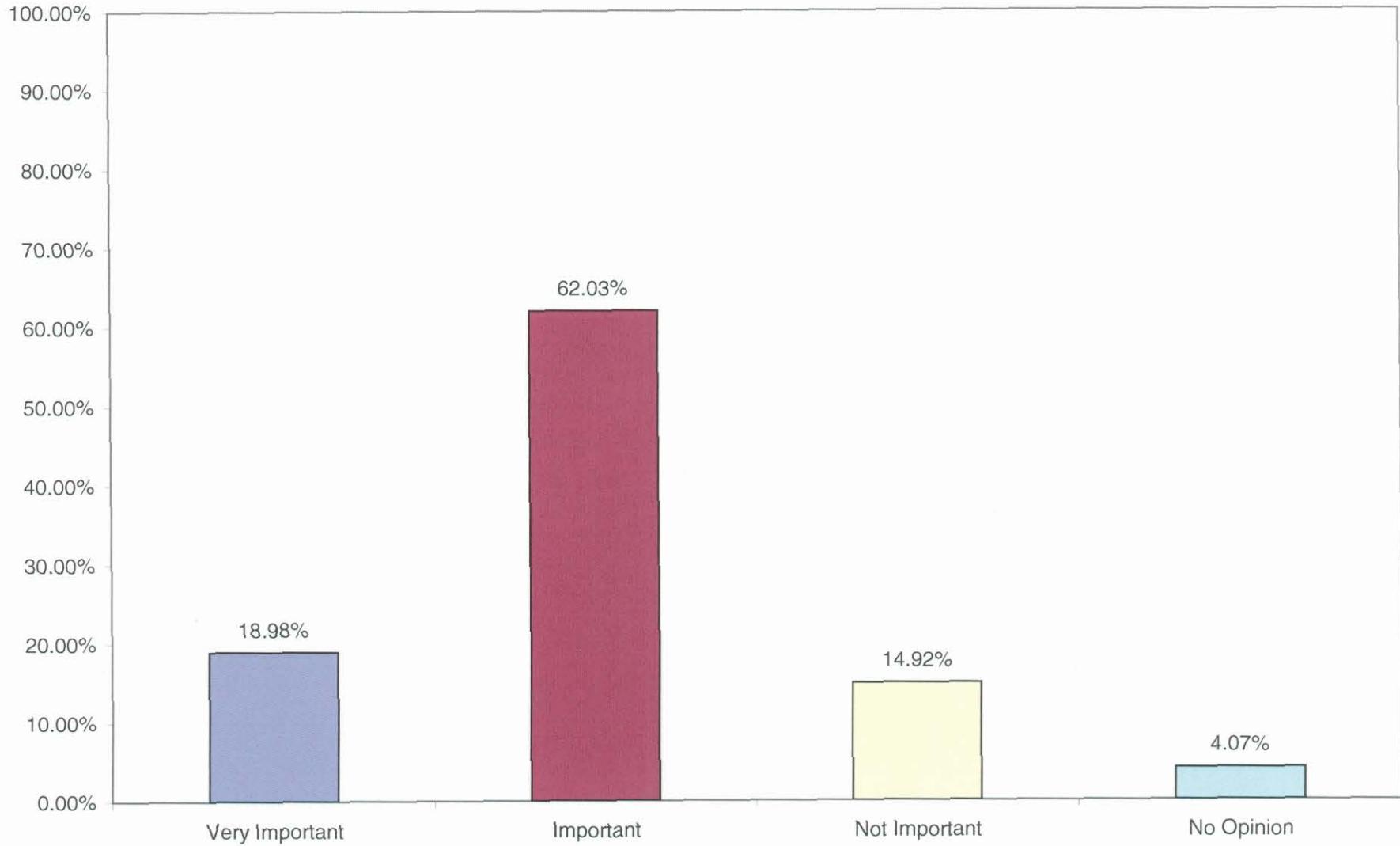
8) Is it important for the town/village to have affordable housing?



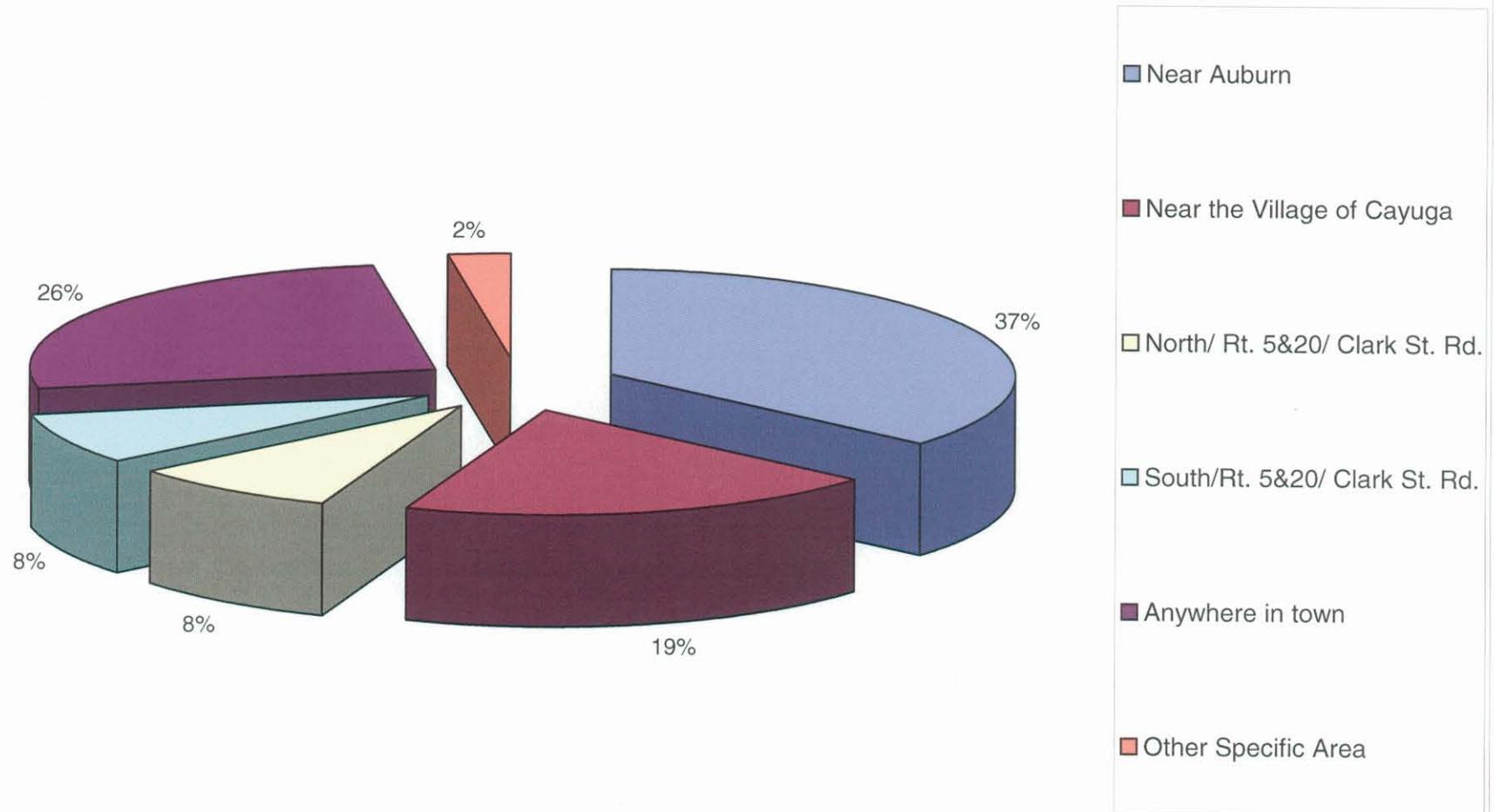
7) Should the Town encourage or limit the conversion of farm land to retail or industrial use?



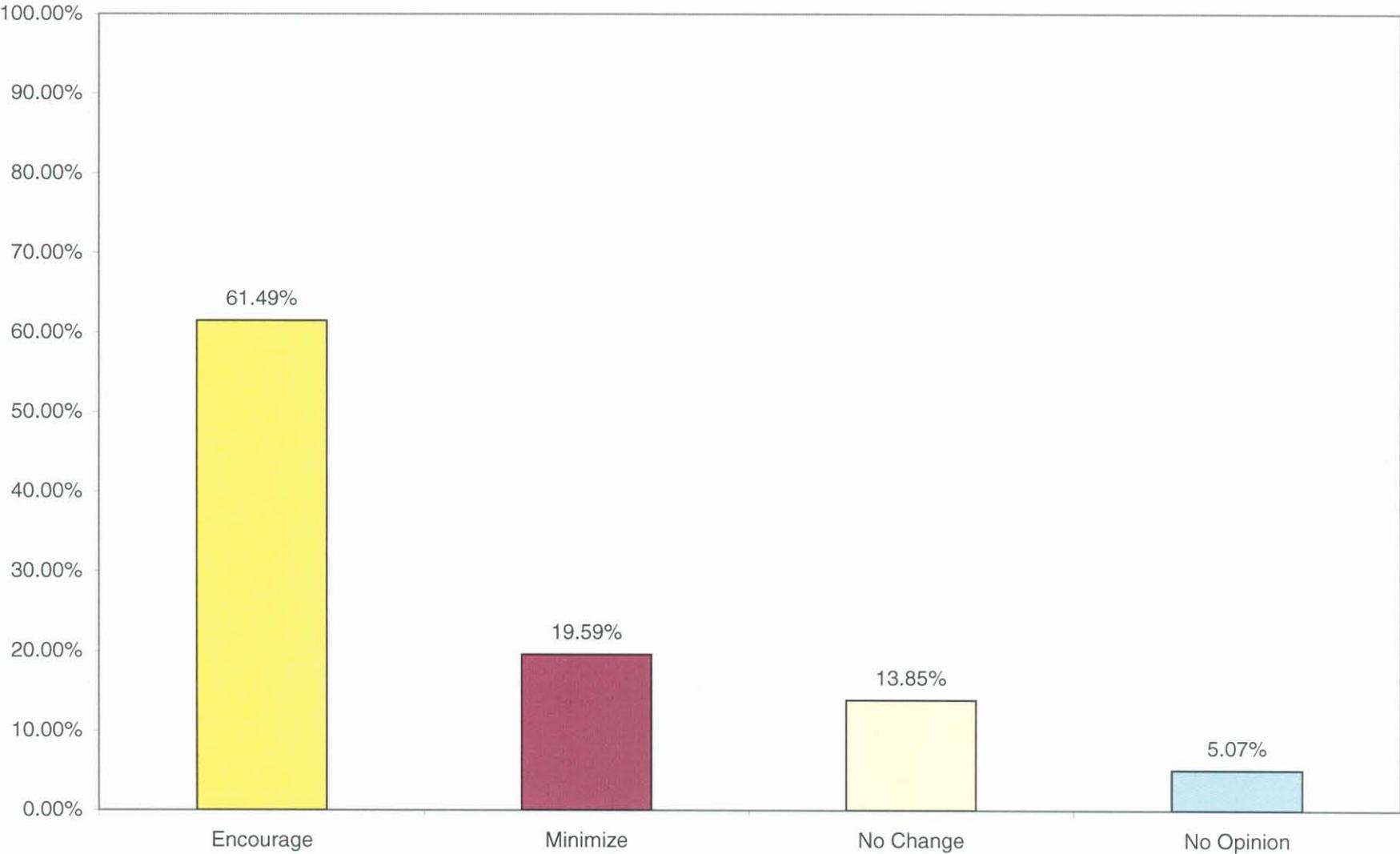
9) How important is future residential development in the town?



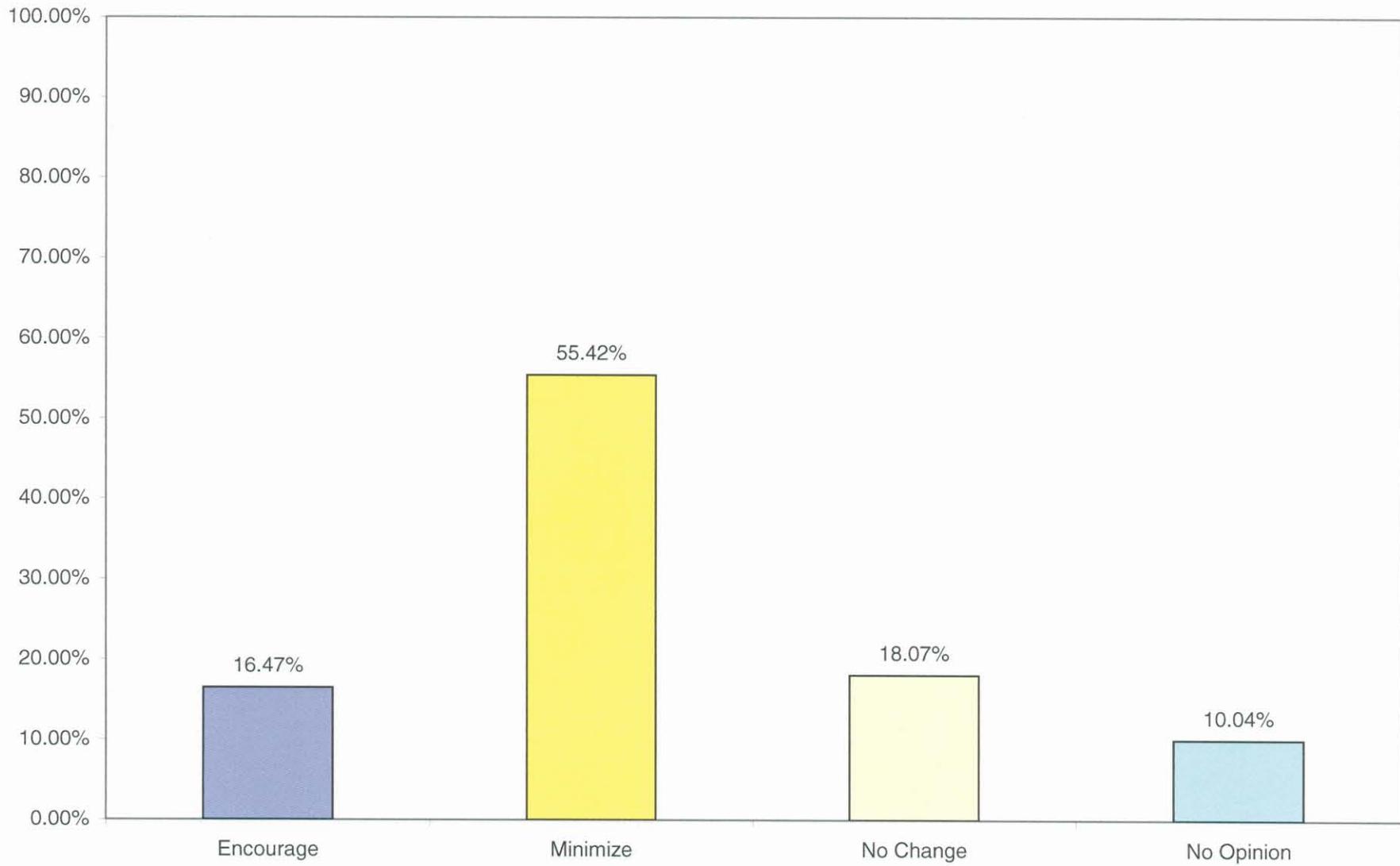
### 10) Where should residential development take place in Town?



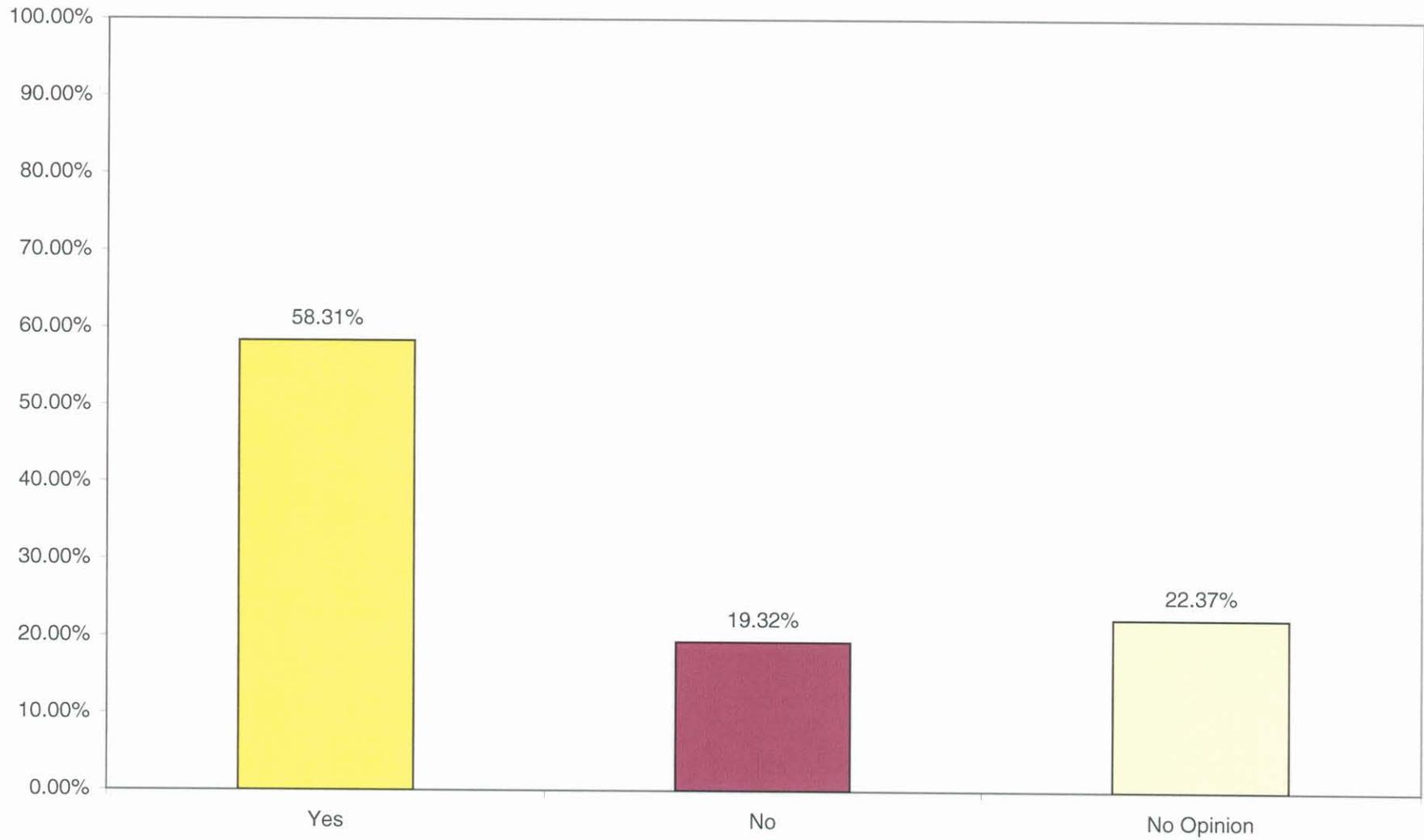
11) Should the Town encourage or minimize further single family residential development?



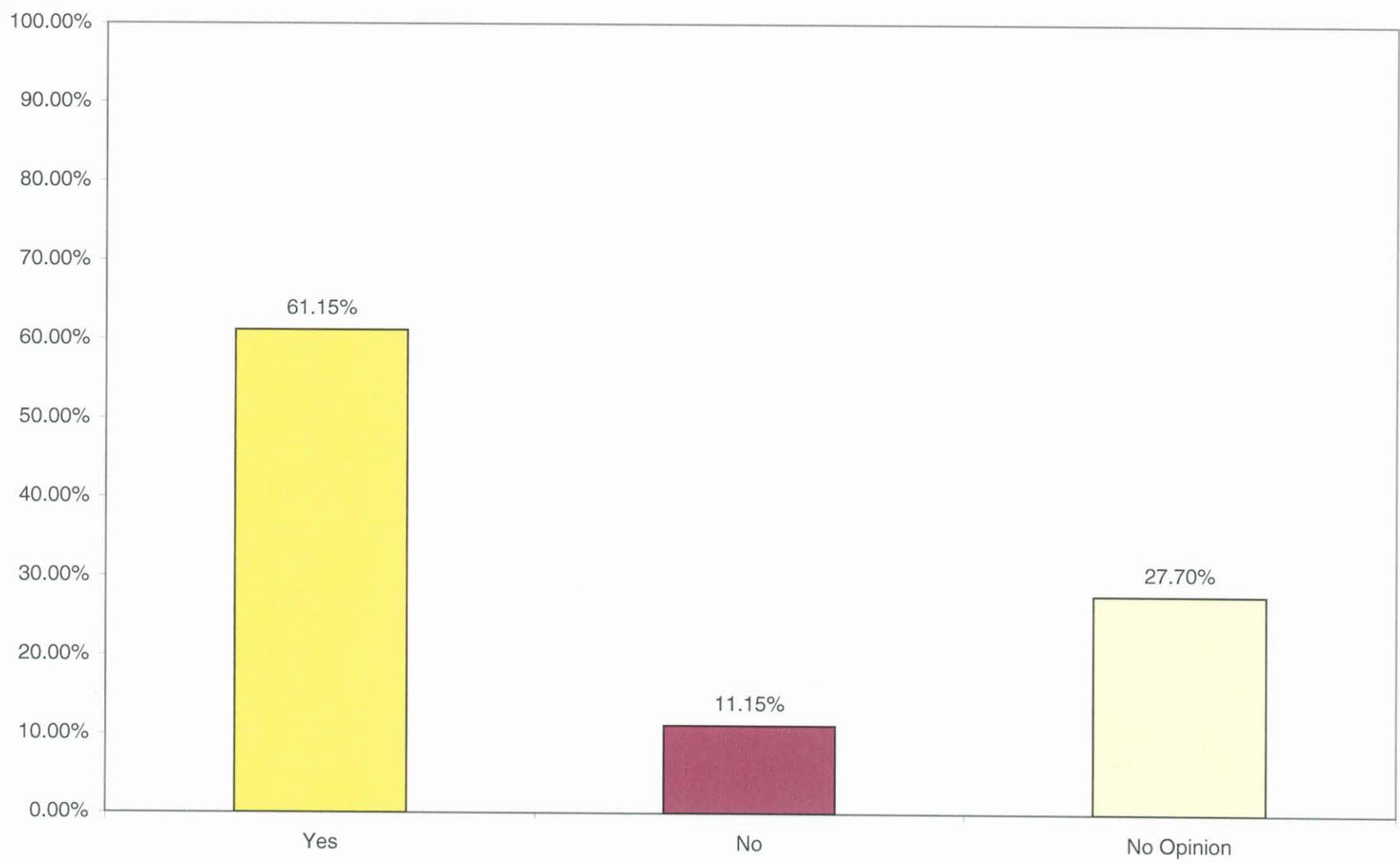
12) Should the Town encourage or minimize apartments or rental unit development?



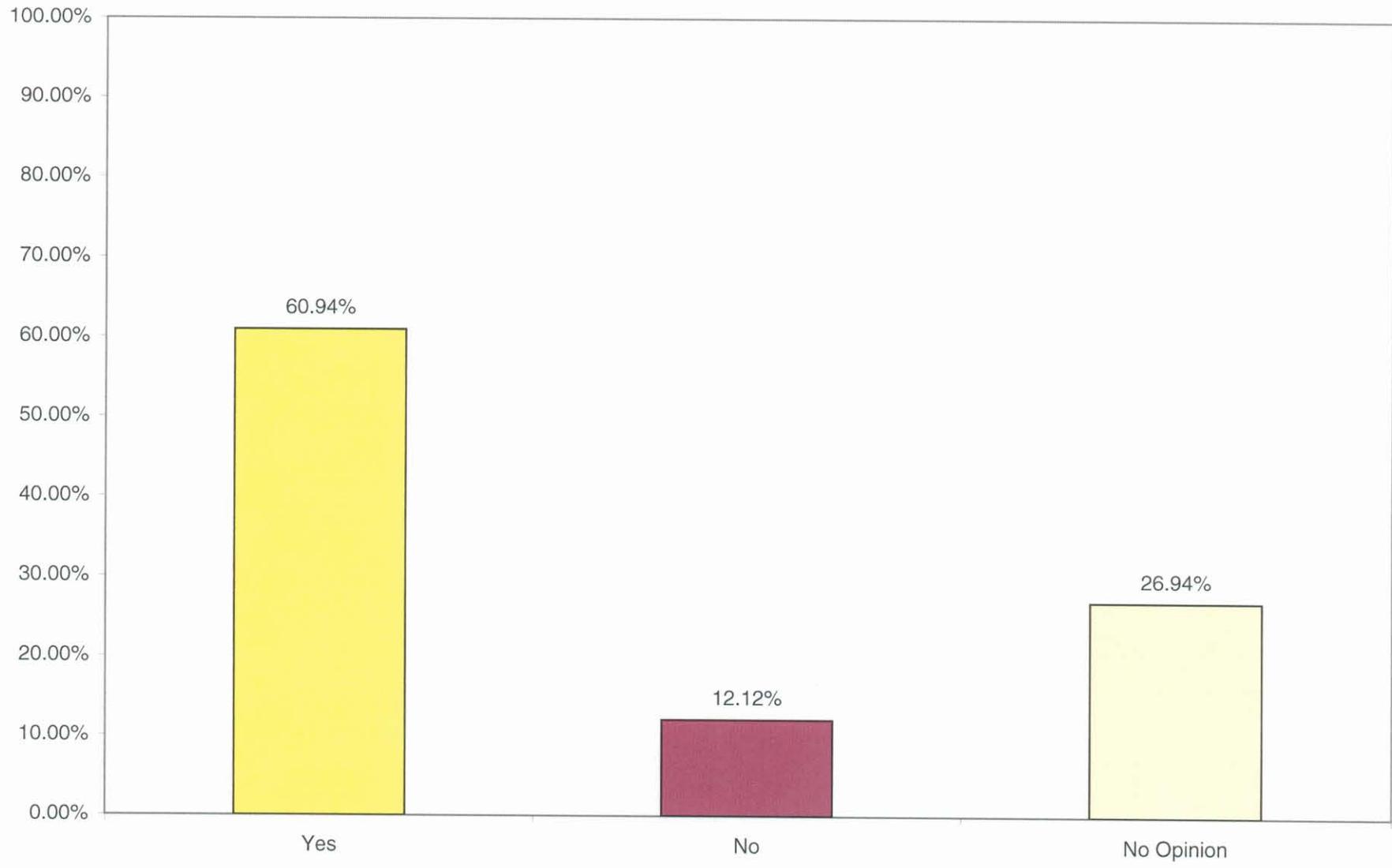
**13) Should the Town concentrate residential development in areas that are already developed?**



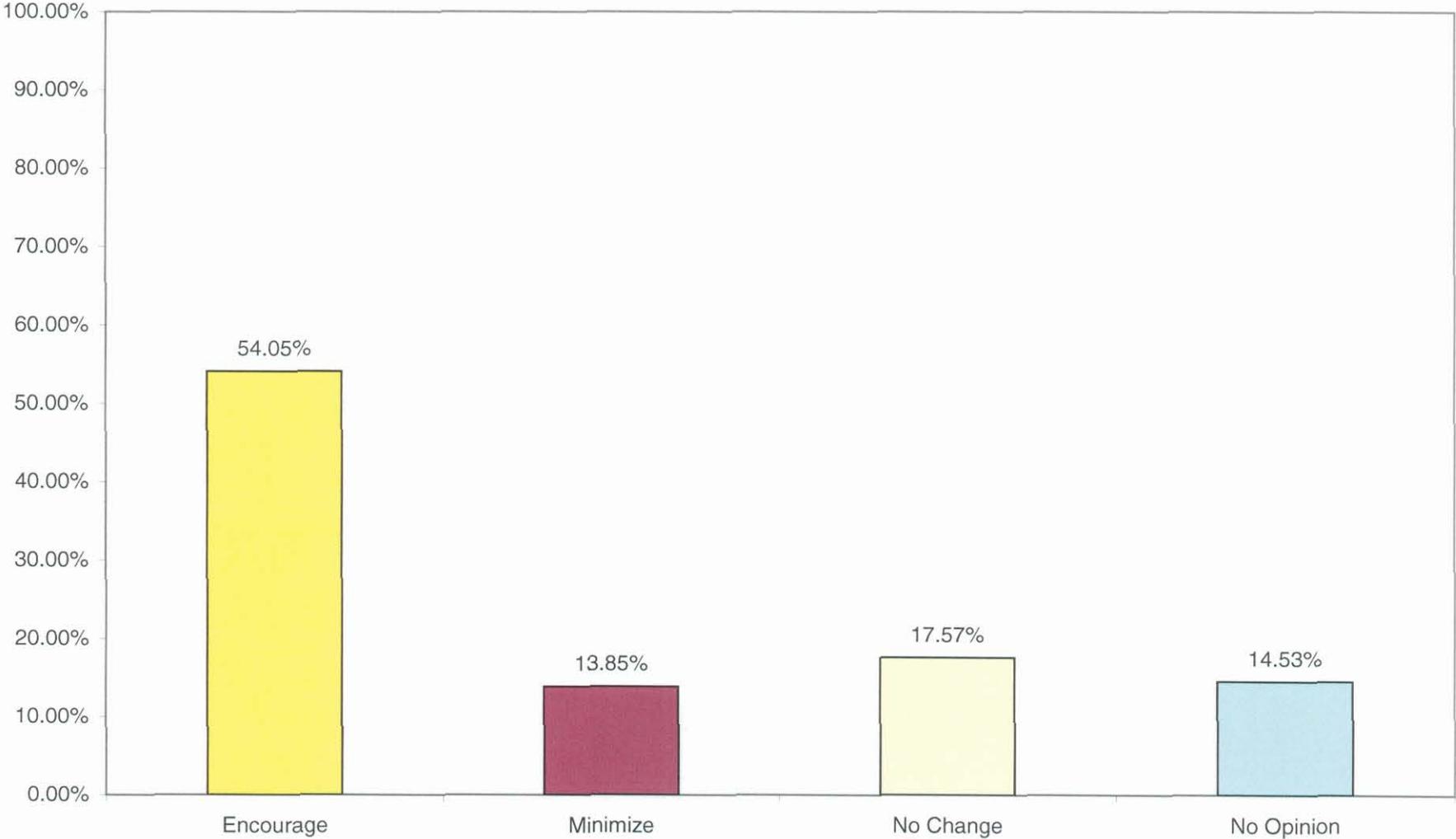
14) Should there be more housing opportunities for senior citizens?



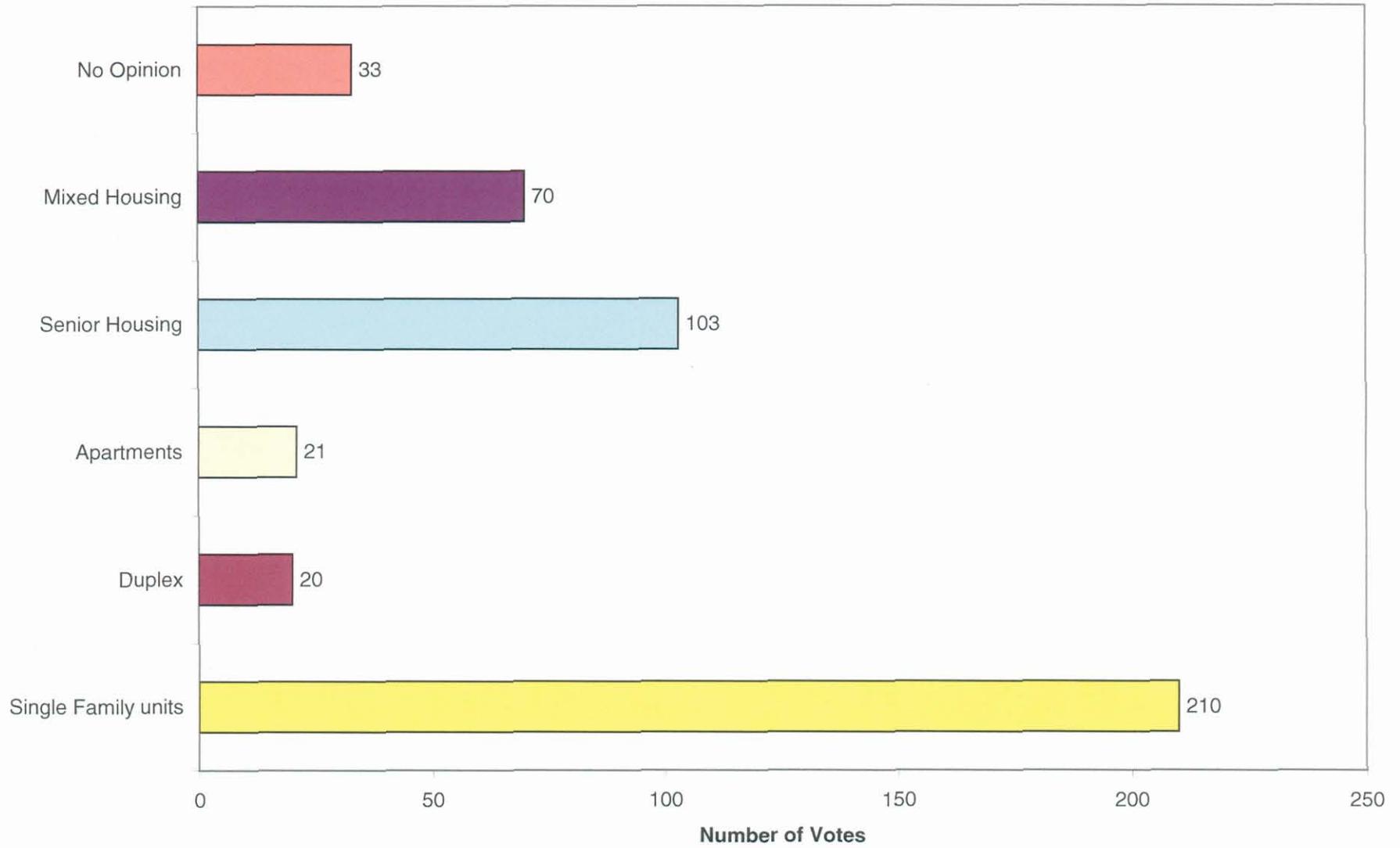
15) Should there be more housing opportunities for first time home buyers?



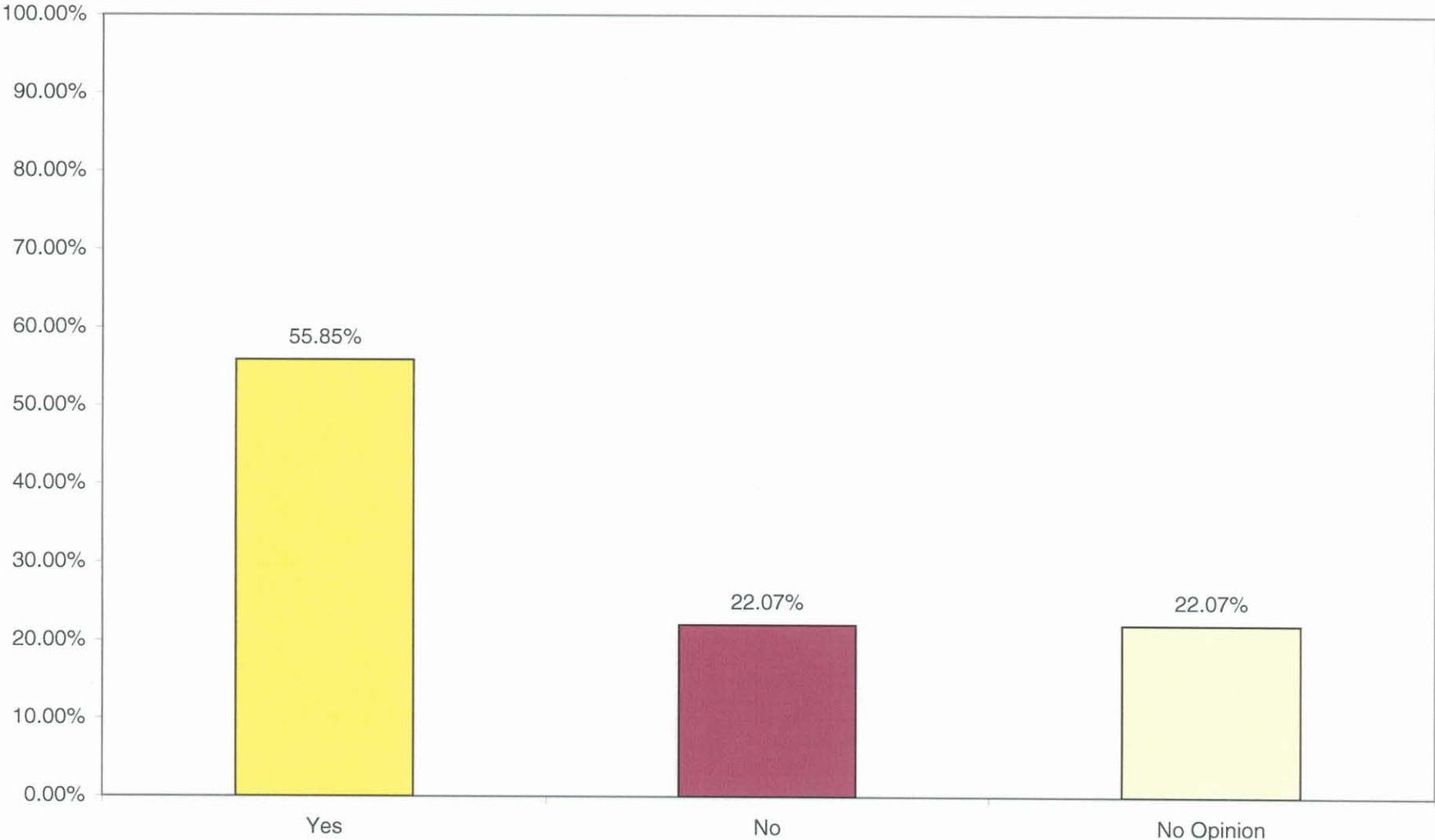
**16) Should the Town encourage or minimize housing opportunities for seniors and first time home buyers?**



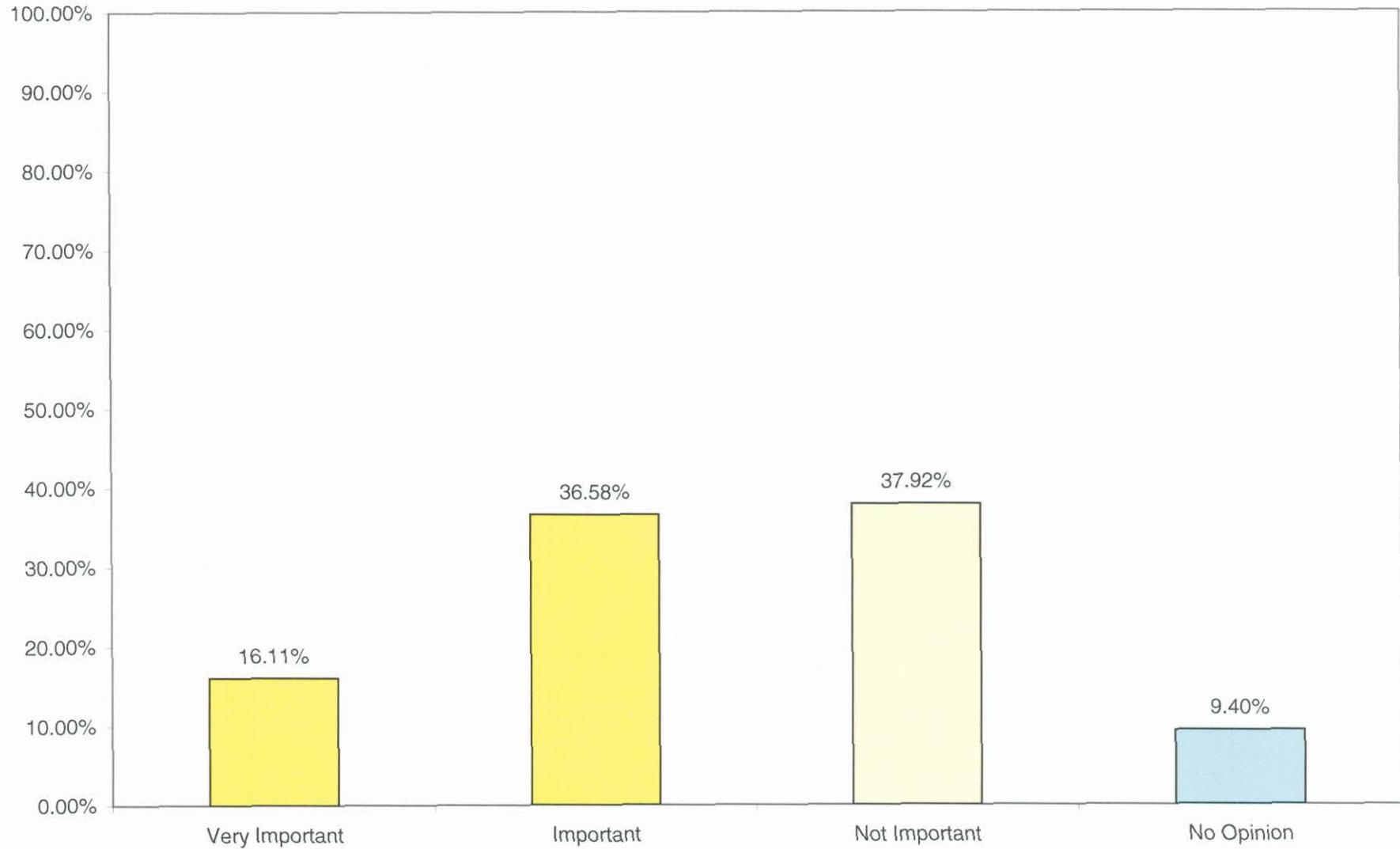
17) What type of new housing do you feel is best for the town?



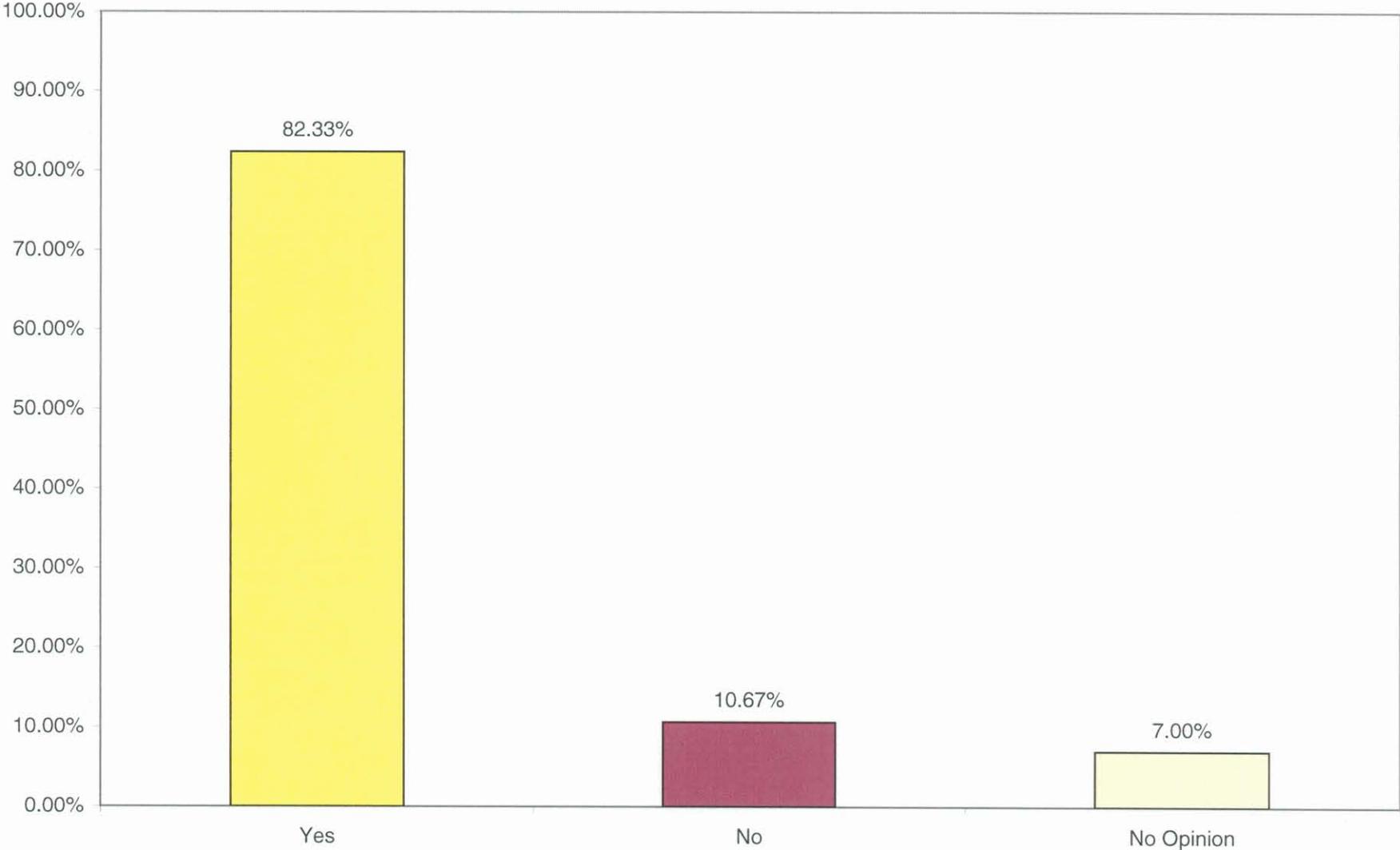
**18) Would you support concentrating future housing near Auburn and/or the Village of Cayuga as opposed to distributing houses throughout the Town?**



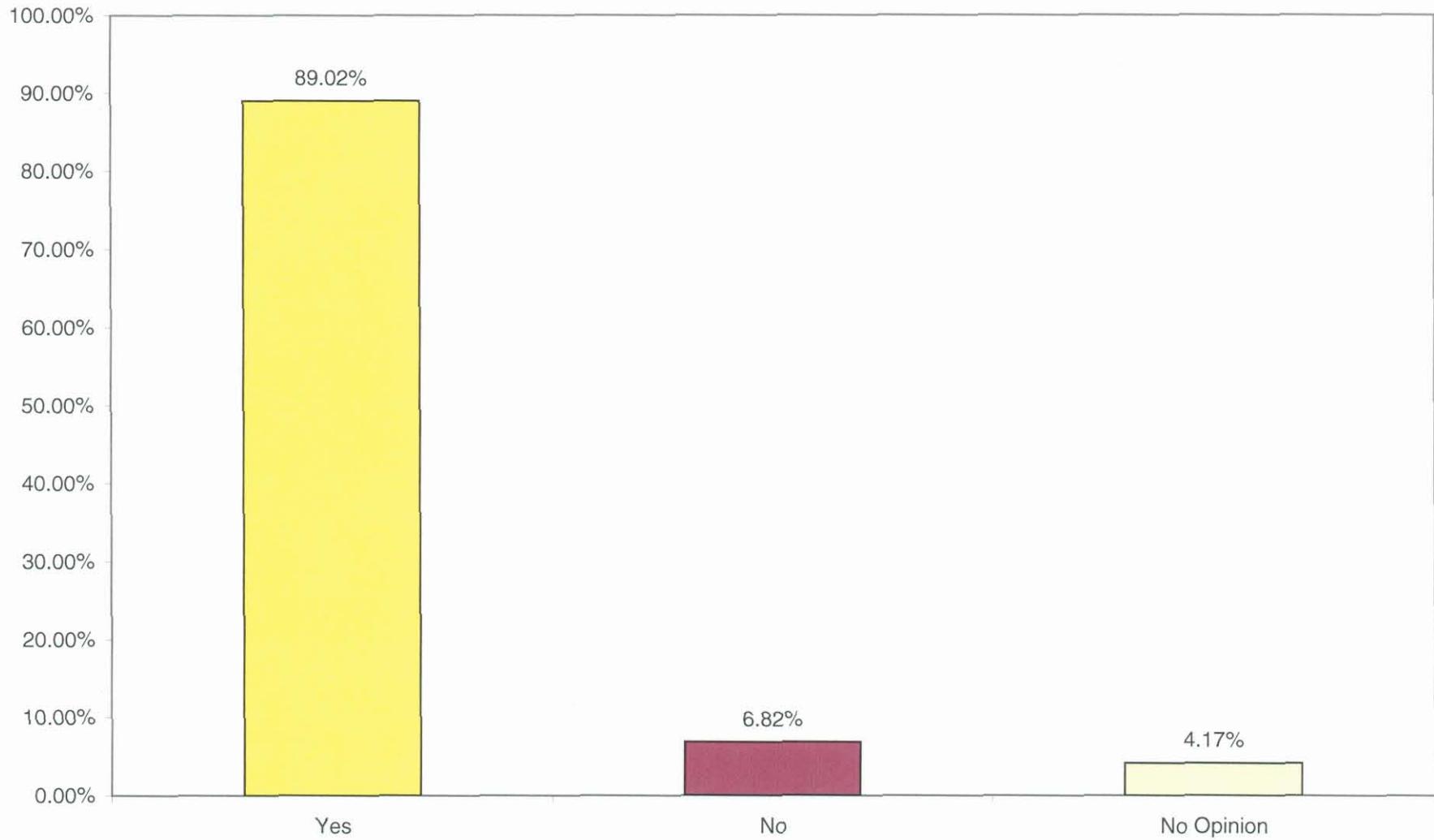
**19) Is it important for the Town to establish architectural standards for new housing?**



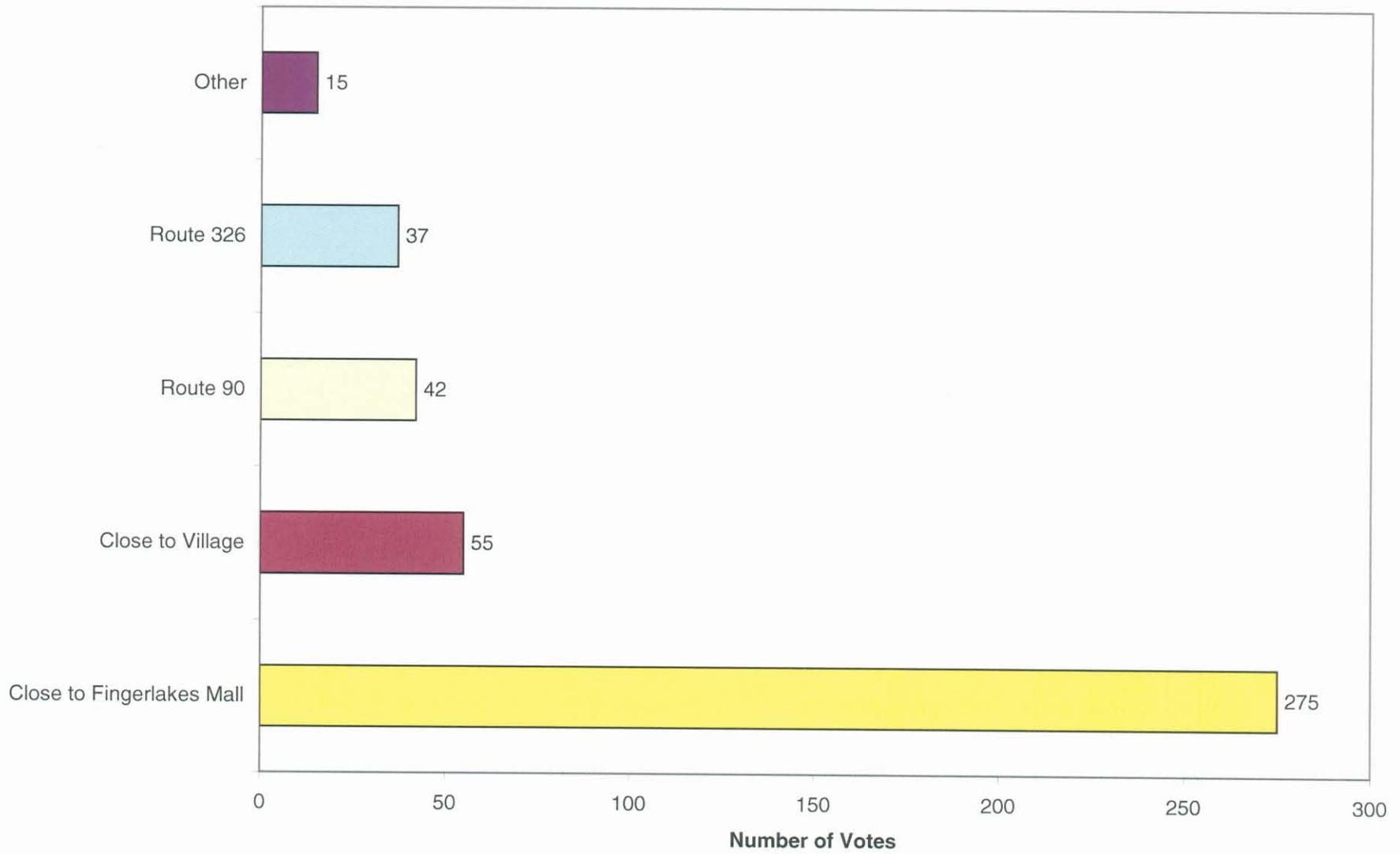
20) Do you feel additional commercial development is good for the future of the town?



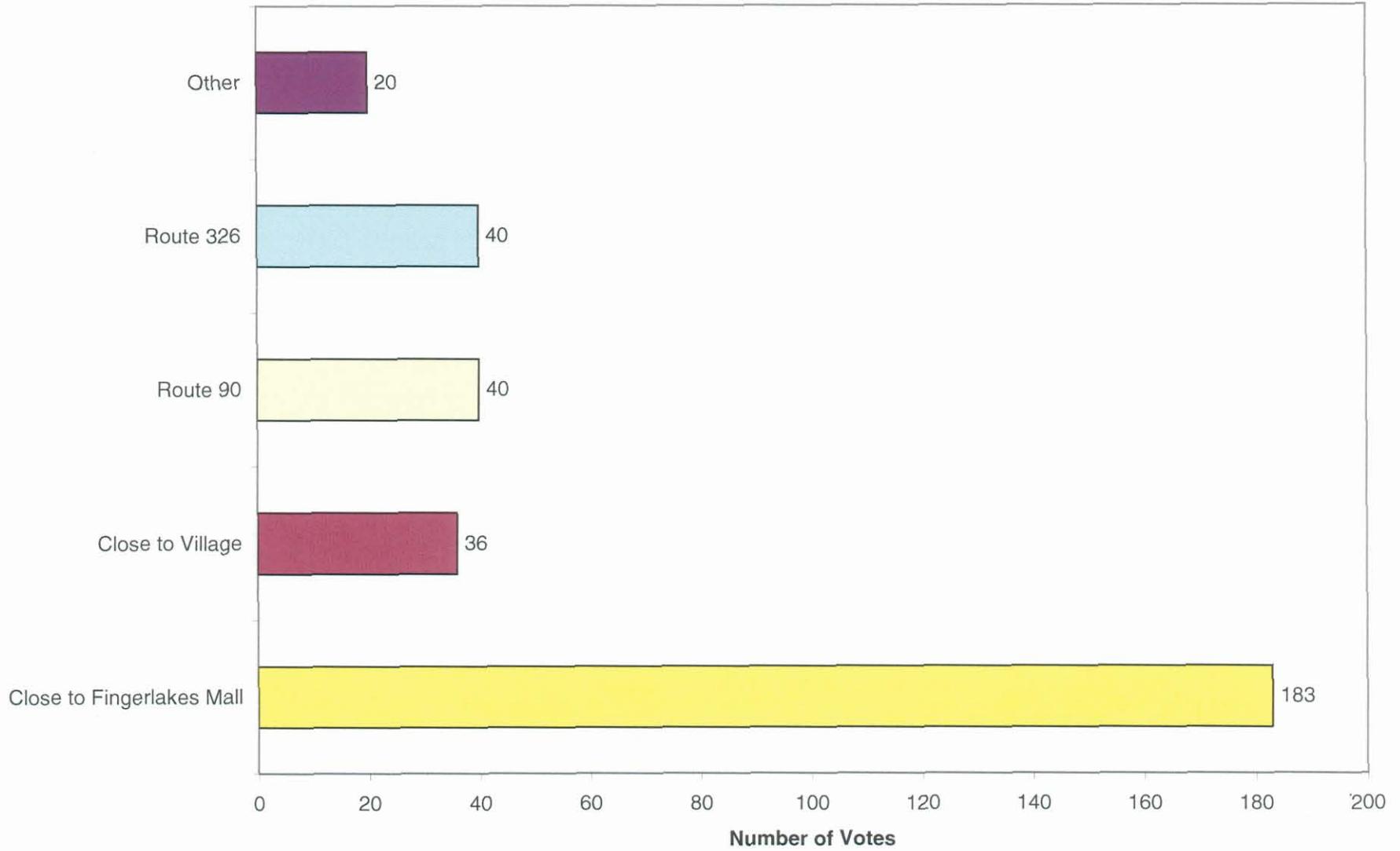
**21) Do you support retail development like Bass Pro Shop, restaurants and retail chain stores?**



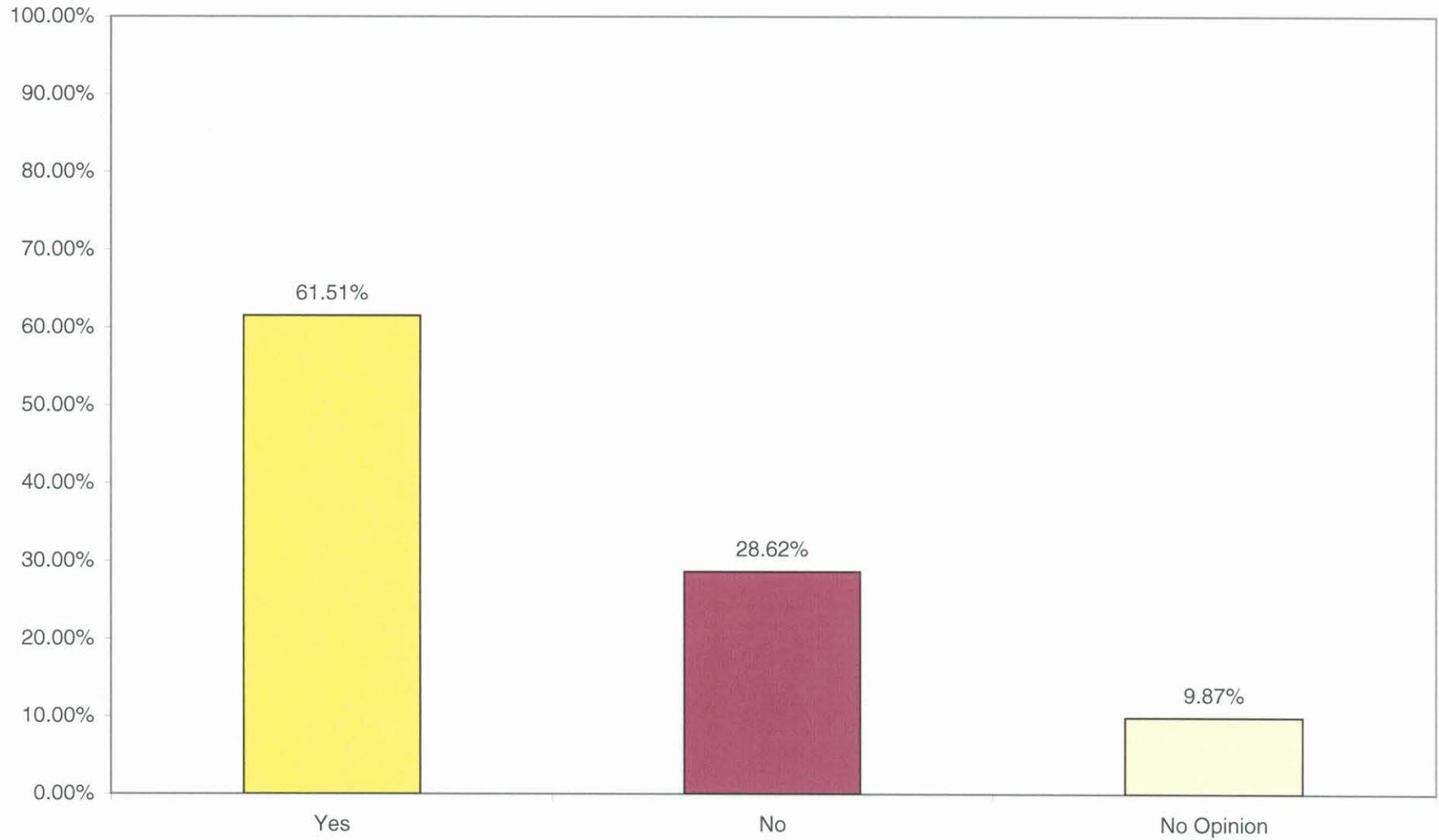
22) Where do you prefer commercial development to be located in the town?



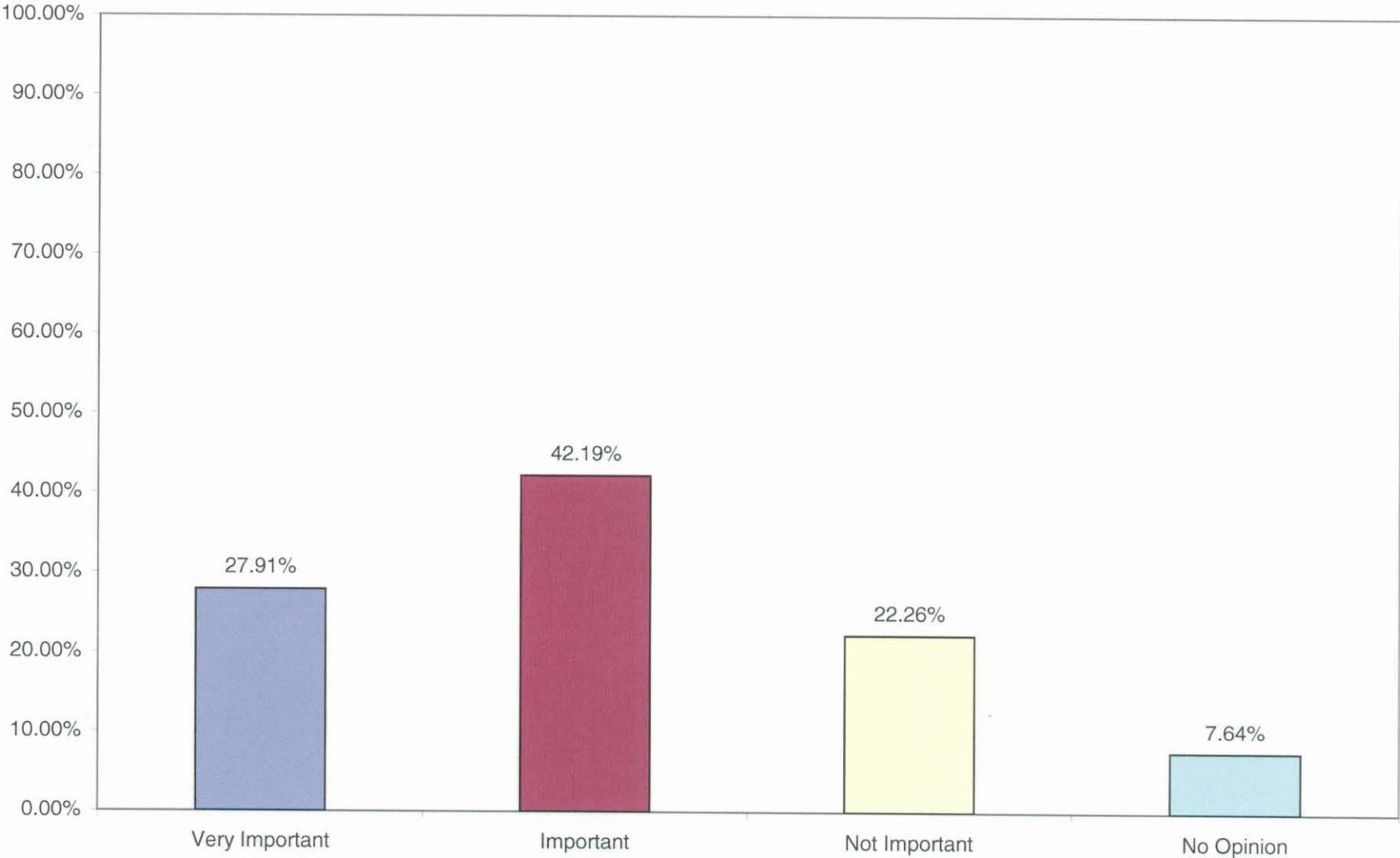
23) Where do you prefer industrial development to be located in town?



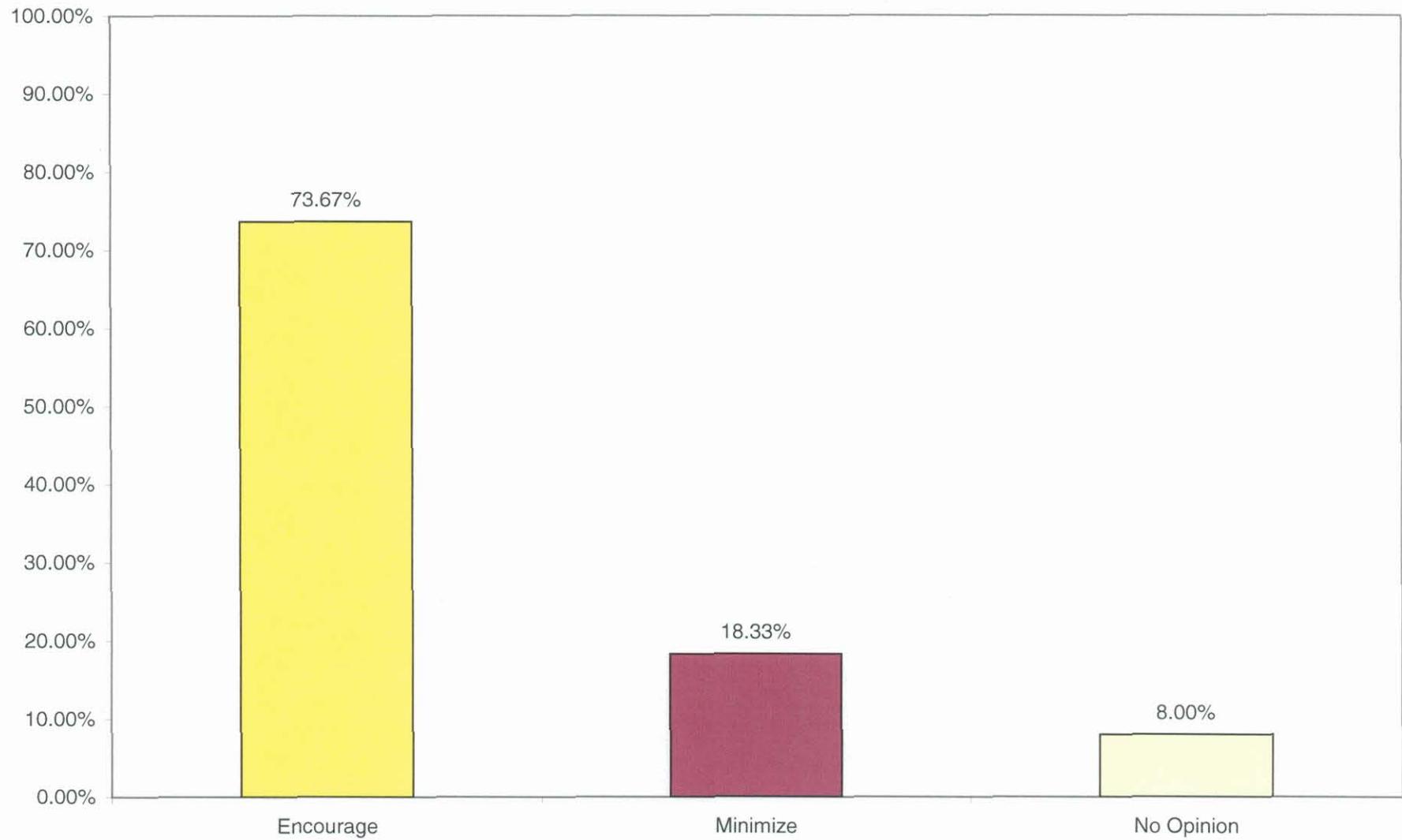
**24) Is it important for the town to prevent Routes 5 and 20/Clark Street Road from becoming as congested as Grant Avenue in Auburn and Sennett?**



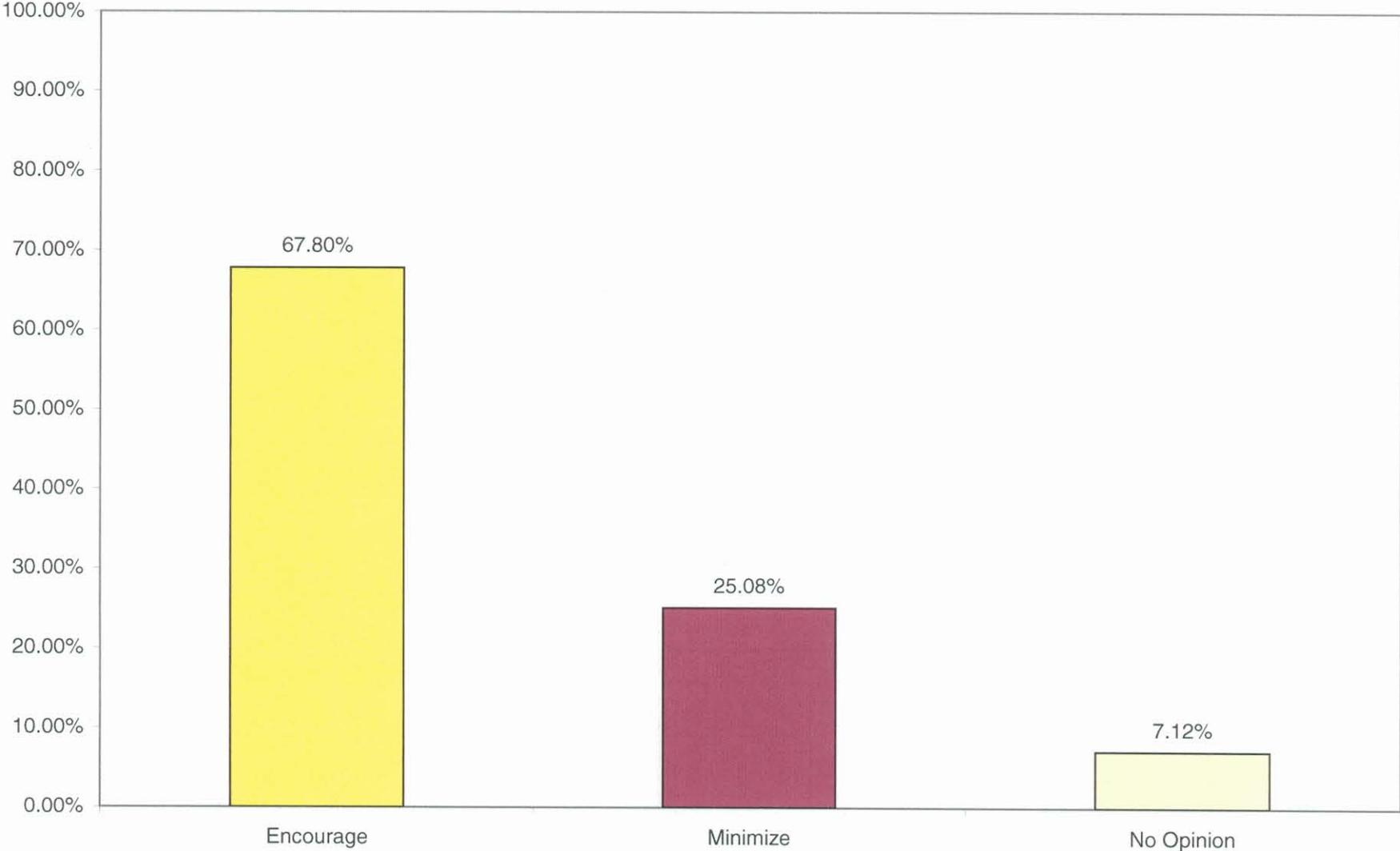
**25) Are sidewalks, bike paths, and pedestrian connections important to commercial areas?**



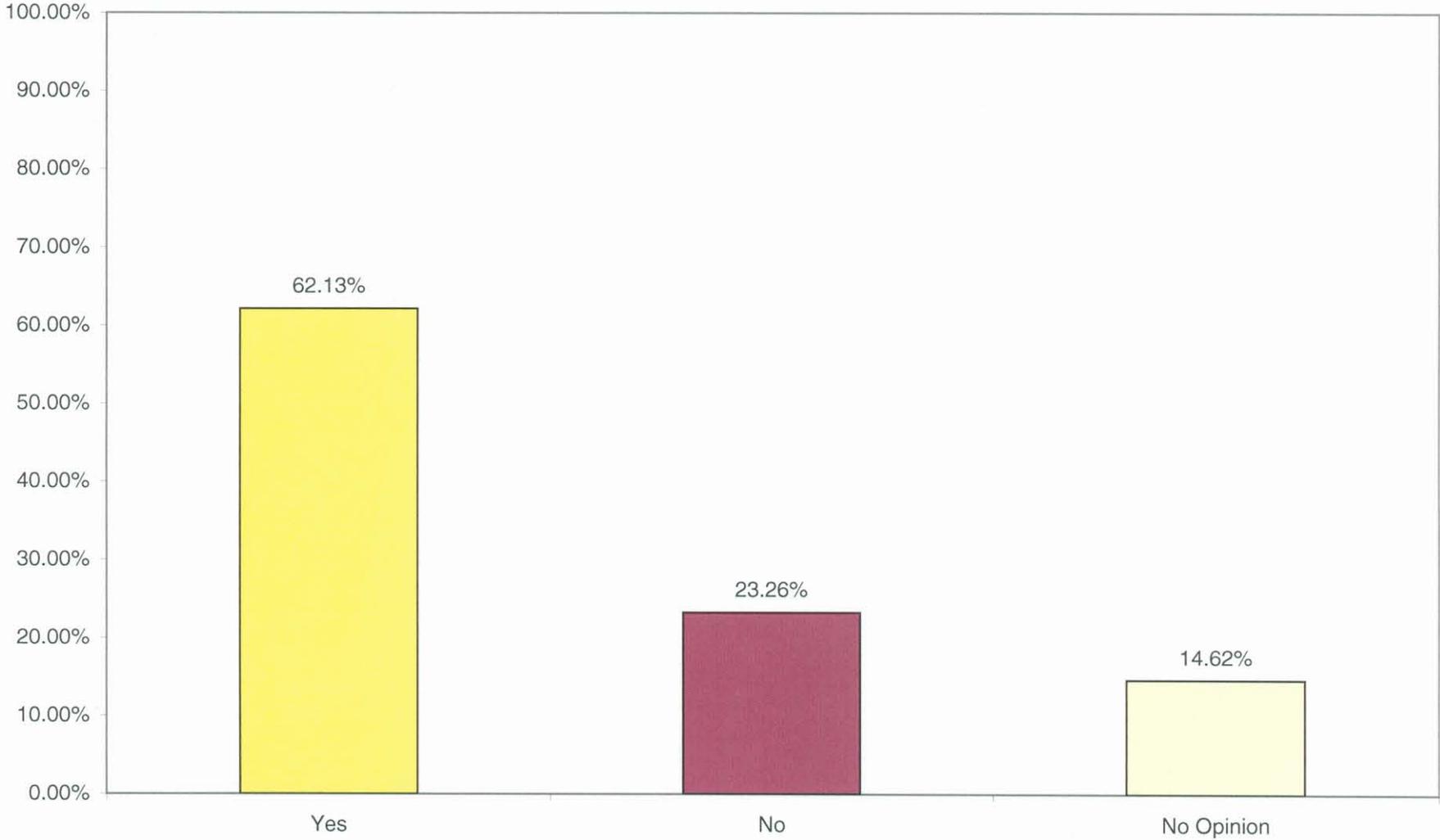
26) Should the town minimize or encourage more retail development in the town?



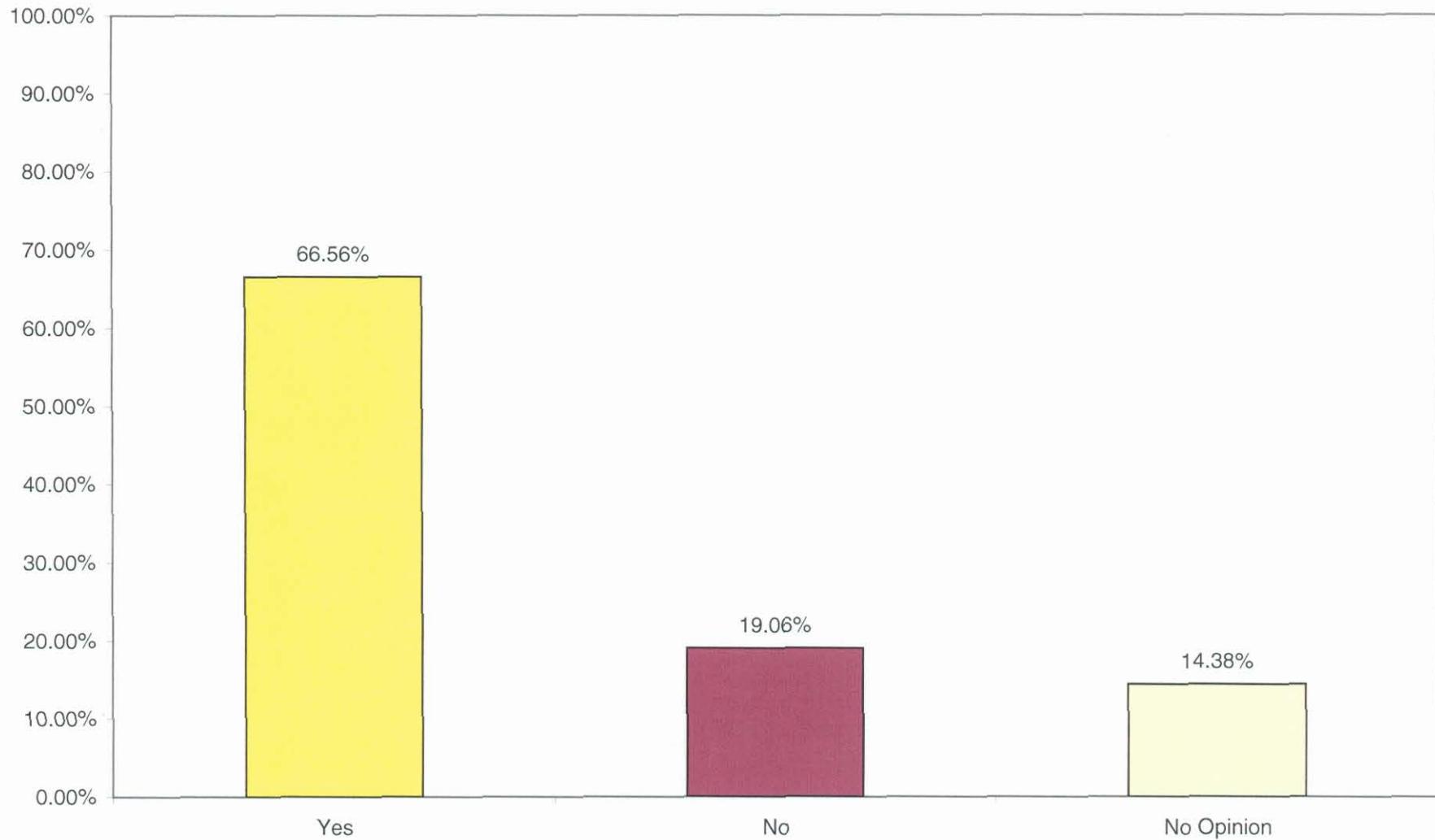
27) Should the town minimize or encourage more industrial development in the town?



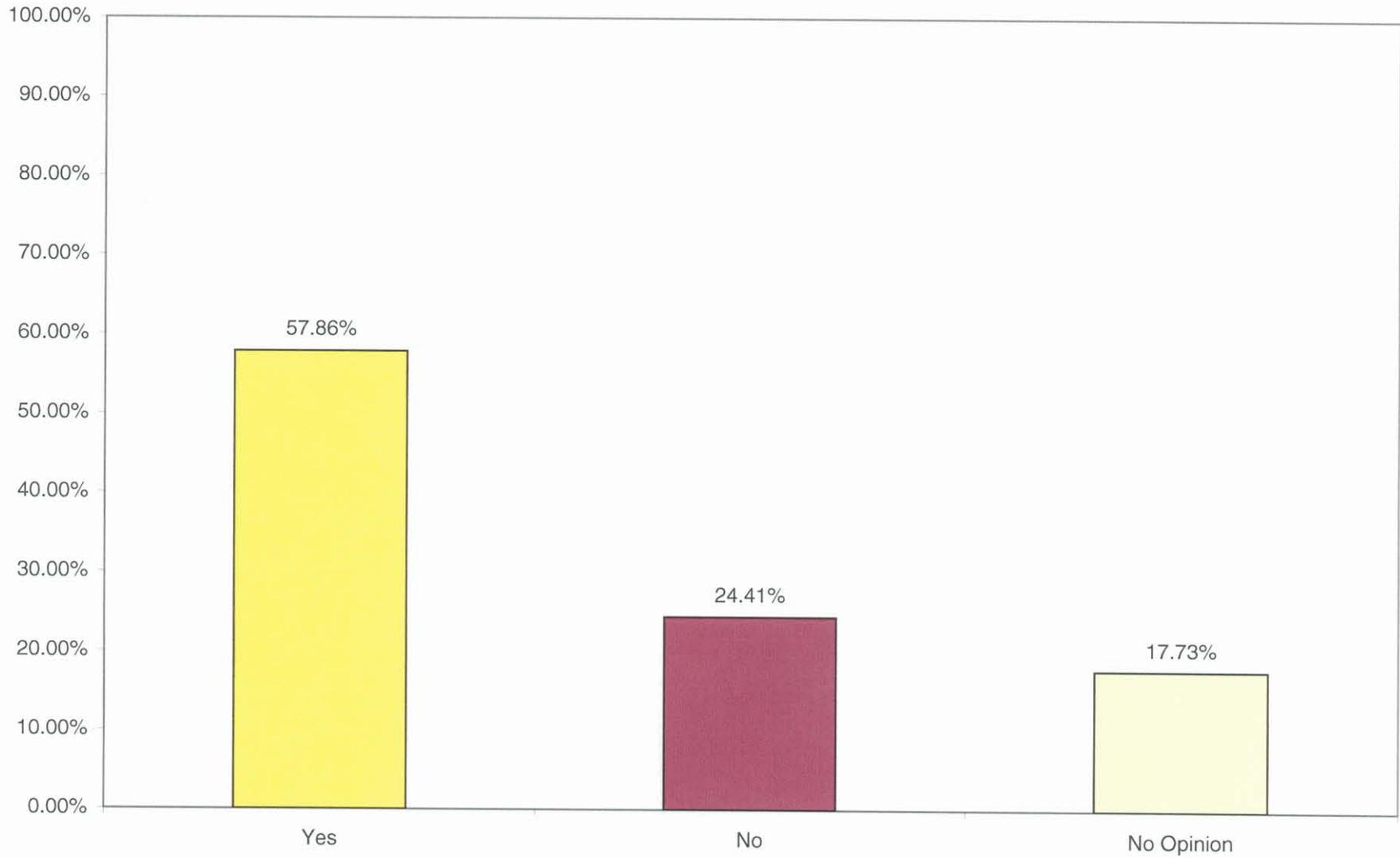
**28) Would you like our commercial area to contain a mix of uses (retail, commercial and residential) in close proximity?**



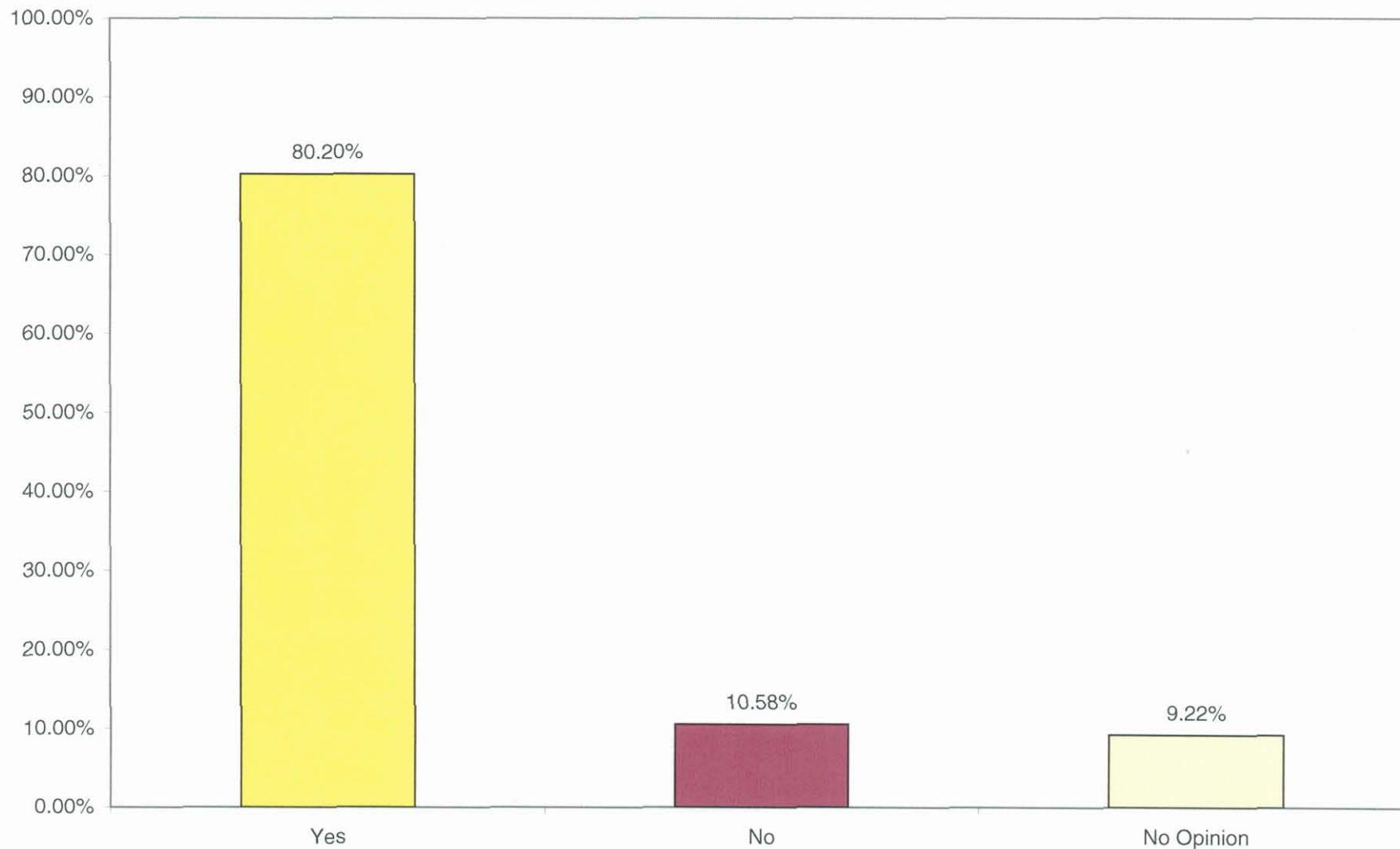
**29) Should the town promote development in a concentrated growth center near existing commercial development as opposed to encouraging growth evenly throughout the town?**



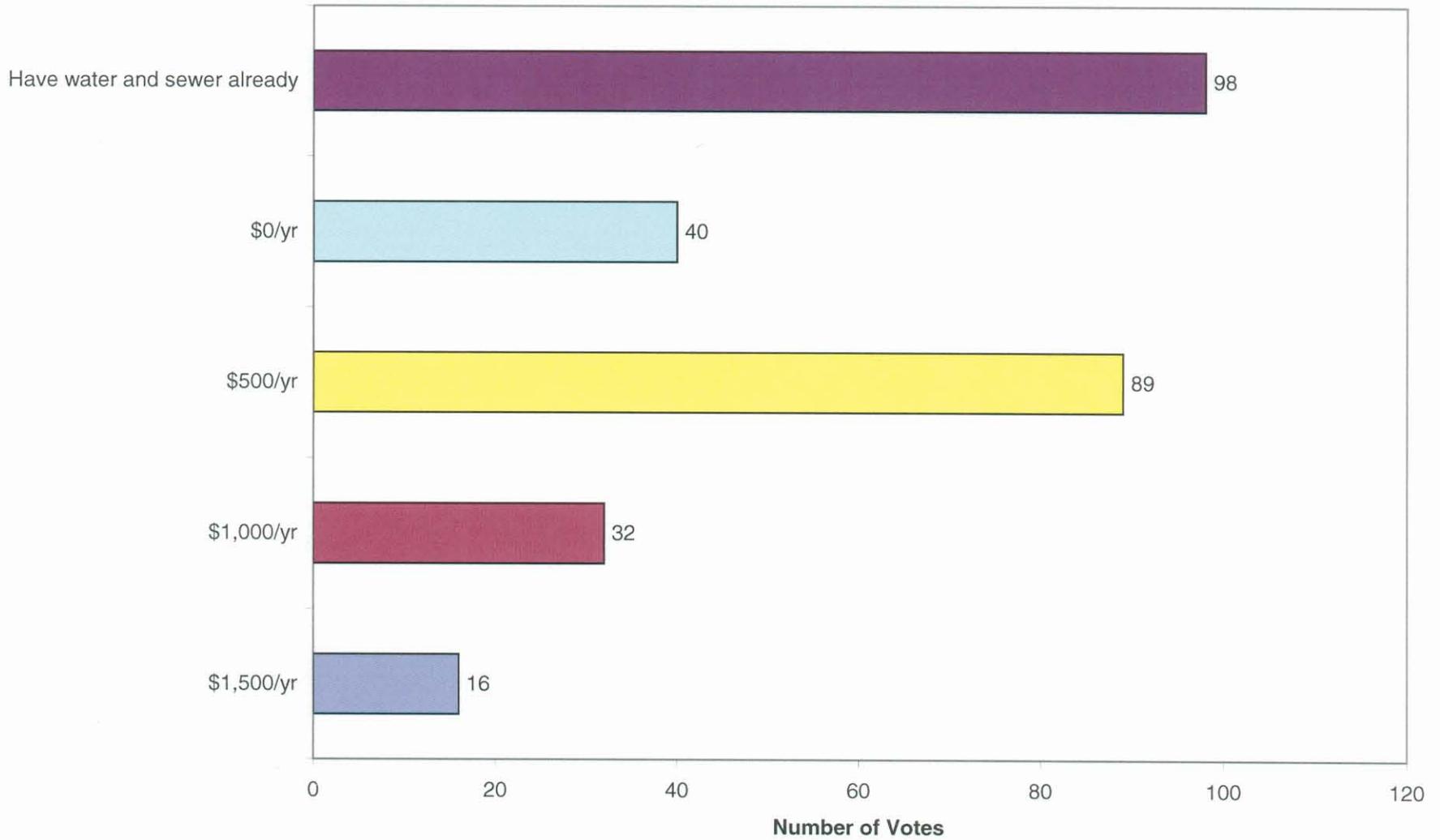
**30) Should the town set architectural standards for commercial buildings?**



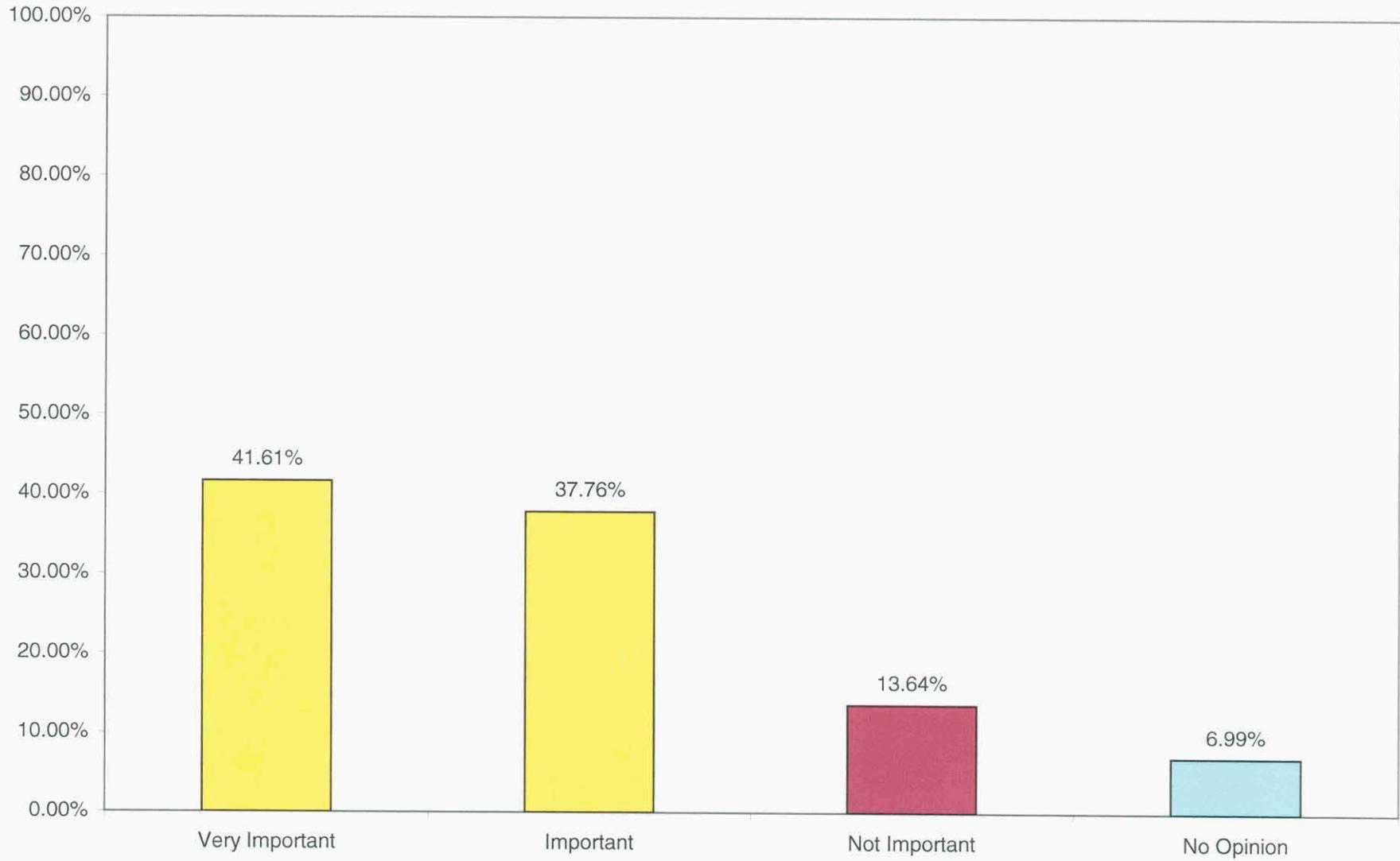
### 31) Should water and sewer be extended into new areas in town?



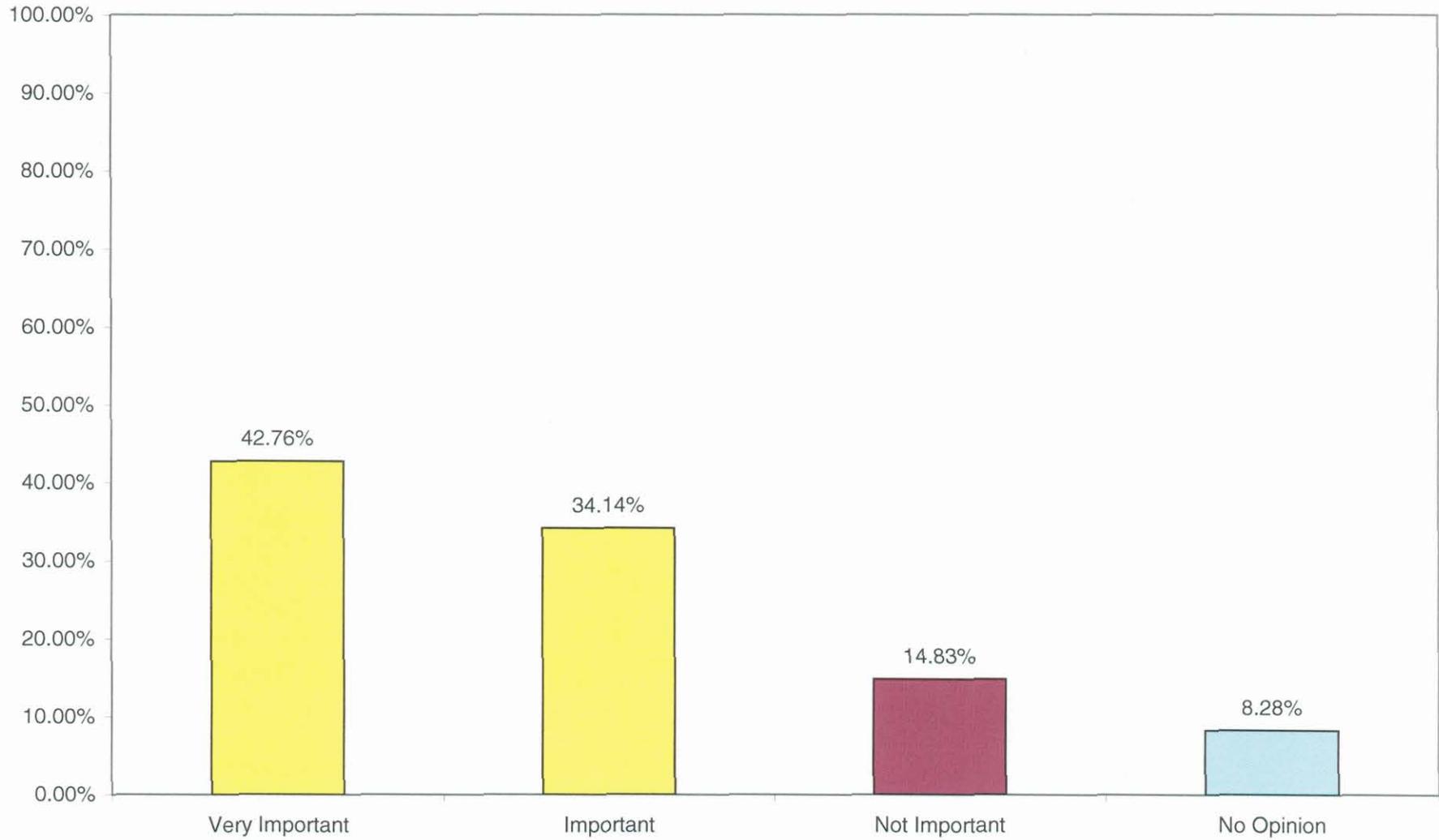
**32) If you do not have water and sewer services now, what is the maximum amount that you are willing to pay for the costs of extending water and sewer?**



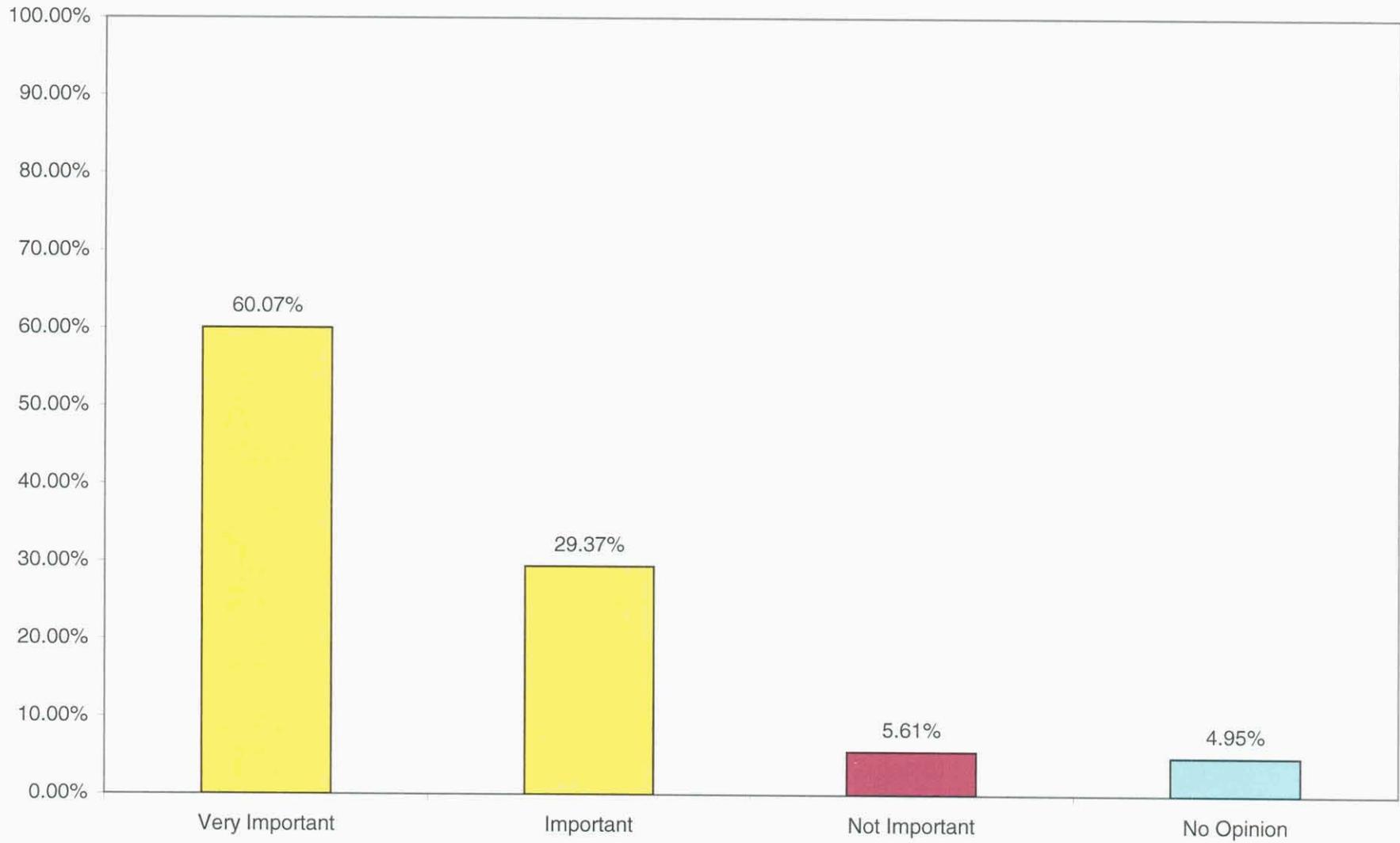
**33) Is it important for new residential subdivisions to be required to connect to public water?**



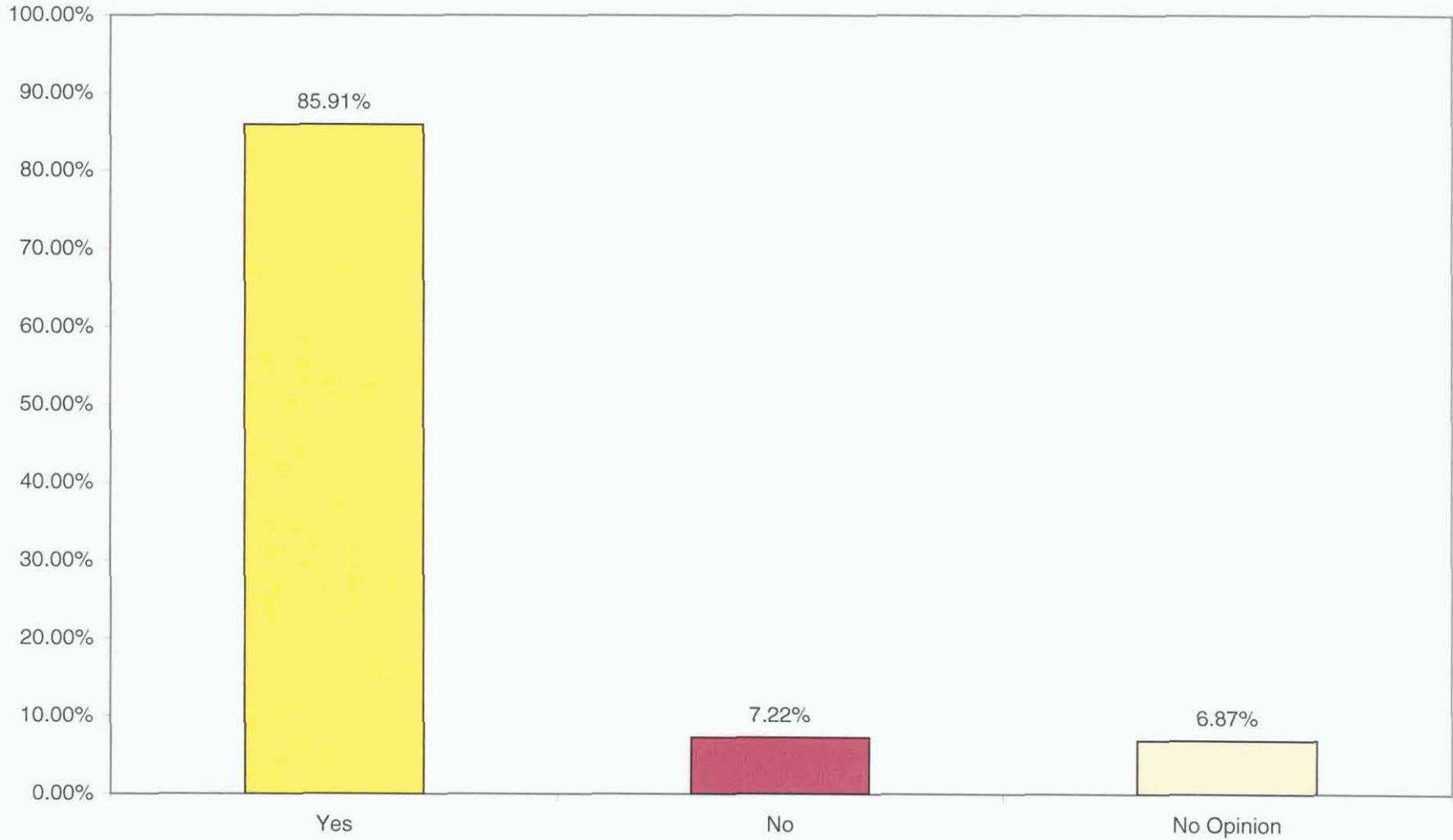
**34) Is it important for new residential subdivisions to be required to connect to public sewers?**



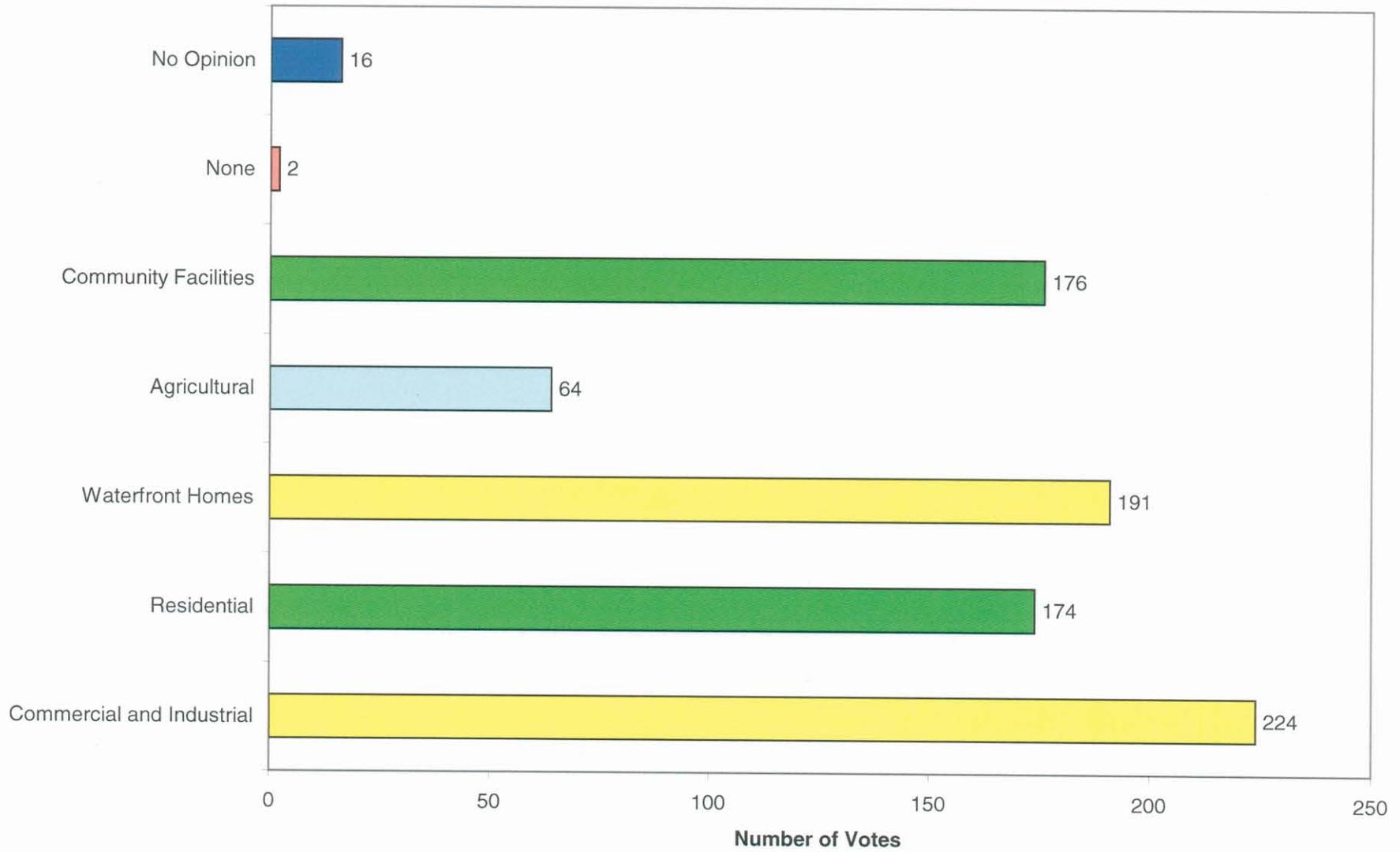
**35) Is it important for new commercial and industrial development to be required to connect to public water and sewer?**



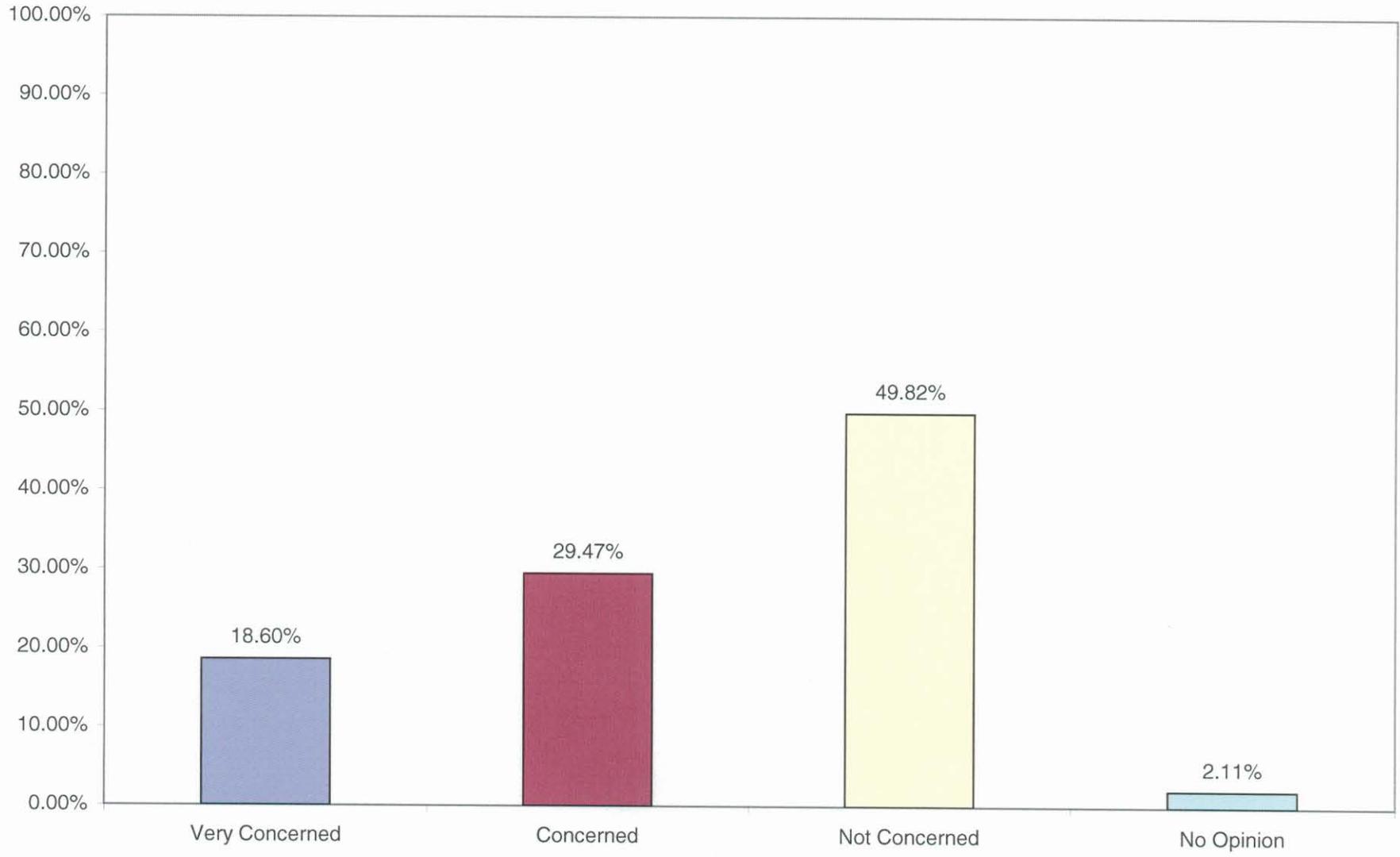
**36) Do you believe that sewers are important to protect Cayuga Lake from being polluted by failing or flooding septic systems?**



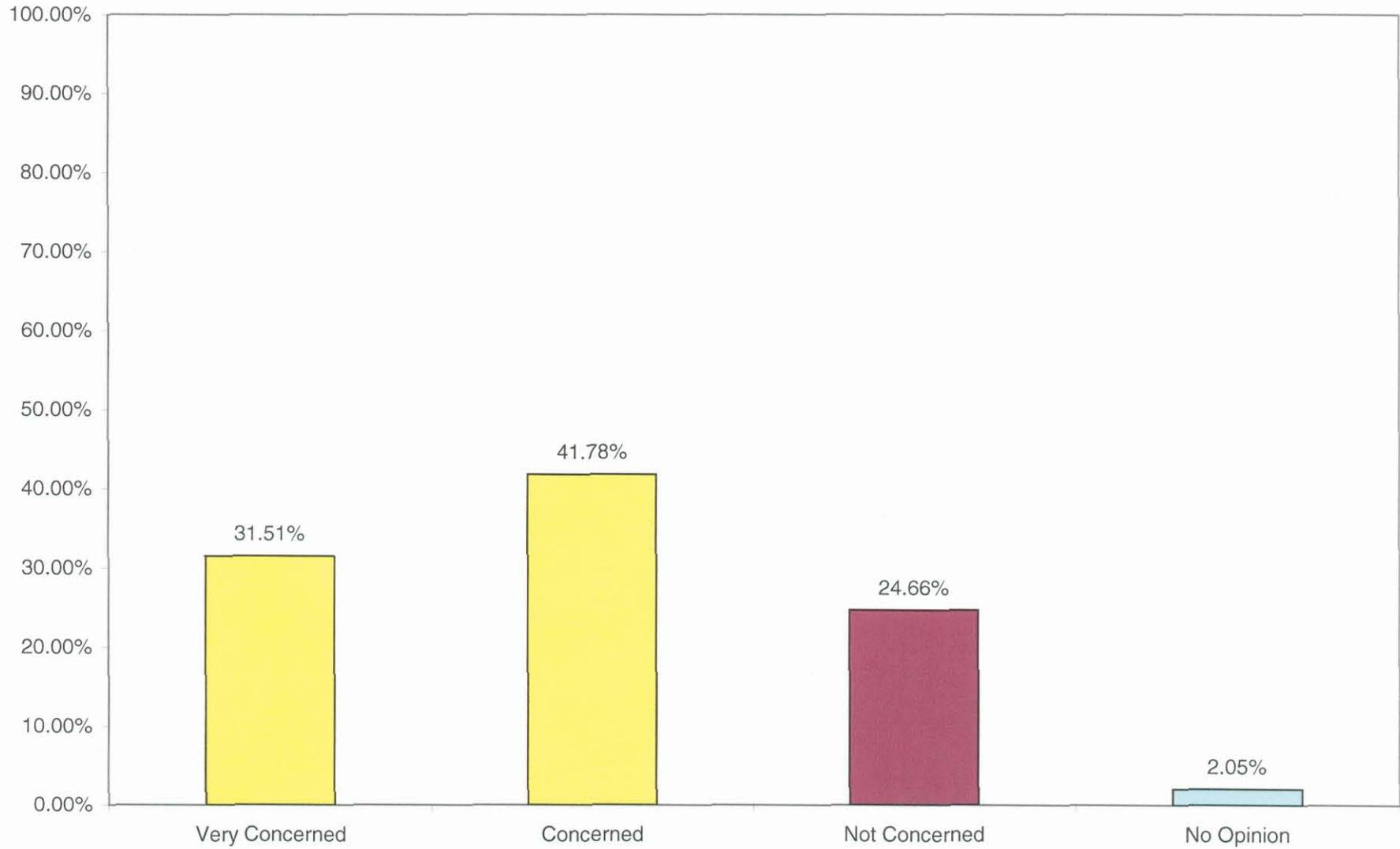
37) What type of development should be a priority for public water and sewer?



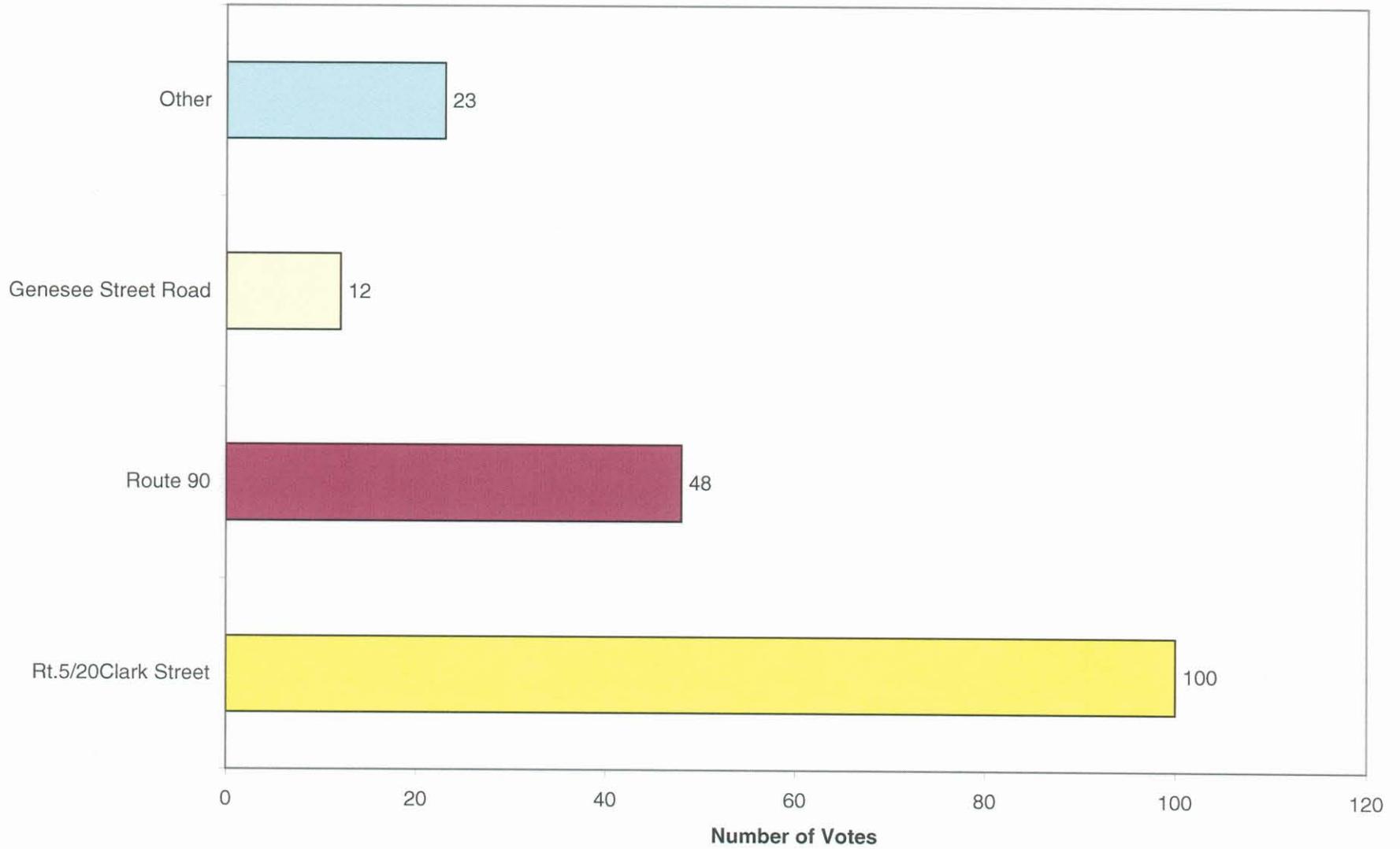
**38) Are you concerned with increasing traffic on Routes 5 and 20/Clark Street Road?**



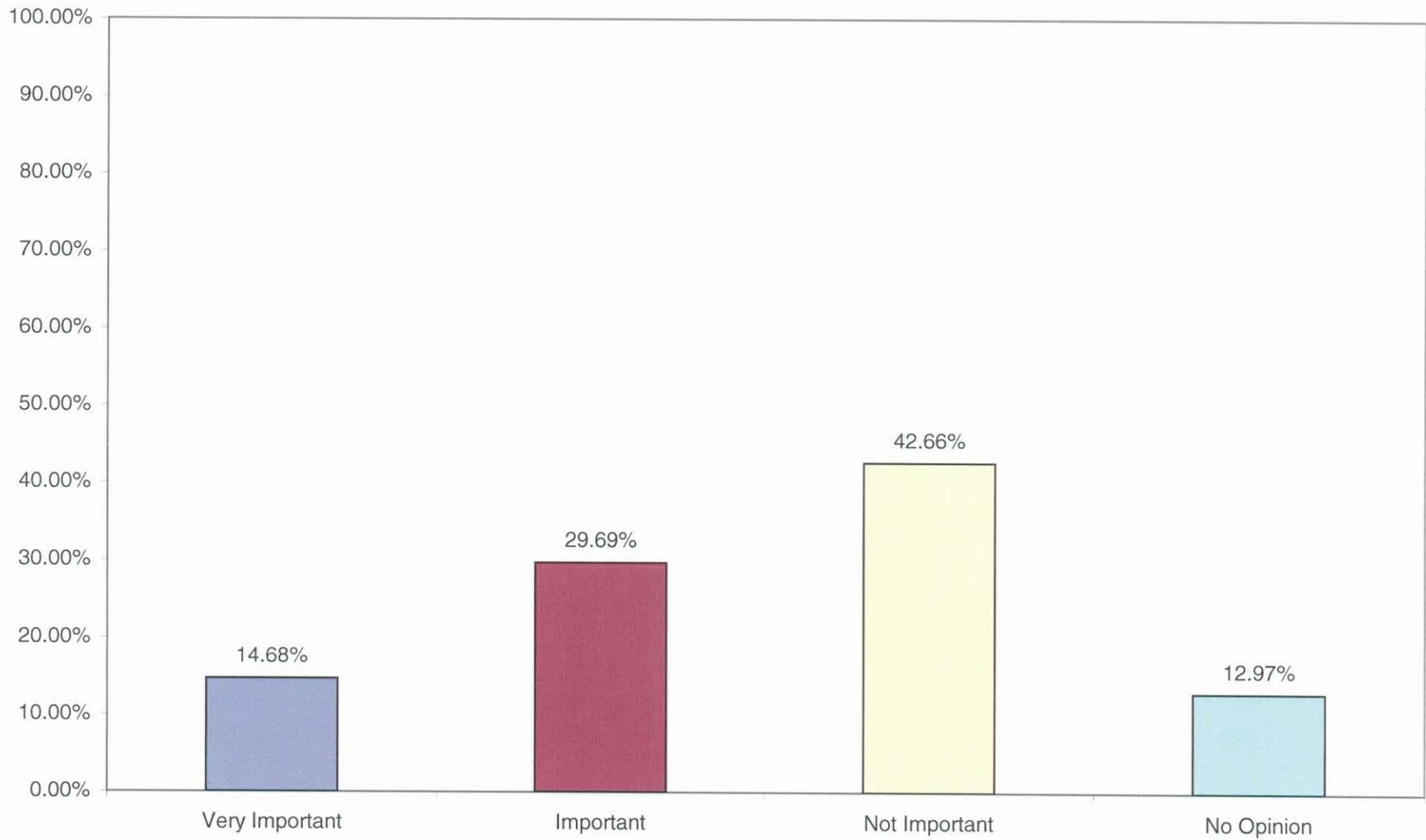
**39) Are you concerned with increasing traffic or speeding on other roads?**



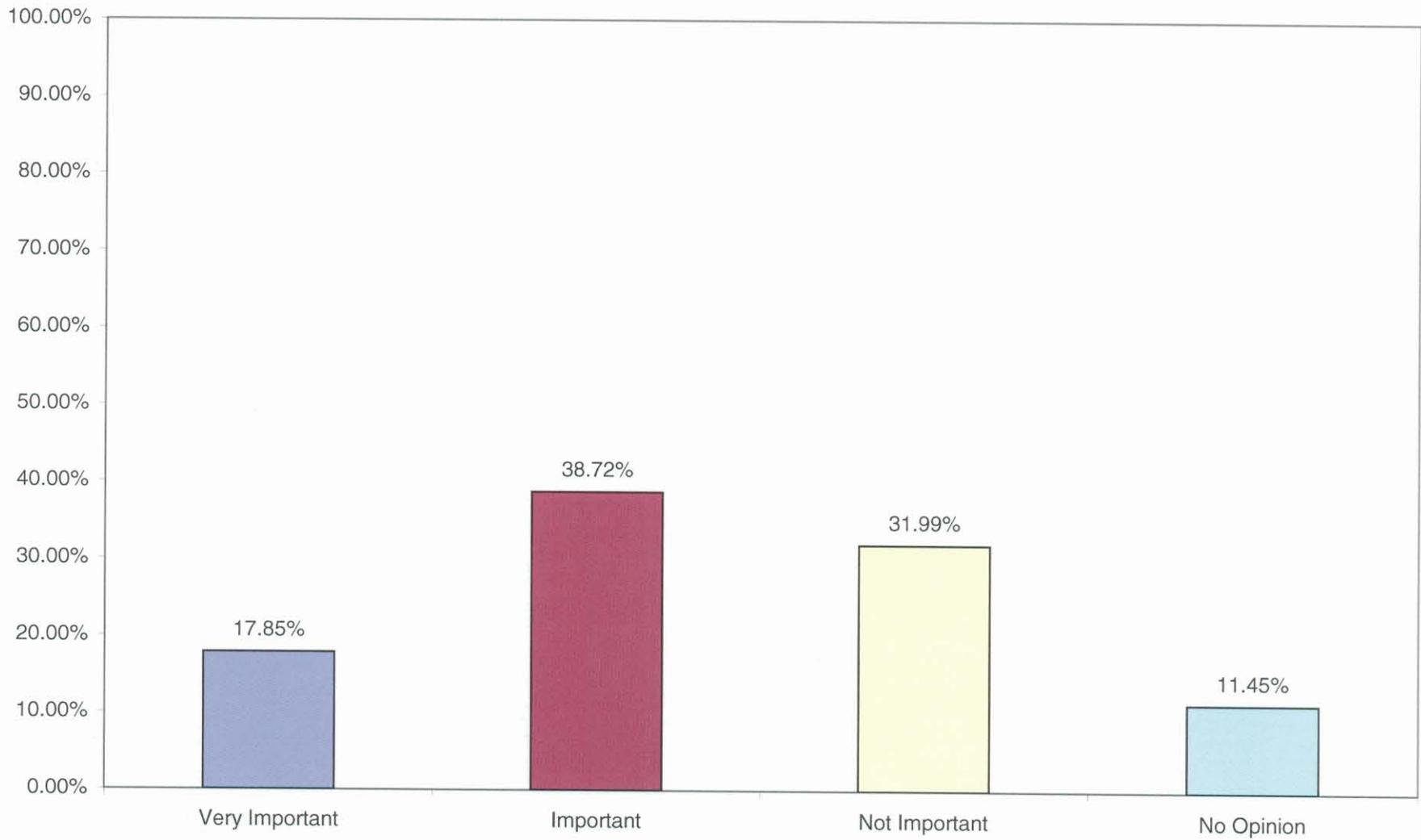
40) Where is the most troubled area of the town with respect to traffic?



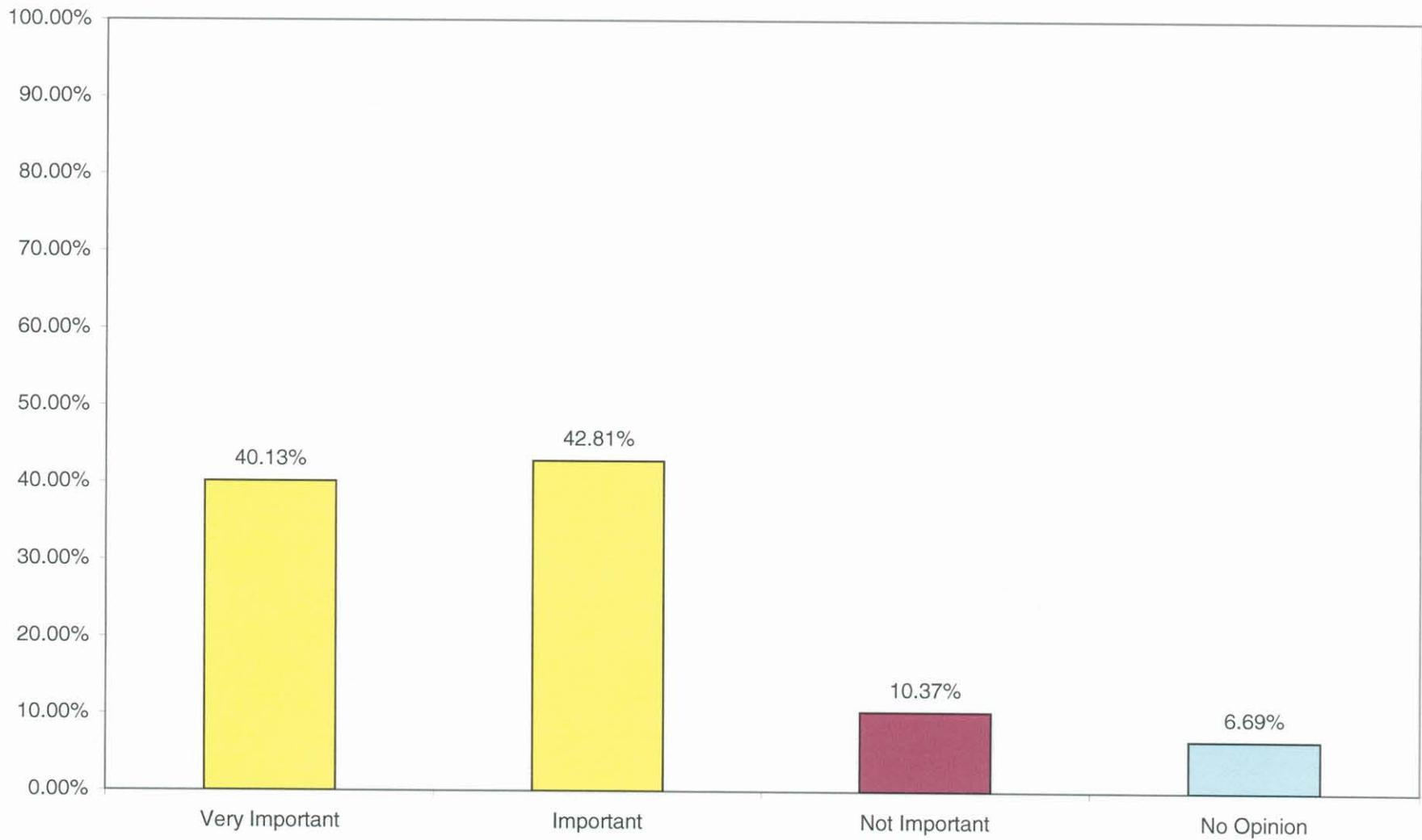
**41) How important is it to you to limit vehicles stopping, turning, entering or exiting major routes in the Town?**



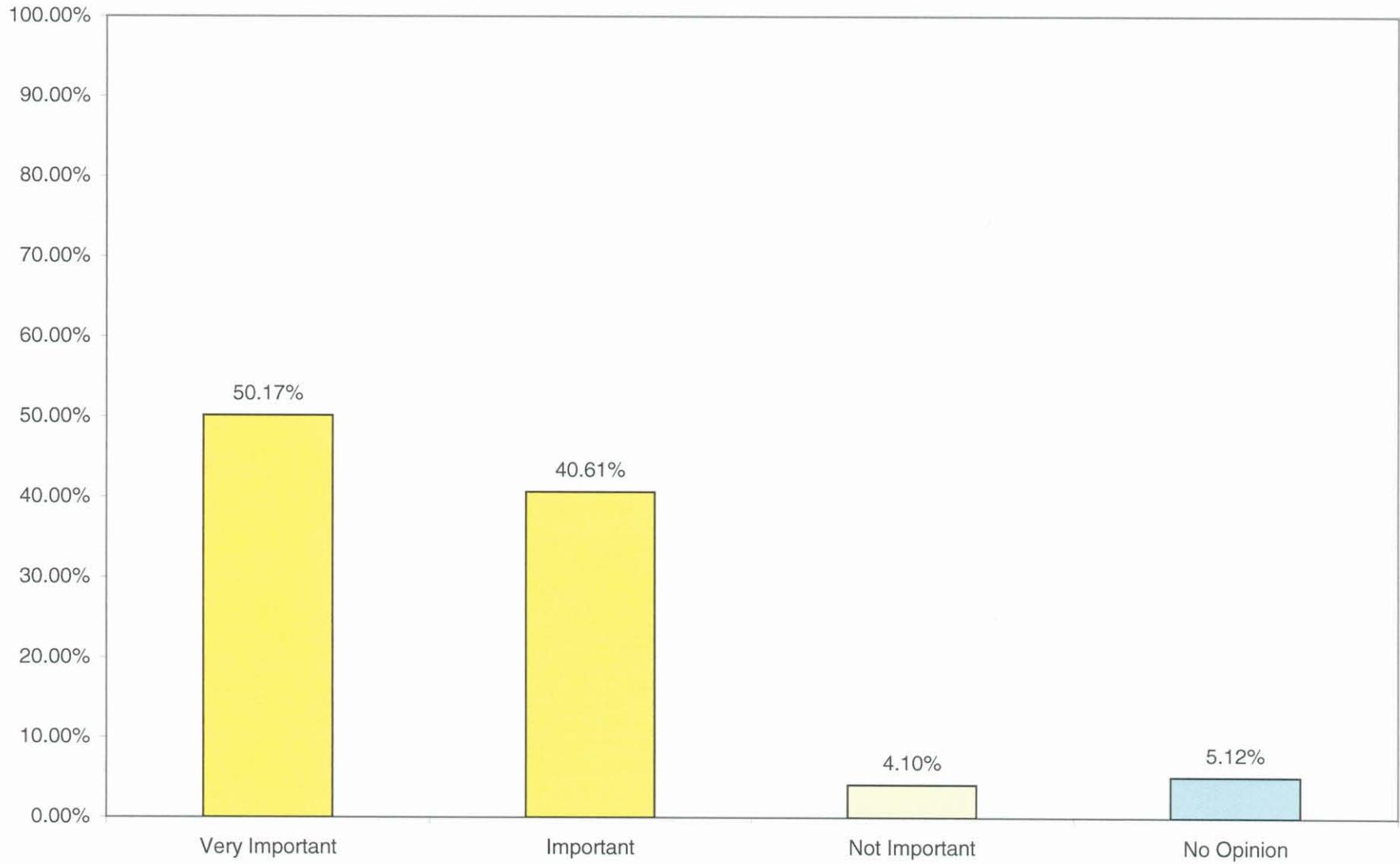
**42) How important is it to link the town's commercial centers and residential areas with designated areas for walking and bicycling?**



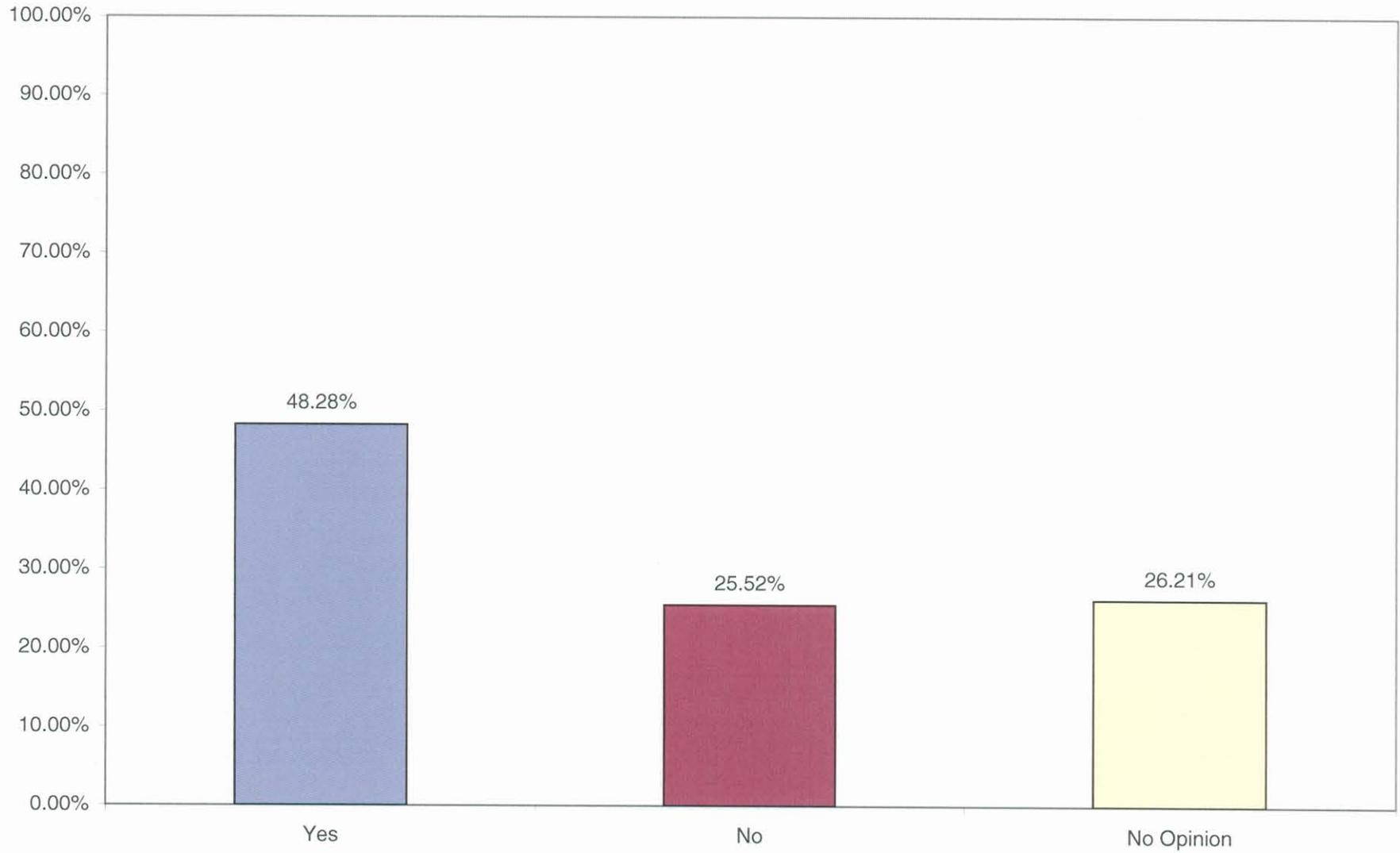
**43) Do you feel that open spaces and outdoor recreational activities are important to the vitality of the town?**



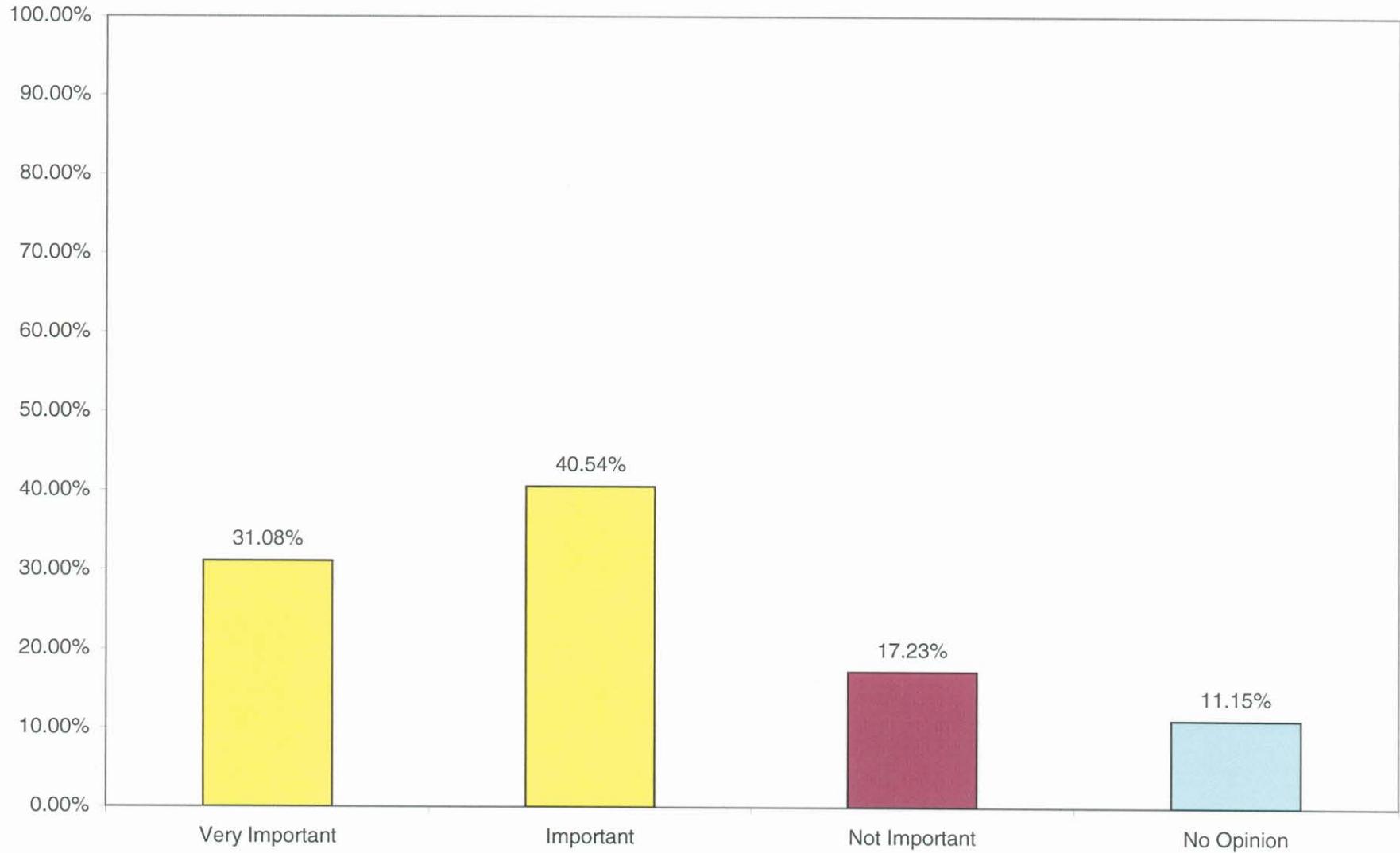
**44) How important is it for residents of the town to have access to Cayuga Lake for recreation?**



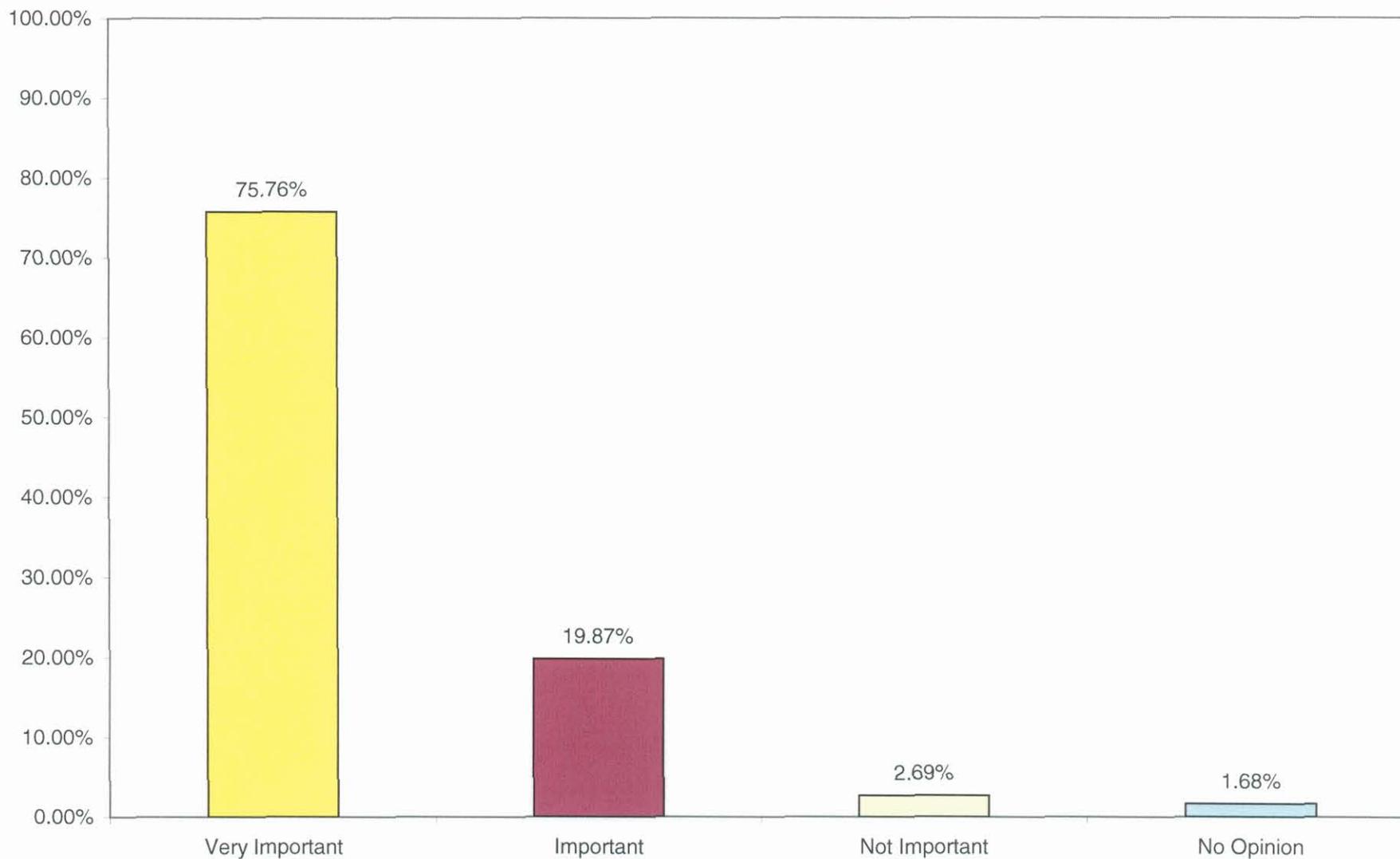
45) Do you feel that there is a need for outdoor athletic fields in town?



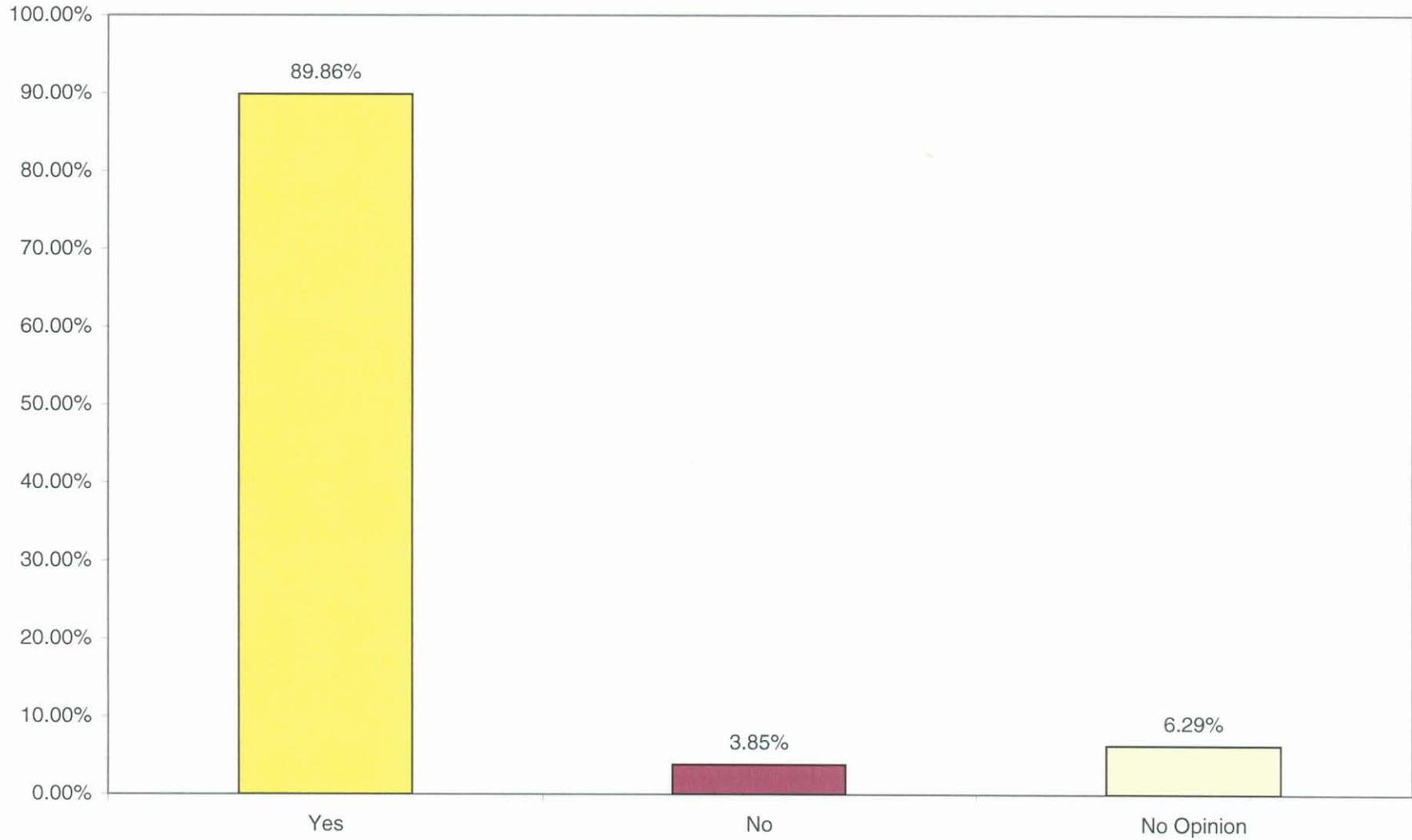
46) How important is it to provide safe areas for walking and bicycling throughout the Town?



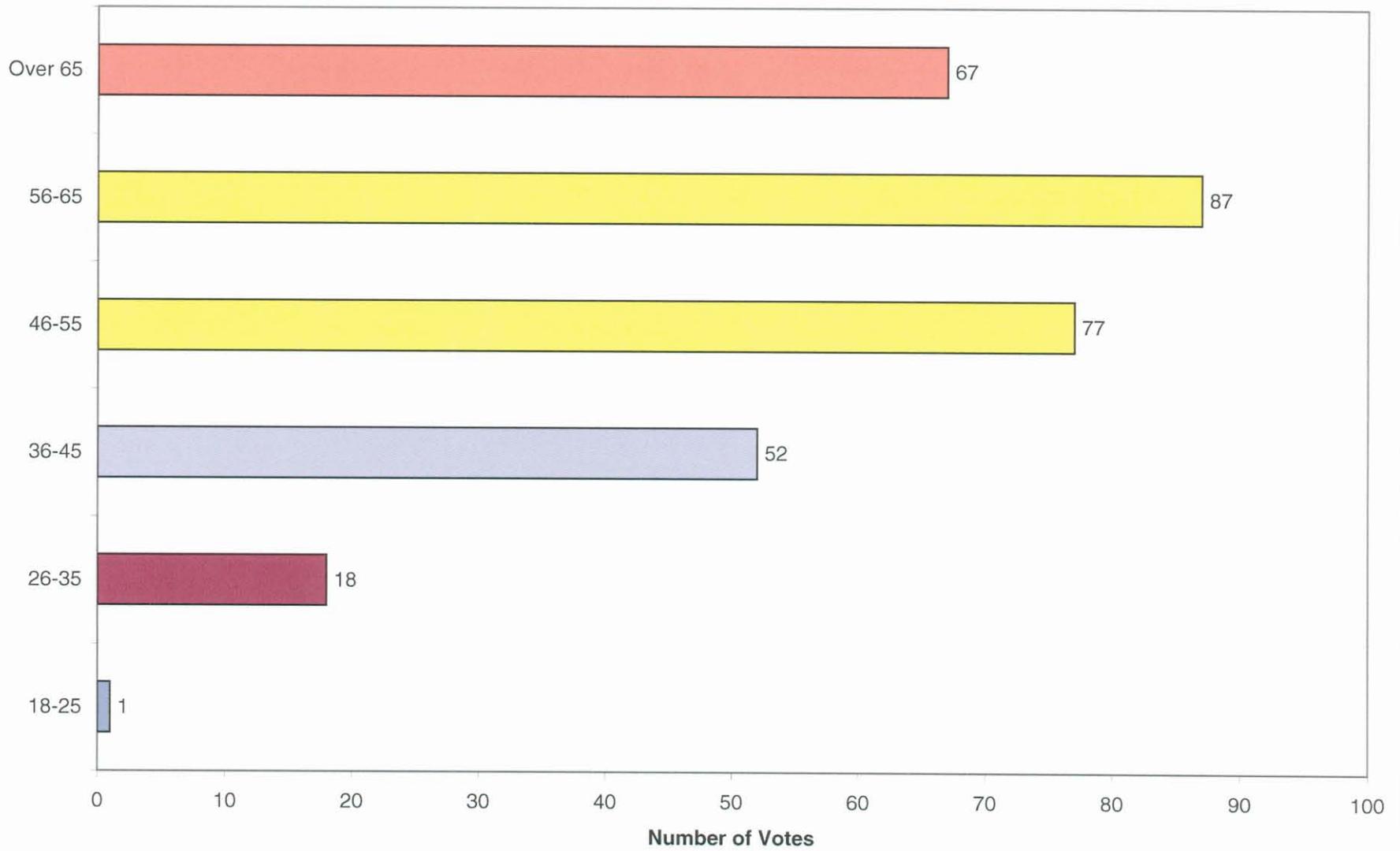
47) How important is it to you to protect the water quality of Cayuga Lake?



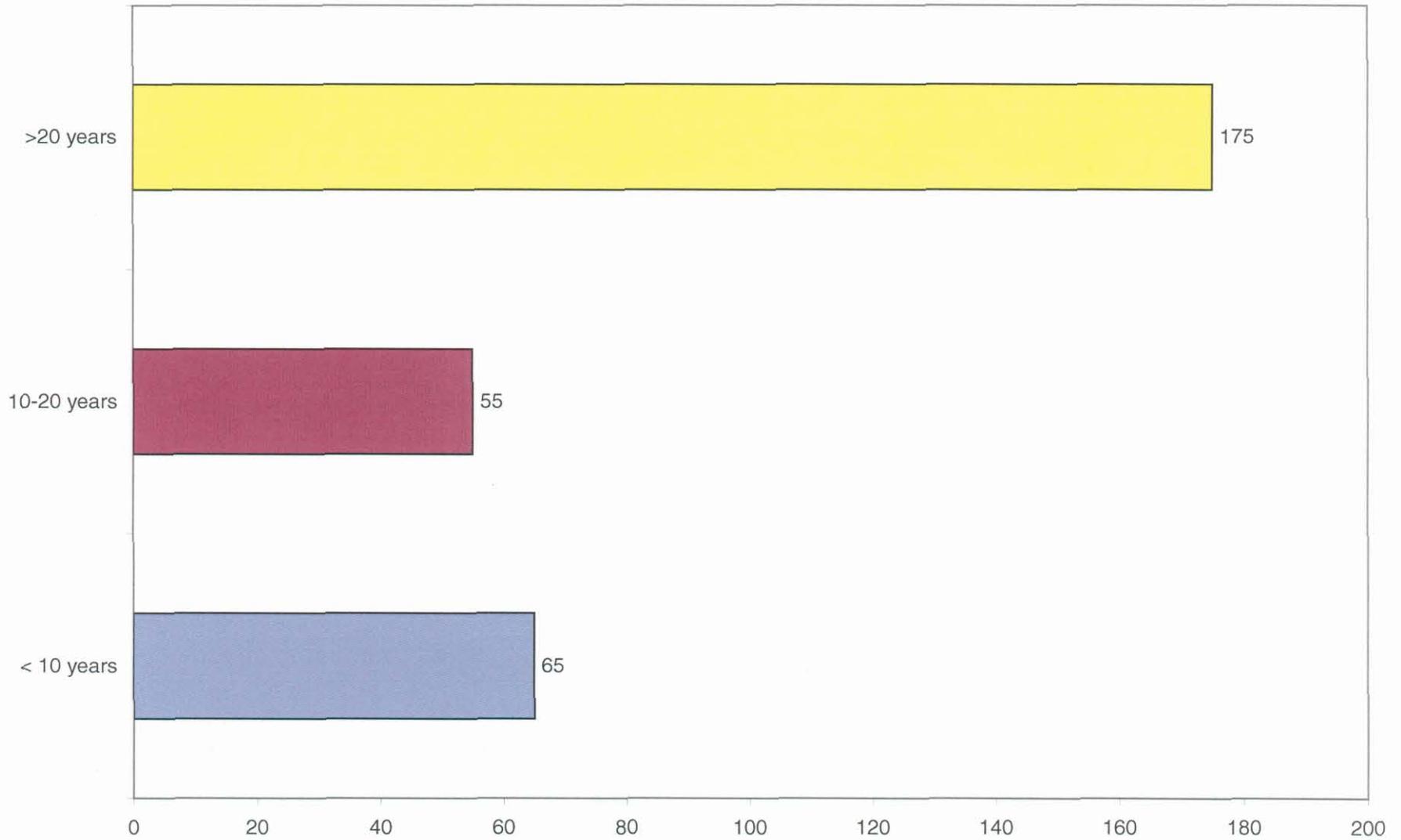
**48) Is it important for the town/village to take an active role in protecting the water quality of Cayuga Lake?**



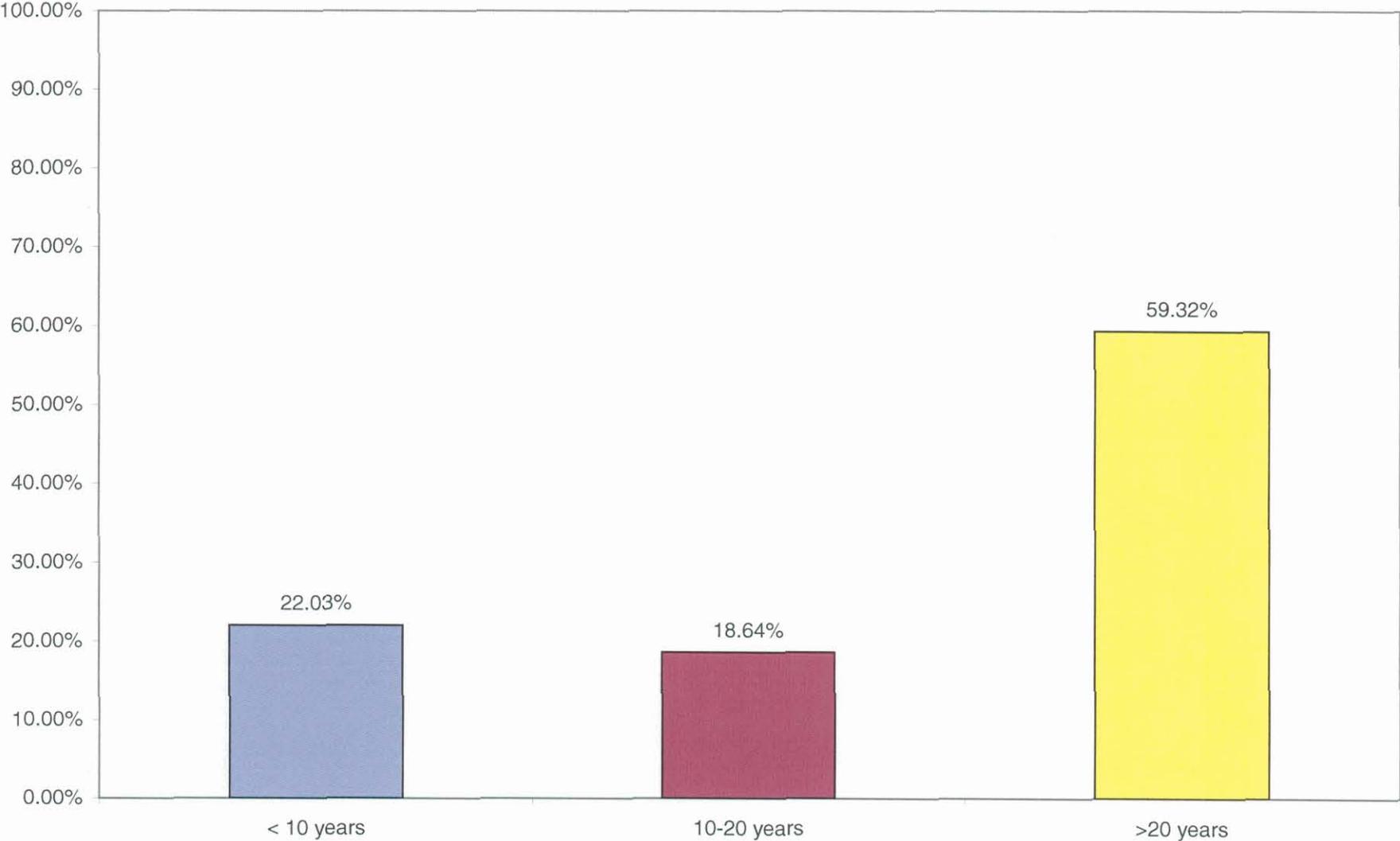
### 49) What is your age group?



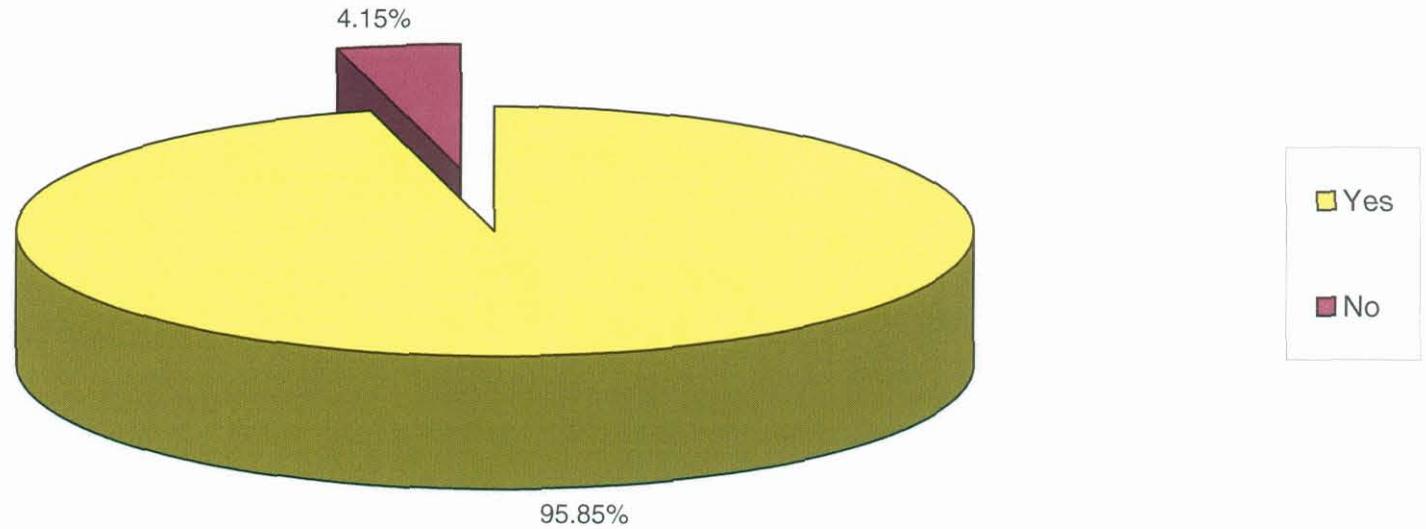
### 50) How long have you lived in this Town?



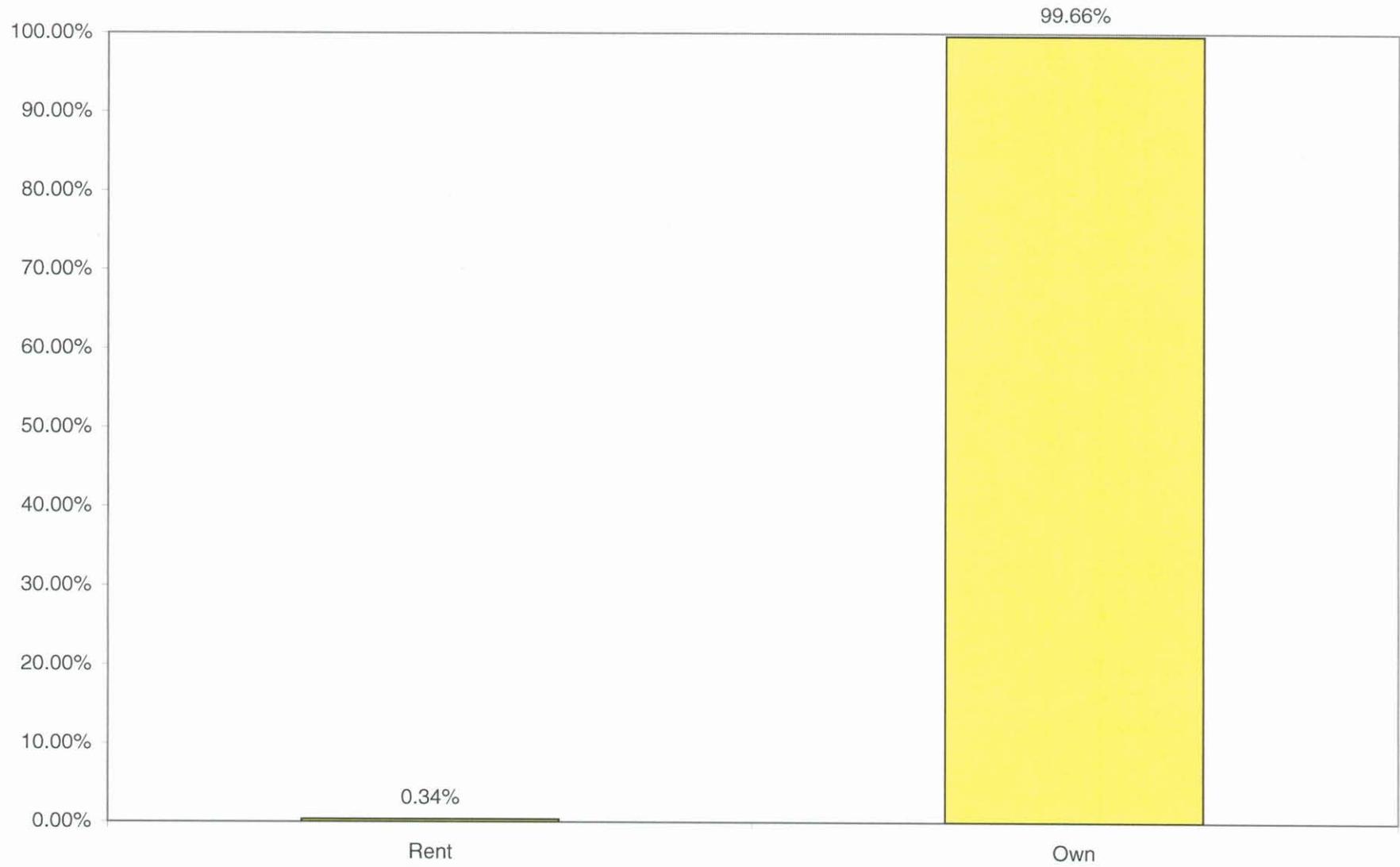
50) How long have you lived in this town?



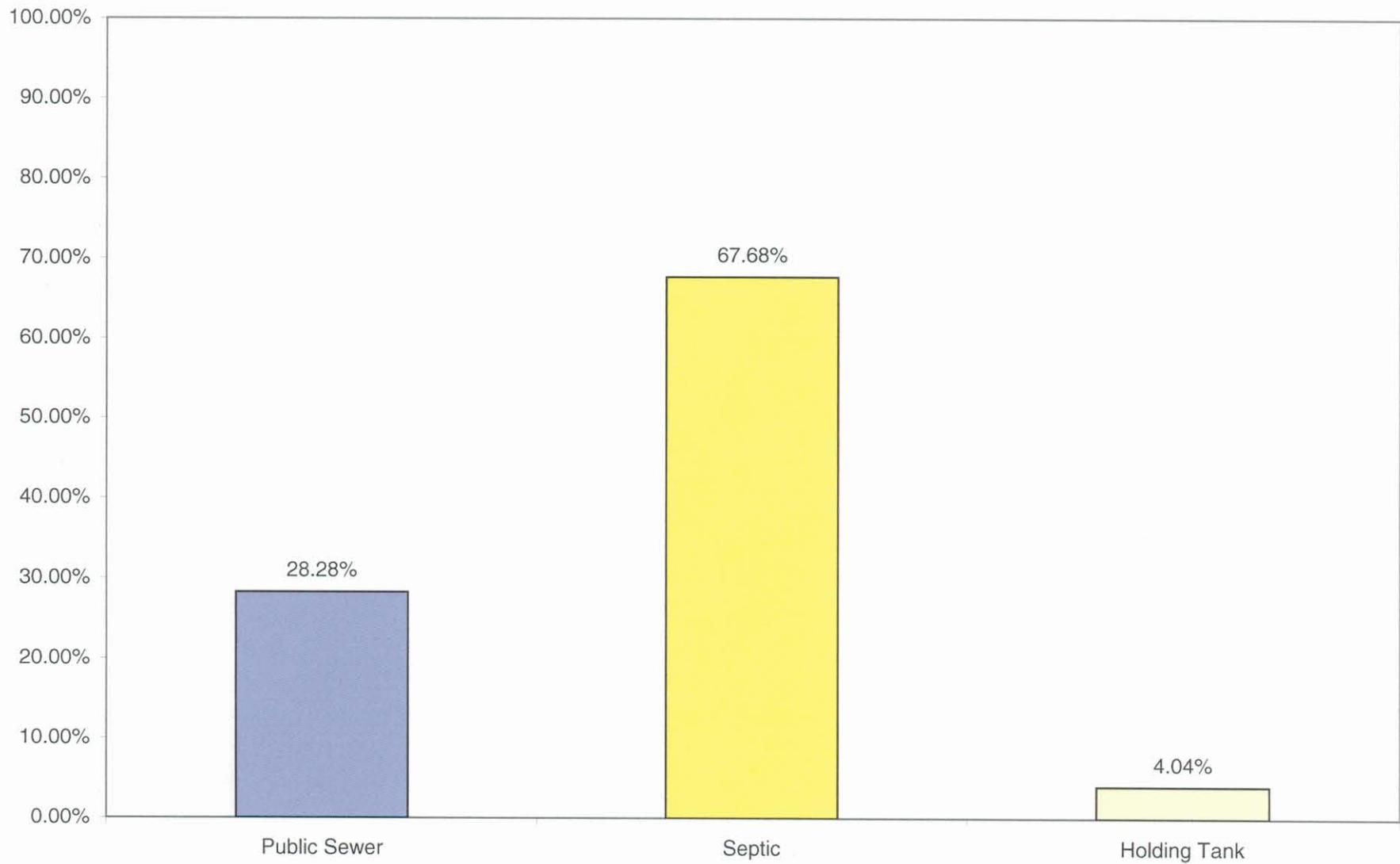
51) Do you plan on living in town in 5 years?



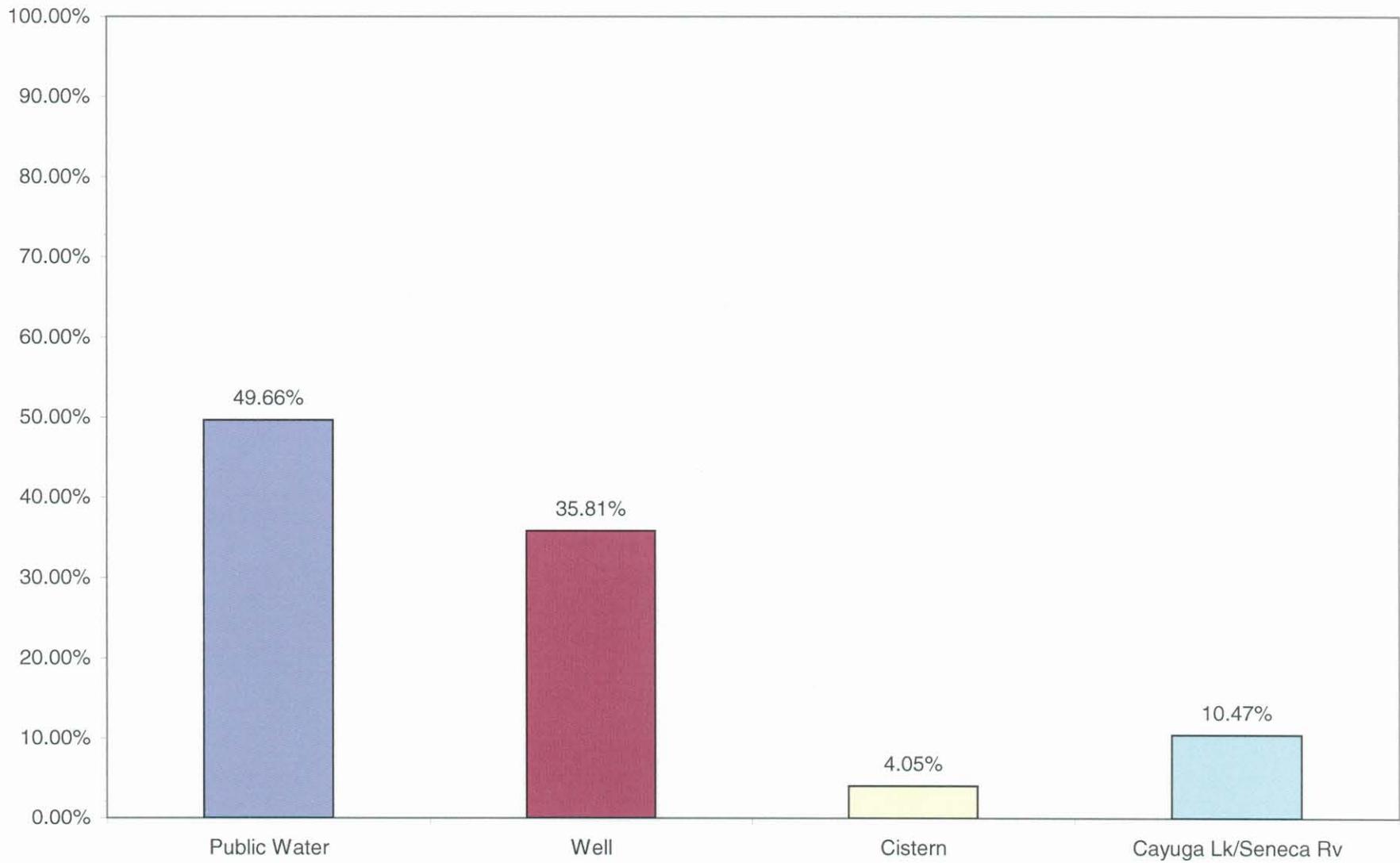
52) Do you rent or own your home?



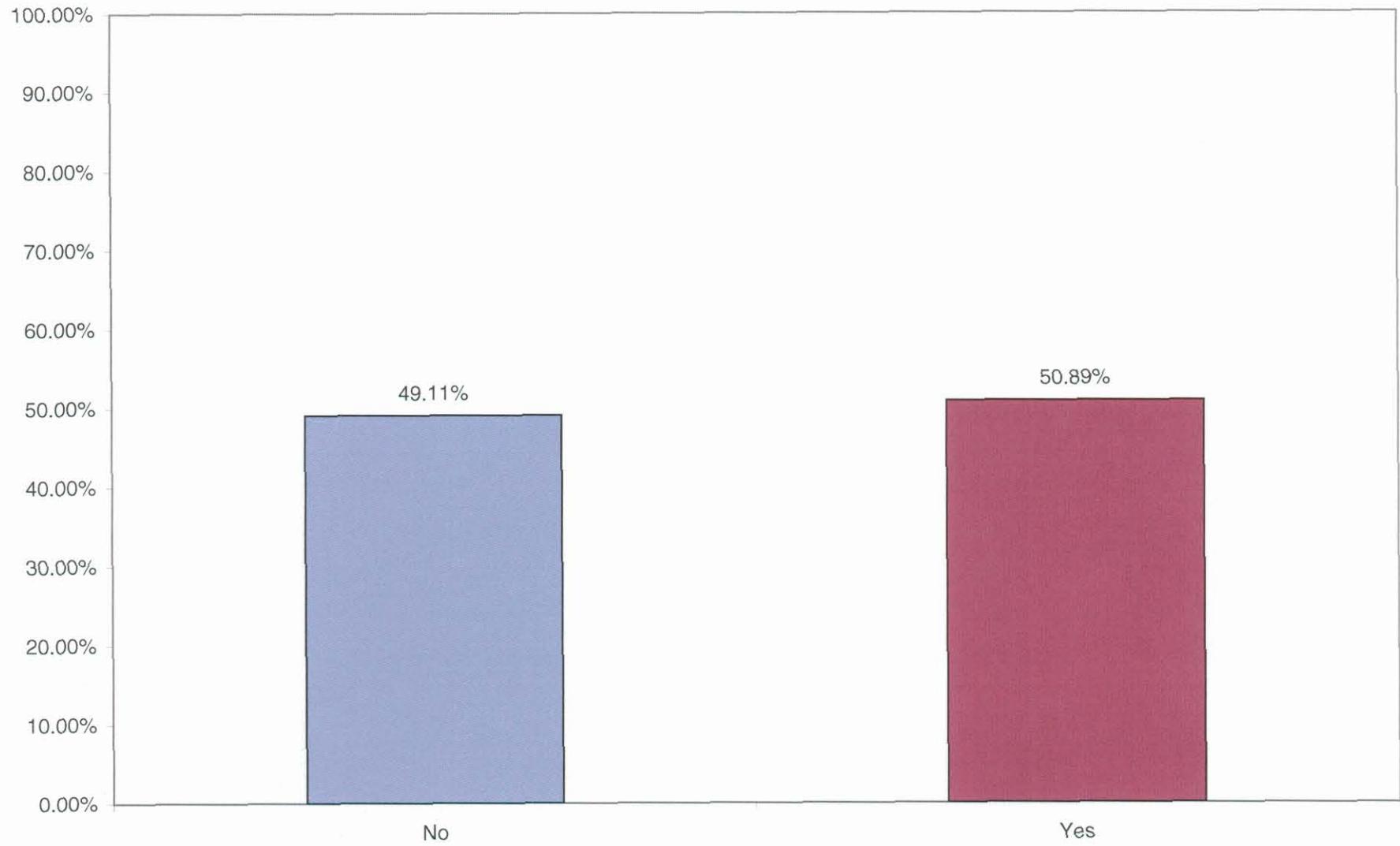
53) Are you on a septic system or public sewer?



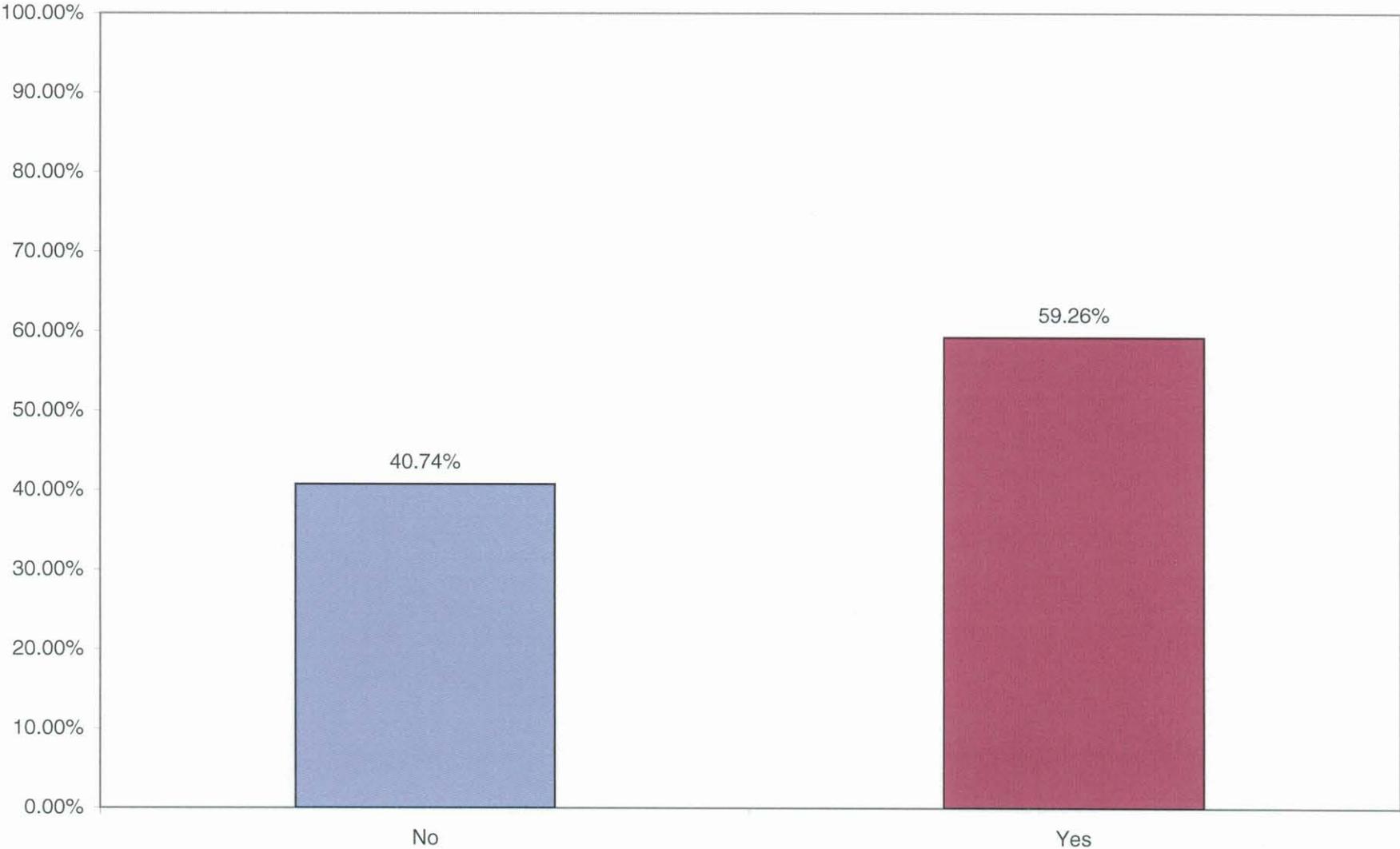
### 54) Where does your water supply come from?



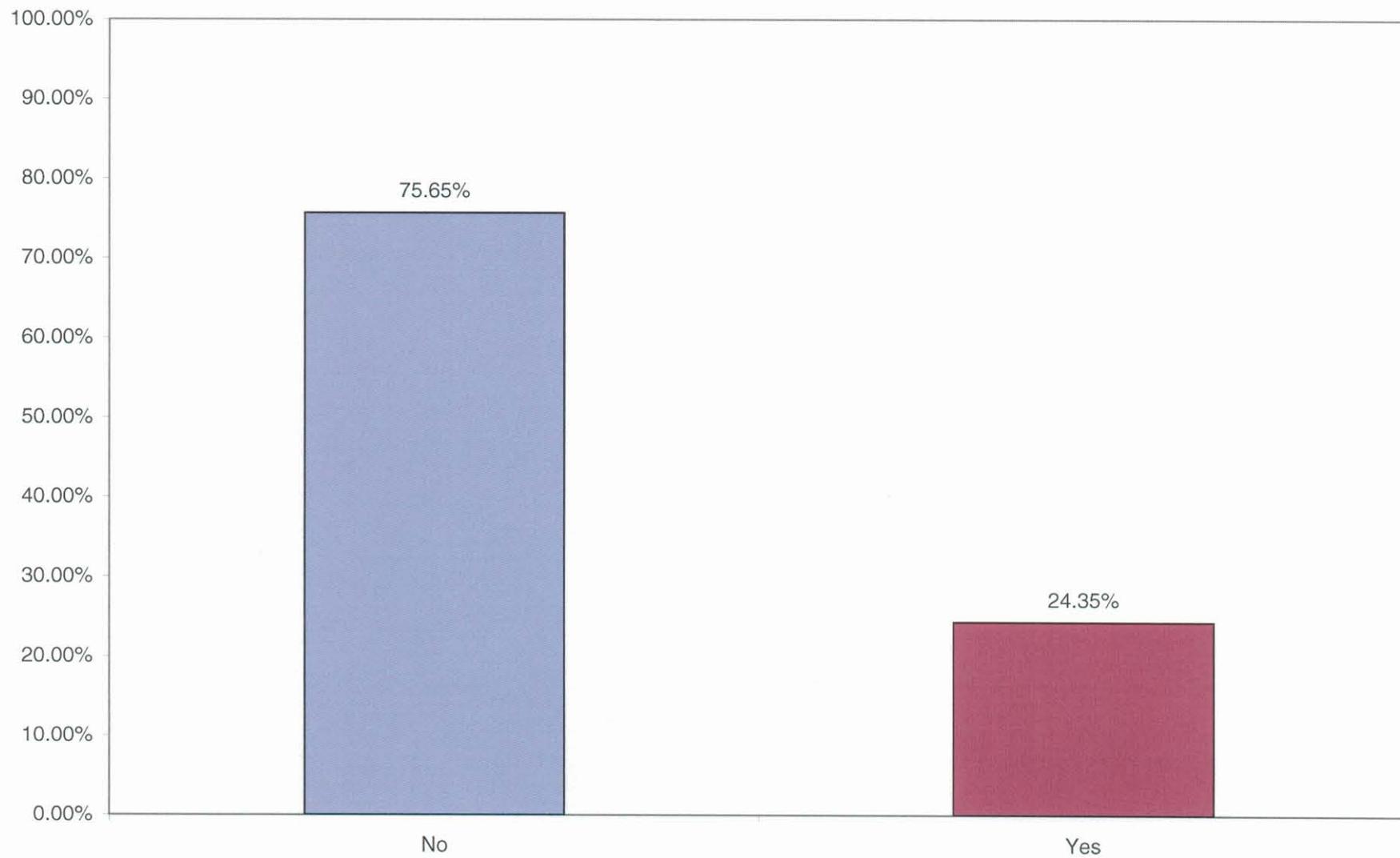
55) Do you drink the water from your well?



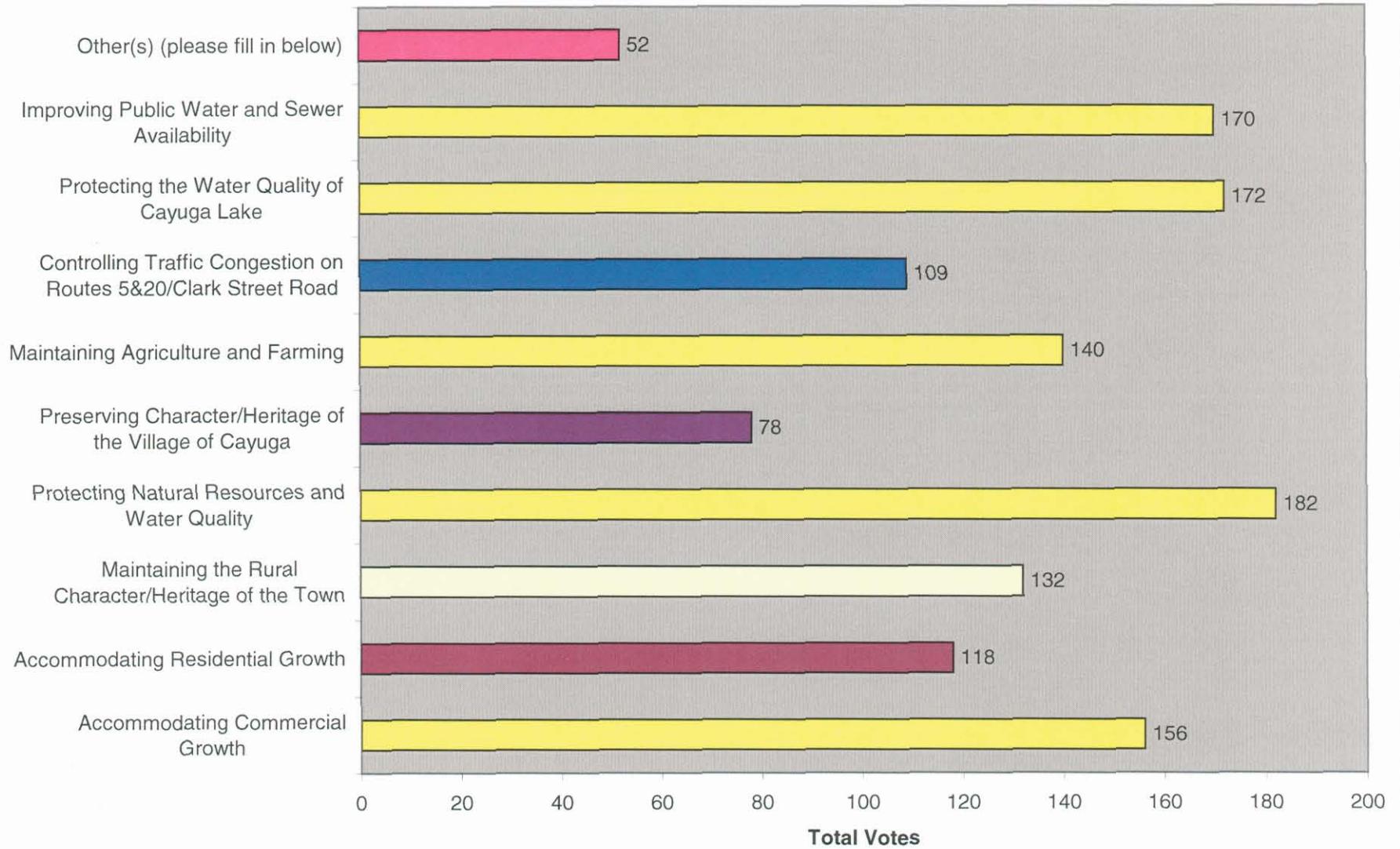
56) Do you have problems with the water quality from your well?



57) Do you have problems with the water quantity from your well?



### 58) Biggest challenge facing Aurelius



**Question**

326 Total Surveys  
Tally based upon number of questions answered

**1 Which of the following best describes the part of town you live in?**

	TOTAL
Route 5 and Route 20/ Clark Street Road	72
East of Half Acre Road	48
Village of Cayuga	78
(Route 90/ River Road area)	78
North of Route 5 and Route 20/ Clark Street Road	80
Between Route 5 and Route 20/ Genesee St. Road	52
South of Genesee St. Road	38
other	26

**2 Please rate the Following items in their importance to you**

	Very Important	Important	Not Important	Sums
a. Agricultural Appearance of the Area	120	151	34	305
b. Farming and agriculture of the as a business	129	136	45	310
c. Connection to the heritage of the town	69	144	83	296
d. Existing mix of building styles (appearance of buildings)	59	170	68	297
e. Employment Opportunities	169	97	36	302
f. Living close to my job	105	104	88	297
g. Community services (e.g., fire, police, highway protection)	229	68	21	318
h. Reasonable cost of living	249	57	17	323
i. The rural character of the town	156	120	25	301
j. Opportunity for outdoor sports and recreation	123	127	62	312
k. Close to family and friends	112	144	47	303
l. Quality of Housing	152	147	9	308
m. Quality of school district	176	97	29	302
n. Living on, or near, Cayuga Lake	74	101	125	300
o. Recreation opportunity of Cayuga Lake	83	119	98	300
p. Living near the City of Auburn	48	149	120	317
q. A clean and healthy environment ( clean water and clean air)	244	51	8	303
r. Leaving our descendants a community similar to the present	140	128	24	292

**3 Please rate Aurelius in the following areas:**

	Excellent	Good	Poor	Sums
a. Agriculture and farming	141	141	2	284
b. Style of Existing Buildings (architecture)	48	237	25	310
c. Employment Opportunities	8	122	151	281
d. Community services (e.g., fire, police, highway maintenance)	114	169	24	307
e. cost of living	30	222	45	297
f. The rural character of this town	80	204	14	298
g. Opportunity for outdoor sports and recreation	50	189	44	283
h. Close to Family and Friends	69	195	26	290
i. Quality of housing	38	233	18	289
j. Quality of school district	80	196	12	288
k. Living on, or near Cayuga Lake	66	90	32	188
l. Recreation opportunity of Cayuga lake	65	174	43	282
m. A clean and healthy Environment	69	189	38	296
n. Availability of shopping and restaurants	53	188	59	300
o. Traffic Volume	45	207	48	300

4 Should the Town encourage the continuation of Farming in the town?	<i>Encourage</i>	<i>Discourage</i>	<i>No Change</i>	<i>No Opinion</i>	<i>% Encourage</i>	<i>% Discourage</i>	<i>% No Change</i>	<i>% No Op.</i>
	214	6	63	22	0.70	0.02	0.21	0.07
Total Votes:				305				

5 Is it important to maintain the rural character of this town?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	214	30	33	0.77	0.11	0.12
Total Votes:			277			

6 Should the Town encourage/limit the conversion of farms to residential?	<i>Encourage</i>	<i>Limit</i>	<i>No Opinion</i>	<i>% Encourage</i>	<i>% Limit</i>	<i>% No Op.</i>
	62	195	45	0.21	0.65	0.15
Total Votes:			302			

7 Should the town encourage/ limit the conversion of farms to retail/ commercial?	<i>Encourage</i>	<i>Limit</i>	<i>No Opinion</i>	<i>% Encourage</i>	<i>% Limit</i>	<i>% No Op.</i>
	54	212	36	0.18	0.70	0.12
Total Votes:			302			

8 Is it important for the town/village to have affordable housing?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp.</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	88	169	30	11	0.30	0.57	0.10	0.04
Total Votes:				298				

9 How Important is future residential Development in the town?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp.</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	56	183	44	12	0.19	0.62	0.15	0.04
Total Votes:			295					

10 Where should residential development take place in the	TOTAL
Near Auburn	150
Near the Village of Cayuga	81
North/ Rt. 5&20/ Clark St. Rd.	35
South/Rt. 5&20/ Clark St. Rd.	32
Anywhere in town	108
Other Specific Area	10

11 Should the Town encourage or minimize further single family residential development?	<i>Encourage</i>	<i>Minimize</i>	<i>No Change</i>	<i>No Opinion</i>	<i>% Encourage</i>	<i>% Minimize</i>	<i>% No Change</i>	<i>% No Op.</i>
	182	58	41	15	0.61	0.20	0.14	0.05
Total Votes:		296						

12 Should the Town encourage or minimize apartments or rental unit development?	<i>Encourage</i>	<i>Minimize</i>	<i>No Change</i>	<i>No Opinion</i>	<i>% Encourage</i>	<i>% Minimize</i>	<i>% No Change</i>	<i>% No Op.</i>
	41	138	45	25	0.16	0.55	0.18	0.10
Total Votes:		249						

13 Should the Town concentrate residential development in areas that are already developed?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	172	57	66	0.58	0.19	0.22
Total Votes:		295				

14 Should there be more housing opportunities for senior citizens?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	181	33	82	0.61	0.11	0.28
Total Votes:		296				

15 Should there be more housing opportunities for first time home buyers?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	181	36	80	0.61	0.12	0.27
Total Votes:		297				

16 Should the town encourage or minimize housing opportunities for seniors and first time home buyers?	<i>Encourage</i>	<i>Minimize</i>	<i>No Change</i>	<i>No Opinion</i>	<i>% Encourage</i>	<i>% Minimize</i>	<i>% No Change</i>	<i>% No Op.</i>
	160	41	52	43	0.54	0.14	0.18	0.15
Total Votes:		296						

17 What type of new housing do you feel is best for the town?	<i>Single Family units</i>	<i>Duplex</i>	<i>Apartments</i>	<i>Senior Housing</i>	<i>Mixed Housing</i>	<i>No Opinion</i>
	210	20	21	103	70	33

18 Would you support concentrating future housing near Auburn and/or near the Village of Cayuga as opposed to distributing houses throughout the Town?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	167	66	66	0.56	0.22	0.22
Total Votes:		299				

19 Is it important for the Town to establish architectural design standards for new housing?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	48	109	113	28	0.16	0.37	0.38	0.09
Total Votes:		298						

20 Do you feel additional commercial development is good for the future of this town?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	247	32	21	0.82	0.11	0.07
Total Votes:		300				

21 Do you support retail development like Bass Pro Shop, restaurants and retail chain stores?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	235	18	11	0.89	0.07	0.04
Total Votes:		264				

22 Where do you prefer <u>commercial</u> development to be located in town?	<i>Close to Fingerlakes Mall</i>	<i>Close to Village</i>	<i>Route 90</i>	<i>Route 326</i>	<i>Other</i>
	275	55	42	37	15

23 Where do you prefer <u>industrial</u> development to be located in the town?	<i>Close to Fingerlakes Mall</i>	<i>Close to Village</i>	<i>Route 90</i>	<i>Route 326</i>	<i>Other</i>
	183	36	40	40	20

24 Is it important for the town to prevent Routes 5 and 20/Clark Street Road from becoming as congested as Grant Avenue in Auburn and Sennett?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	187	87	30	0.62	0.29	0.10
Total Votes:		304				

25 Are sidewalks, bike paths, and pedestrian connections important to commercial areas?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	84	127	67	23	0.28	0.42	0.22	0.08
Total Votes:		301						

26 Should the town minimize or encourage more <u>retail</u> development in the town?	<i>Encourage</i>	<i>Minimize</i>	<i>No Opinion</i>	<i>% Encourage</i>	<i>% Minimize</i>	<i>% No Op.</i>
	221	55	24	0.74	0.18	0.08
Total Votes:		300				

27 Should the town minimize or encourage more <u>industrial</u> development in the town?	<i>Encourage</i>	<i>Minimize</i>	<i>No Opinion</i>	<i>% Encourage</i>	<i>% Minimize</i>	<i>% No Op.</i>
	200	74	21	0.68	0.25	0.07
Total Votes:		295				

28 Would you like our commercial area to contain a mix of uses (retail, commercial, and residential) in close proximity?	Yes	No	No Opinion	% Yes	% No	% No Op.
	187	70	44	0.62	0.23	0.15
Total Votes:		301				

29 Should the town promote development in a concentrated growth center near existing commercial development as opposed to encouraging growth evenly throughout the town?	Yes	No	No Opinion	% Yes	% No	% No Op.
	199	57	43	0.67	0.19	0.14
Total Votes:		299				

30 Should the town set architectural standards for commercial buildings?	Yes	No	No Opinion	% Yes	% No	% No Op.
	173	73	53	0.58	0.24	0.18
Total Votes:		299				

31 Should water and sewer be extended into new areas in town?	Yes	No	No Opinion	% Yes	% No	% No Op.
	235	31	27	0.80	0.11	0.09
Total Votes:		293				

32 If you do not have water and sewer services now, what is the maximum amount that you are willing to pay for the costs of extending water and sewer?	\$1,500/yr	\$1,000/yr	\$500/yr	\$0/yr	Have water and sewer already
	16	32	89	40	98

33 Is it important for new residential subdivision to be required to connect to public water?	Very Important	Important	Not Important	No Opinion	% Very Imp	% Imp.	% Not Imp.	% No Op.
	119	108	39	20	0.42	0.38	0.14	0.07
Total Votes:		286						

34 It is important for new residential subdivisions to be required to connect to public sewers?	Very Important	Important	Not Important	No Opinion	% Very Imp	% Imp.	% Not Imp.	% No Op.
	124	99	43	24	0.43	0.34	0.15	0.08
Total Votes:		290						

35 Is it important for new commercial and industrial development to be required to connect to public water and sewers?	Very Important	Important	Not Important	No Opinion	% Very Imp	% Imp.	% Not Imp.	% No Op.
	182	89	17	15	0.60	0.29	0.06	0.05
Total Votes:		303						

36 Do you believe that sewers are important to protect Cayuga Lake from being polluted by failing or flooding septic systems?	Yes	No	No Opinion	% Yes	% No	% No Op.
	250	21	20	0.86	0.07	0.07
Total Votes:		291				

37 What type of development should be a priority for public water and sewer?	<i>Commercial and Industrial</i>	<i>Residential</i>	<i>Waterfront Homes</i>	<i>Agricultural</i>	<i>Community Facilities</i>	<i>None</i>	<i>No Opinion</i>
	224	174	191	64	176	2	16

38 Are you concerned with increasing traffic on Routes 5 and 20/Clark Street Road?	<i>Very Concerned</i>	<i>Concerned</i>	<i>Not Concerned</i>	<i>No Opinion</i>	<i>% Very Conc.</i>	<i>% Conc.</i>	<i>% Not Conc.</i>	<i>% No Op.</i>
	53	84	142	6	0.19	0.29	0.50	0.02
Total Votes:		285						

39 Are you concerned with increasing traffic or speeding on other roads?	<i>Very Concerned</i>	<i>Concerned</i>	<i>Not Concerned</i>	<i>No Opinion</i>	<i>% Very Conc.</i>	<i>% Conc.</i>	<i>% Not Conc.</i>	<i>% No Op.</i>
	92	122	72	6	0.32	0.42	0.25	0.02
Total Votes:		292						

40 Where is the most troubled are of the town with respect to traffic?	<i>Rt.5/20Clark Street</i>	<i>Route 90</i>	<i>Genesee Street Road</i>	<i>Other</i>
	100	48	12	23

41 How important is it to you to limit vehicles stopping, turning, entering or exiting major routes in the Town?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	43	87	125	38	0.15	0.30	0.43	0.13
Total Votes:		293						

42 How important is it to link the town's commercial centers and residential areas with designated areas for walking and bicycling?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	53	115	95	34	0.18	0.39	0.32	0.11
Total Votes:		297						

43 Do you feel that open spaces and outdoor recreational activities are important to the vitality of the town?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	120	128	31	20	0.40	0.43	0.10	0.07
Total Votes:		299						

44 How important is it for residents of the town to have access to Cayuga Lake for recreation?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	147	119	12	15	0.50	0.41	0.04	0.05
Total Votes:		293						

45 Do you feel that there is a need for outdoor athletic fields in town?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	140	74	76	0.48	0.26	0.26
Total Votes:		290				

46 How important is it to provide safe areas for walking and bicycling throughout the Town?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	92	120	51	33	0.31	0.41	0.17	0.11
Total Votes:		296						

47 How important is it to you to protect the water quality of Cayuga Lake?	<i>Very Important</i>	<i>Important</i>	<i>Not Important</i>	<i>No Opinion</i>	<i>% Very Imp</i>	<i>% Imp.</i>	<i>% Not Imp.</i>	<i>% No Op.</i>
	225	59	8	5	0.76	0.20	0.03	0.02
Total Votes:		297						

48 Is it important for the town/village to take an active role in protecting the water quality of Cayuga Lake?	<i>Yes</i>	<i>No</i>	<i>No Opinion</i>	<i>% Yes</i>	<i>% No</i>	<i>% No Op.</i>
	257	11	18	0.90	0.04	0.06
Total Votes:		286				

49 What is your age group?	<i>18-25</i>	<i>26-35</i>	<i>36-45</i>	<i>46-55</i>	<i>56-65</i>	<i>Over 65</i>
	1	18	52	77	87	67

50 How long have you lived in this Town?	<i>&lt; 10 years</i>	<i>10-20 years</i>	<i>&gt;20 years</i>	<i>% &lt; 10 years</i>	<i>% 10-20 years</i>	<i>% &gt;20 years</i>
	65	55	175	0.22	0.19	0.59
Total Votes:		295				

51 Do you plan on living in the town in 5 years?	Yes	No	% Yes	% No
	277	12	0.96	0.04
Total Votes:		289		

52 Do you rent or own your home?	Rent	Own	% Rent	% Own
	1	292	0.00	1.00
Total Votes:		293		

53 Are you on a septic system or public sewer?	Public Sewer	Septic	Holding Tank	% Public	% Septic	% Holding
	84	201	12	0.28	0.68	0.04
Total Votes:		297				

54 Where does your water supply come from?	Public Water	Well	Cistern	Cayuga Lk/Seneca R	% Public Water	% Well	% Cistern	Cayuga Lk/Seneca Rv
	147	106	12	31	0.50	0.36	0.04	0.10
Total Votes:		296						

55 Do you drink the water from your well?	No	Yes	% No	% Yes
	55	57	0.49	0.51
Total Votes:		112		

56 Do you have problems with the water quality from your well?	No	Yes	% No	% Yes
	44	64	0.41	0.59
Total Votes:		108		

57 Do you have problems with the water quantity from your well?	No	Yes	% No	% Yes
	87	28	0.76	0.24
Total Votes:		115		

58 Biggest challenge facing Aurelius:	TOTAL
a Accommodating Commercial Growth	156
b Accommodating Residential Growth	118
c Maintaining the Rural Character/Heritage of the Town	132
d Protecting Natural Resources and Water Quality	182
e Preserving Character/Heritage of the Village of Cayuga	78
f Maintaining Agriculture and Farming	140
g Controlling Traffic Congestion on Routes 5&20/Clark Street Road	109
h Protecting the Water Quality of Cayuga Lake	172
i Improving Public Water and Sewer Availability	170
j Other(s) (please fill in below)	52

Town copy



## DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

David C. Miller  
Director

County Office Building, 160 Genesee Street, Auburn, New York 13021  
Voice: (315) 253-1276

Email: [planning@co.cayuga.ny.us](mailto:planning@co.cayuga.ny.us)  
Fax: (315) 253-1499

11/13/03

Ed Ide  
Supervisor, Town of Aurelius  
Aurelius Town Offices  
1241 W. Genesee Street Road  
Auburn, NY 13021

Dear Ed:

At the special meeting to consider approaches to developing a town plan held 10/29 we were asked to prepare and submit by December 1 site plan review guidelines for use by the Town in considering project proposals in the Town's commercial and industrial zones. We have prepared the requested guidelines and copies for each town board member and the town clerk are enclosed.

This should be considered a draft. Please review it, delete provisions that you feel do not apply, suggest alternatives where you feel they are needed. Return the edited draft and we will make the changes needed to reflect your suggestions.

We have reviewed the Aurelius zoning law and note that your site plan review provision differs from the typical approach. Specifically, you reserve the site plan approval authority to the Town Board. Most of the time the Planning Board is charged with approving the site plan. This is an important distinction. If the Planning Board were responsible for acting on site plans, then, the Town Board would have to formally approve any guidelines. The Town Board itself, as an elected body, has a great deal of discretion. It does not need to formally approve its own guidelines. Although I think it would be prudent to do so.

Please note that the guidelines are not a law or regulation. They merely set out a standard by which you can evaluate a proposal when it is presented for review. An applicant may offer alternatives and explain why they are preferable to your guidelines; you may or may not agree. This approach can be employed since the site plan review process is not determinant of whether or not the proposed use can occur. It can, your law permits it. The process simply addresses the manner in which the proposed use will occur.

I hope you find this material helpful and look forward to working with you and the Town as we all respond to the new challenges the Bass Pro project will bring to the area.

Best Regards,

A handwritten signature in black ink, appearing to read "Dave Miller".

Dave Miller  
Director, Planning and Development

# TOWN OF AURELIUS

## SITE PLAN REVIEW

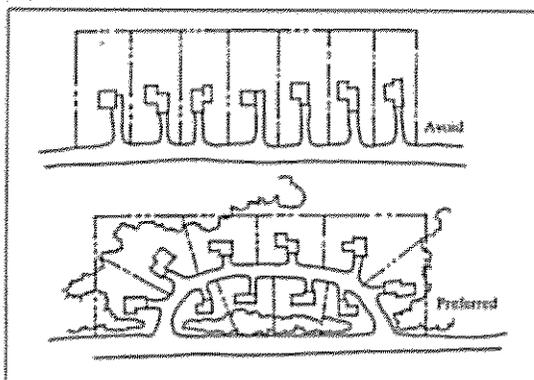
## DESIGN GUIDELINES

**I. Site Ingress and Egress**

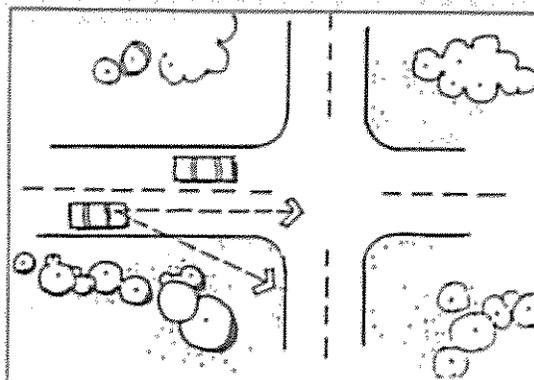
During the project design phase, an analysis of the proposed development's impact on increased traffic flow should be provided along with the application for review.

Joint and Cross Access

Similar land uses should provide, when possible, interaction between properties and joint access to arterials and/or collector streets adjacent to the development. Shared access minimizes disruption of highway traffic flow, reduces potential conflict between through and turning traffic, and facilitates the control and separation of vehicles and pedestrians movement.



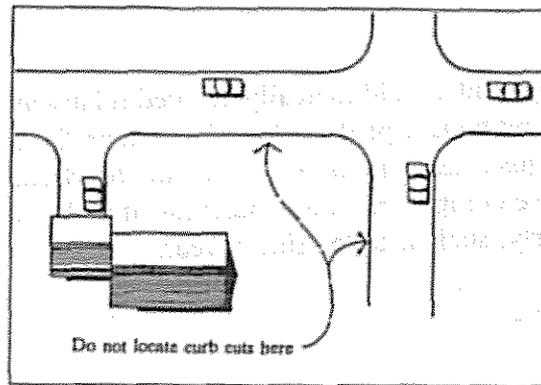
Along streets and highways plant materials must be selected and placed to avoid blocking sight lines at intersections and curb cuts. Along utility rights of way, plantings should not disrupt service or access to overhead or underground equipment.



Driveways and/or service roads should be shared between developments to reduce curb cuts and new road connections on Route 5/20 or other impacted highways.

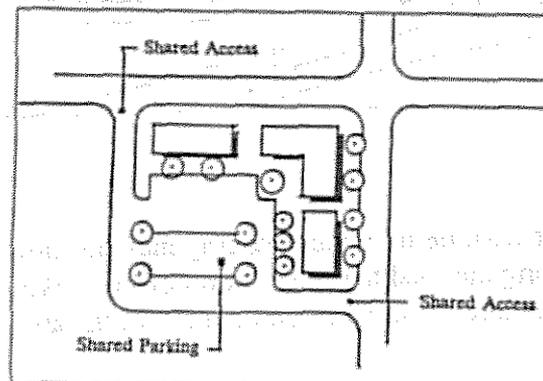
Curb Cuts

Entrances and exits should be located at a safe distance from street intersections and should not create a dangerous situation for pedestrians and/or motorists.



Since numerous curb cuts will significantly slow traffic flow and create conflict between through traffic and turning vehicles, and increasing the number of driveway intersections along a street corridor decreases capacity and reduces speed, curb cuts should be carefully placed to assure vehicular safety and to maintain vehicular flow. Adequate sight distances, determined by highway traffic speed, must be established at all curb cuts.

One or two access points should serve clusters of commercial establishments. Within a development, commercial establishments should be connected by interior access roads and shared parking areas. Adequate setbacks should be maintained along the road to permit buffer plantings to screen parking areas from highway view. Encourage consolidation of new driveways with existing ones.



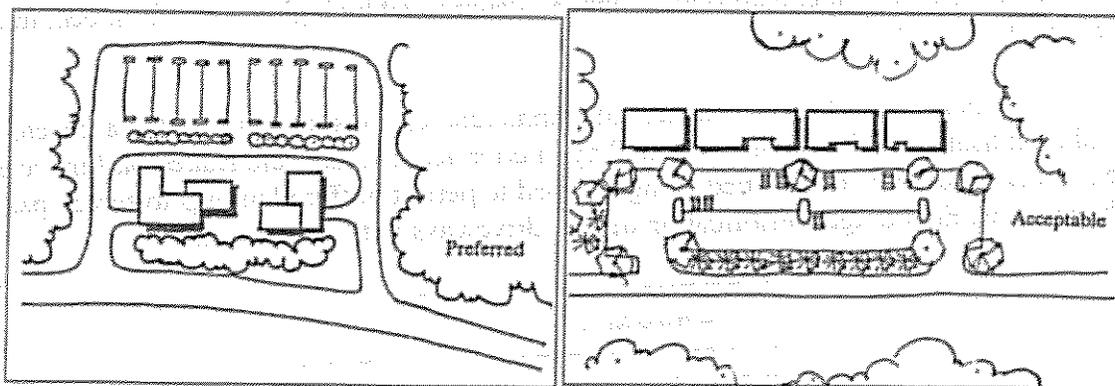
Entrances should be designed for safety and convenient turning, permitting access by fire and rescue vehicles. Entrances should also include gateway treatments to improve aesthetics of new access roads and driveways.

## II. Parking

Roadside commercial development should logically be sited relatively close to the Routes 5/20 or other highway, not be set back behind huge asphalt parking lots where the contents of display windows cannot be readily seen, and where signs must very large to be readable. Because paved parking spaces are undoubtedly the least attractive component of any business, it makes greater sense to downplay them in less visible parts of the property, such as to the side or rear.

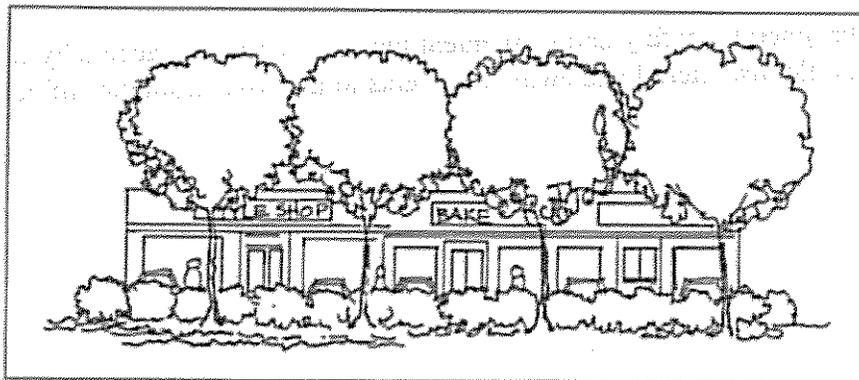
### Parking location and street access

Parking areas should be located in close proximity to the proposed land use. In locating parking areas on site plans, attempt to locate parking to the side or rear of the property, leaving the front yard abutting the street as green space. If this is not possible then screen front yard parking from the street with trees and shrubs.



### Screening

In areas where rear parking is not feasible front yard parking may be allowed with the establishment of a planting of a landscape buffer along the road to screen views of the parking lot. In addition to a minimum 10' landscaping buffer, a wall, hedgerow, berm or combination of the above is encouraged as an effective screening treatment.



### Number and Type of Parking Spaces

Since it is difficult to pre-judge the required parking spaces due to size of vehicles anticipated, the project sponsor is encouraged to seek variances for designs that further achieve the objectives of these guidelines. The need for greater green space must balance with the need for adequate and appropriate parking.

New York State law requires that any shopping center with at least five separate retail stores or at least 20 off street parking spaces provided for the public must designate 5 percent or ten spaces whichever ever is less, for persons with disabilities.

Space should be provided for the parking of bicycles.

On street parking is not permitted.

#### Covered Parking

When covered parking is included in a segment of the site plan; the structure should be architecturally compatible with the remainder of the development. The exterior should maintain the same architectural integrity as the main building and be constructed of the same materials and colors as the main building.

#### Construction Materials

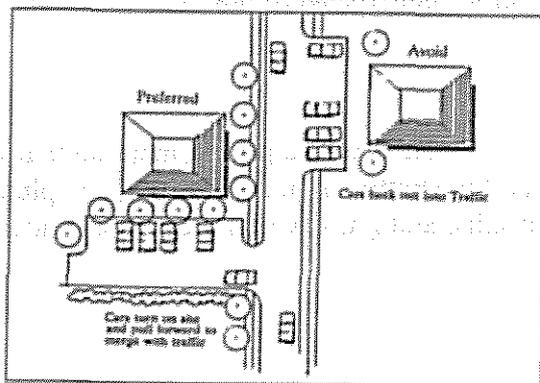
Use appropriate design materials, i.e., curbing and paving material that will withstand local freeze thaw cycles, frequent rain and snow and the battering of snowplows, and plant species that have high canopy, withstand carbon monoxide and salts, and grow well in tree walks under gates or in narrow planting strips.

### III. On-Site Pedestrian and Vehicular Circulation

Secure and convenient pedestrian walkway access should be provided from parking lots, sidewalks and primary entrances to commercial, industrial, and office facilities. Sidewalks in and around commercial and industrial facilities should be a minimum of 4'0" wide. Barrier-free circulation should be incorporated into commercial, industrial and office walkway systems for use by the handicapped.

Breakup the black top and help pedestrian circulation by installing brick pavers or textured surfaces for crosswalks.

Parking spaces should have wheel stops and/or curbs to assist in orderly parking and to separate pedestrian walkways from vehicular traffic. All vehicular maneuvering requirements for entry and exit to and from individual parking spaces should be executed entirely on site.

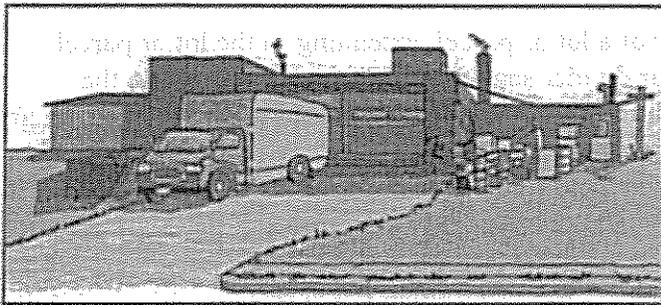


### IV. General Landscaping Treatment

#### Landscaping

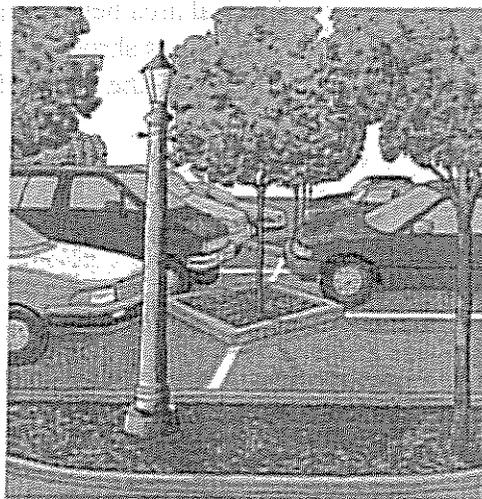
All site plans should include a landscape plan prepared by a licensed landscape architect.

All yards are expected to be planted in grass. Yards abutting public or private streets or rights of way should include low maintenance shrubs and trees that are natural to this region. A diversity of plant species should be used to provide contrasting forms. Plantings along street frontages should reinforce the flow of the street and bridge gaps between buildings. Trees and shrubs should be placed in such a way as to accent entry ways to public areas such as parking lots and doorways and screen non-public areas such as loading docks, garbage storage areas, utility areas and the like.



*Unightly views, such as rear storage areas, can be screened with natural combinations of evergreens and low plantings or berms.*

Adjacent to and within parking areas landscaping should be provided. Parking lot interiors should include green features. Consider dividing parking rows with planting strips and tree islands or including shade trees placed in diamond shaped tree islands. These can be installed with no loss of land area for parking spaces.



*Diamond shaped tree islands 6 feet wide provide a shade tree every 4 to 6 stalls, without losing a single parking space. Planting islands with gaps in the curbs can allow natural drainage of stormwater.*

The goal of the plan should be to avoid the appearance of a vast empty space. The paved areas of large parking lots should be interspersed with landscaped views containing trees and/or other natural growing

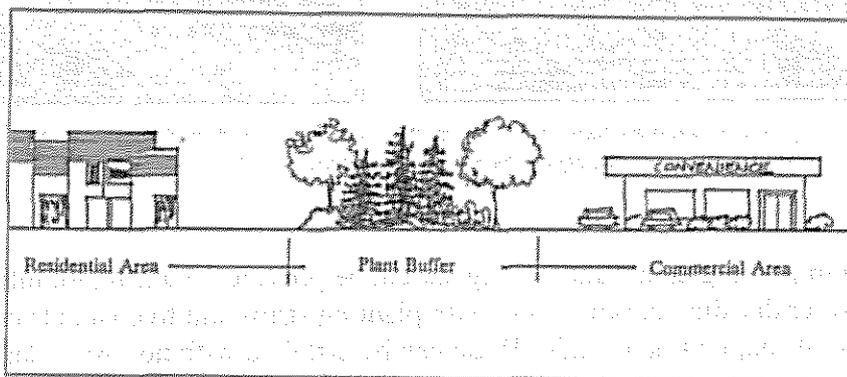
materials. Unrelieved expanses of asphalt or concrete are monotonous while also detracting from the overall attractiveness of the site.

Bufferyards

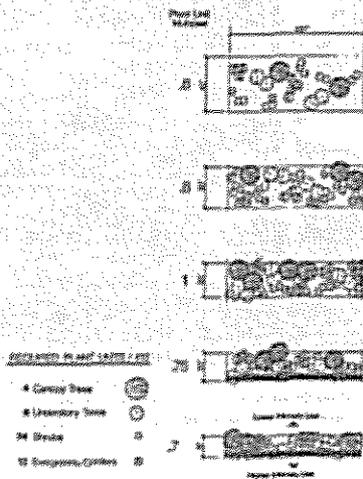
The bufferyard is a unit of yard together with the planting thereon. Both the amount of land and the type and amount of planting recommended for the bufferyard is designed to mitigate nuisances between adjacent land uses or between land uses. Bufferyards are intended to separate different land uses from each other in order to eliminate or minimize nuisances such as dirt, litter, noise, glare from lights, signs, and unsightly buildings and parking areas.

Bufferyards are expected as part of site plans for land use classes 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 51, 52, 53, 54, 55, 56, 57, 58, and 60 and land uses in other classes or vacant land that is zoned for agricultural or residential uses.

Bufferyards should be located on the outer perimeter of a lot or parcel, extending to the lot or parcel boundary line. When a street, river, rail line or similar divider separates the proposed use from the adjacent use, the bufferyard should be placed up to the divider. Bufferyards should not be located on any portion of an existing or proposed public or private street or right of way.



Preferred Buffer – The illustration below depicts the total area between two uses. In all bufferyards, evergreen or conifer shrubs may be substituted for deciduous shrubs without limitation. In the 15 and 20-ft. options a 6-ft. tall masonry wall may be incorporated into the buffer design.



## V. General Location and Arrangement of Buildings and Other Structures

### Site Layout

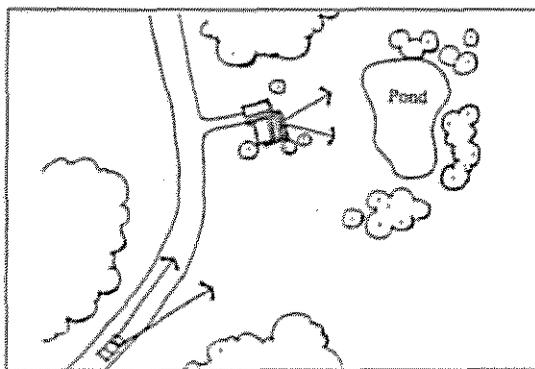
Building placement and lot layout should be designed to provide a functional relationship to the site's topography, existing vegetation and other pertinent natural features.

All development proposals should survey and document existing site conditions. Natural land features should be recognized and integrated into the site plan. Stream, hillsides, ponds, rock formation, unique vegetation, and similar natural features should be considered strong design determinants and incorporated into the overall development concept to strengthen the unique quality of the landscape and enhance recreational opportunities.

Awareness of existing natural conditions can help avoid site problems associated with floodplains, steep slopes, drainage ways, rock outcrops, and other sensitive features. Strive to minimize site disturbance and to maintain the pattern of natural land features on the site.

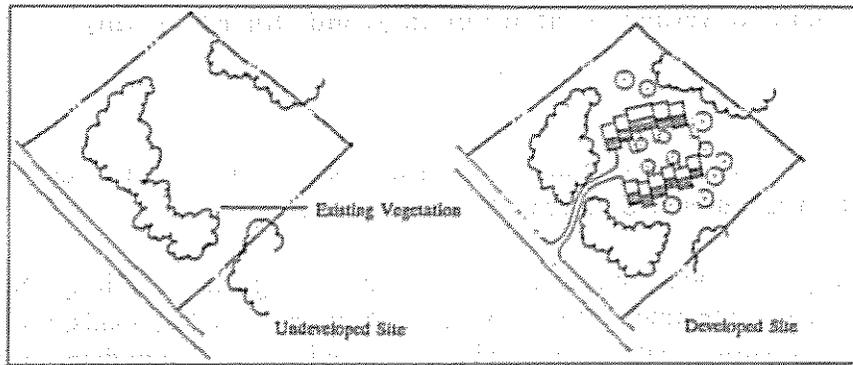
### Scenic Views

The siting of buildings should take advantage of river, lake, and agricultural/pastoral views. Site organization should also consider the impact of new structures on views from off-site. Access to views should be preserved for adjacent property owners and passing motorists. When considering preservation of views along a road or highway, it should be noted that a 60 degree core of vision is generally directed straight ahead of the line of movement.



### Open Space

Well-designed use of open space can reduce the perceived development density, while the same time, be used as an effective buffer to and from adjacent properties. Open space also provides recreational opportunities, avenues for pedestrian circulation and passive space for relaxation. Provisions for open space within a development allow for recreational opportunities and reduce the perceived development density.



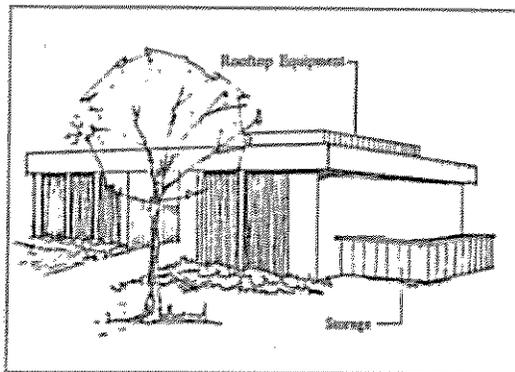
## VI. Locations of Other Facilities

### Equipment Placement

All transformers, lift stations, utility meters, and other machinery should be located at the rear of the building not in the front streetscape. When no rear access is present or placement in the rear is not feasible for technical reasons, the equipment should be painted a similar muted color, grouped and concealed with shrubs.

### Outdoor Storage Areas

These areas should be conveniently located and accessible for normal service and maintenance needs. Air-conditioning equipment, trash facilities, electric utility boxes, satellite dishes and other ground level utilities should be unobtrusive when viewed from the public right-of-way and adjacent land uses. Areas which generate noise and odors should be located where they will not impact adjacent uses. All outdoor storage areas should be located at the rear of the building and screened from view from the street and adjoining uses. If screening is accomplished with materials other than natural landscaping those materials should be of a material and color similar to the primary building.

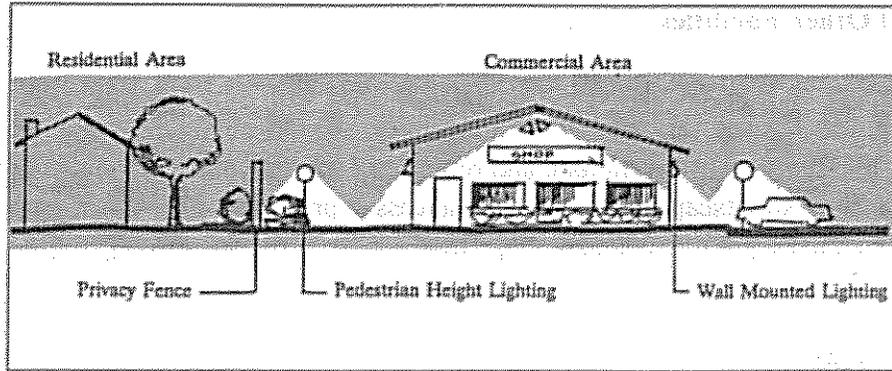


### Service Areas

Service areas should be located at the rear of the building and screened from view from the street and adjoining uses. Building service and loading areas should be conveniently located and accessible for normal service and maintenance needs. Service and loading areas should incorporate appropriate techniques for visual and noise buffering from adjacent uses.

### Lighting

Lighting of a site should provide security and visual interest but not project adverse glare onto adjacent properties or distract motorists. Particular emphasis should be placed on appropriate lighting at parking lot entrances, exits, and barriers. All lighting should be positioned to minimize glare and illumination beyond the development. Lights should be located at pedestrian height whenever possible.



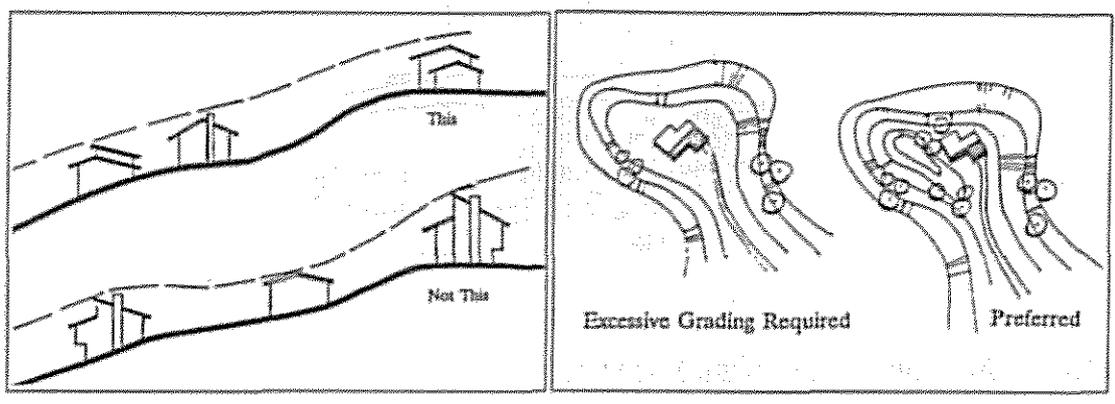
**Utilities**

Utilities should be situated below ground when feasible.

VII. General Visual Description/Effects on Appearance/Relationship to Community Character

Site Configuration

Building form and siting should respond to the topography and be consistent with significant landforms. Siting should minimize disruption of natural terrain and use landforms to create boundaries and buffer separations between distinct communities and different land uses. Building forms should not compete or overshadow the natural landforms of a site. New structures should relate to the natural terrain. When building on a hillside, the architectural form of the structure or structures should reflect the underlying topographic form and retain the integrity of the natural slope.



Architectural Form

Architectural standards should be applied consistently throughout the development. Emphasis should be placed on creating an interesting visual impression, particularly from public rights-of-way and adjacent lands. The use of different textures, complementary colors, shadows lines, detailing, and contrasting shapes to create an appealing façade is strongly encouraged. The use of single colors, bold colors and/or black walls is discouraged. All proposed building and structures should be sensitive to existing community character. This includes:

1. Maintain the existing proportional relationship between buildings, open spaces, and building setbacks.
2. The color, height, materials, and façade treatment on new development should not dramatically contrast with the predominant style of adjacent buildings and structures.
3. Buildings should achieve a human scale and interest.

Given the rural character of the Town of Aurelius, the architecture of new development should be in harmony with this rural character and should incorporate architectural forms from the surrounding area in its design.

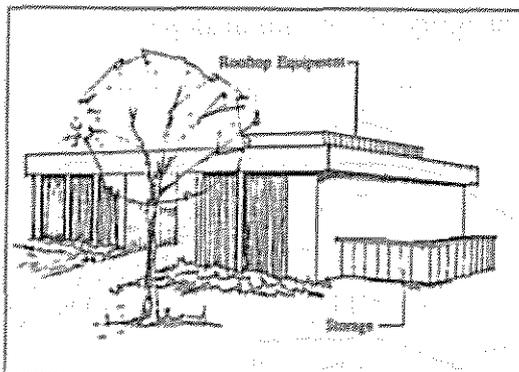
Exterior Materials

The quality of exterior materials should be sufficiently durable to guarantee low maintenance, stability, and a reasonable life span.

Mechanical Equipment

**Rooftop Mechanical Equipment** - Rooftop mechanical equipment should be screened from public view by the use of architecturally compatible materials.

**Ground level Mechanical Service Equipment** - Landscaping, walls, fencing, or other design treatments compatible with the finishes of the principal structure should be used to screen service areas, mechanical equipment, air-conditioning equipment, trash facilities, utility boxes and meters from public view.



Automatic Teller Machines and Vending Machines

Exterior automatic teller machines and vending machines (freestanding and attached) should be designed to compliment the site architecture. The scale, texture, colors and detailing should be integrated with those of the accompanying building.

Hazardous Glares/Reflections

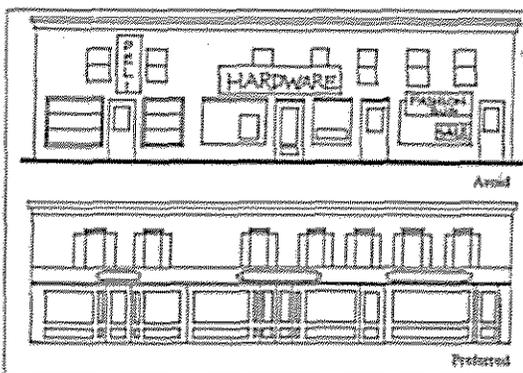
Highly reflective surfaces that create hazardous glares are discouraged.

### VIII. Signage

Attractive, coordinated, well-designed signs have a positive impact on both local businesses and the community. They provide a defined identification of individual businesses; stimulate business performance; create a pleasing environment that will attract people; and enhance the image of the community.

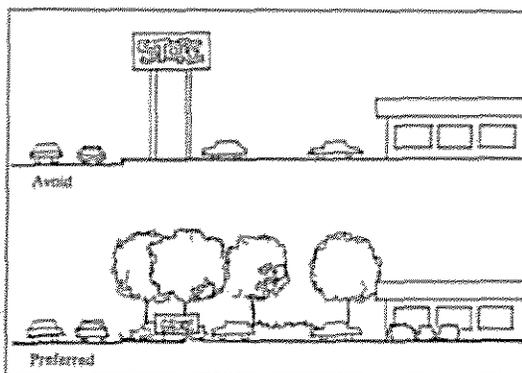
The dimensions and number of signs permitted by the Town of Aurelius Zoning Law must be adhered to. Sign variances should be discouraged.

Signage needs should be determined primarily by criteria established by the buildings architecture, the relative size of the sign, and the message. Signs should be an integral design element of a building's architecture and be compatible with the buildings style in terms of location, scale, color, and lettering.



Consideration for sign placement should take into account whether the sign will be viewed by pedestrians, motorists, or both. Signage should be considered within its setting and designed according to the scale, texture, and proportion in which it will ultimately be viewed. Signs should be legible and appropriate to the business and its project image.

Freestanding signs should consist of materials and colors similar to the primary structure. Wall signs should not be more than 15 feet above grade level. Monument signs, along major corridors, should be integrated with the landscaping for the site.



Freestanding sign relating to an assemblage of businesses, e.g., shopping centers should be grouped and visually coordinated to reduce confusion.



Ad Hoc Planning Committee and Planning Board Meeting  
Tuesday, January 6, 2004 7 pm  
Town Hall

Present: Jerry Scouten, Dick Stark, Connie Patterson, Janine Garropy, Stephanie Church,  
John Greer, John Lawler

Planning Board Meeting

Meeting convened at 7:05.

Jerry reviewed terms that he and Debbie Pinkney set for each of the five members of the board.

Jerry asked who needed copy of the zoning book. Janine needs one.

Subdivision requirements are out of date (written 15 to 20 years ago) and need to be reviewed. Bouley is continuing to work in their subdivision. That is the only subdivision currently in process or in the planning stage at this time.

Also need to deal with Bass Pro development. County has advised that our current zoning book is in pretty good shape. We'll need to tweak it over time, but it will hold us in good stead for the time being.

The planning board will meet on the first Tuesday of each month at 6:30.

Meeting concluded at 7:15.

Ad Hoc Committee Planning Meeting

Meeting convened at 7:15.

The group introduced themselves.

The group elected Ted Herrling as chair and Jim Taber as co-chair.

The goal of the committee is to try to chart the direction the town needs and wants to grow in to meet the needs of the various interests of the town: business, agriculture, residential, camping. Identify the characteristics of the town that are special that we want to preserve. This is the direction for the long term. The last plan comprehensive plan was written in 1970 with the assistance of a company from Ithaca.

Stan Hoskins asked the committee if we want to create the plan on our own, or if we want to work with Dave Miller and Amy from the county, or if we want to find the funds to hire an outside company to work with us. No one knows the town like we do; that being said, the company from Ithaca did a very nice job getting to know the town.

The Ithaca company addressed the town in sections and asked what the town wanted for each. They then had the zoning book modified so that it reflected the goals laid out in the plan.

Ted asked if the town budgeted for an outside firm. No, but we could come up with the funds. The engineering firm that presented to the town board provided a rough estimate of \$50K-60K. Dave Miller hasn't provided any figures, but has said the county can do the same thing for less money.

Mark Harris joined the meeting at 7:20.

Dave Miller estimated the process takes about 2 years to develop a comprehensive plan.

Connie Patterson asked what grants are available. The group discussed asking the Town Board to put feelers out to Nozzolio for a member item for assistance with this project, particularly in light of Bass Pro. Ted will ask the Town Board to contact Nozzolio's office.

Short term: East end commercial development – Mall to Half Acre.

Long term: what do we do with all of 5&20 and beyond? What infrastructure do we need to put in place to support the growth that we want? What type of housing do we want? Are the costs worth it?

The group discussed obtaining plans from similar towns throughout the state. Possible towns discussed are Fleming, Pittsford (John Lawler has a copy), Owasco, Verona. Pittsford is a model community. Their strengths are the plan is well documented enough that they were able to force McDonald's and Wegmans to redesign their buildings to comply with the town regulations. The drew from the community to build the vision of what the town should look like so that by the time they finished the plan, there was almost no resistance to it. The town of Pittsford did a lot of preparation work (20-25 meetings) to shape their vision before they turned it over to the consultant.

How do we get participation from town people? People need a good reason to show up. Cold calls to residents in particular areas?

How do we, the committee, learn more about community planning? John L. said we had asked Dave Miller for recommendations for resources, including any upcoming seminars.

The Ad Hoc Committee will meet on the first Tuesday of each month at 7:30. Ad Hoc Committee members are welcome to come early for the Planning meeting at 6:30.

What should our next five steps be?

1. Everyone should read the zoning book and familiarize themselves with the 1970 plan.

2. Ask the Town Board to approach Nozzolio. Stan will research what the town budgeted.
3. Obtain other plans
  - a. Fleming – Stephanie – what pitfalls and stumbling blocks? How do we get started?
  - b. Pittsford – John Lawler
  - c. Owasco – John Greer
  - d. Ira - Ted
  - e. Verona
  - f. Ithaca
  - g. Perinton?
  - h. Others?
4. Ted will ask Dave Miller to put together a proposal for a comprehensive plan in writing – 1 page with figures.
5. Jim Taber suggested we should add information about the Planning Board and Ad Hoc Committee, and the meeting times, to the Town of Aurelius web site (tied to the county site?). Ted will talk with Debbie.
6. In preparation for the next meeting, each member should think about how they would like to see the town broken out into sections. Jerry will talk with Dave Miller about getting maps that we can use.
7. Connie will search for grant money that's available.

Mark Harris will distribute information he received at a county training session on how to build a comprehensive plan.

What ever plan we come up with will only be as good as the ideas and vision that we, the town residents, can come up with.

The group discussed the need to break the town up into sections that we can use for planning – Clark Street corridor, 326, Cayuga, etc. By being specific, we can potentially get interest from town members.

How do we communicate with the members of the town? Newsletters, web site, etc. The Citizen won't publish the minutes from any town meetings. Ted suggested that Jerry try to get a public interest story in the paper about the Ad Hoc committee's activities. Newsletter frequency – quarterly? The Cayuga newsletter is published quarterly and is mailed with the water bills. Debbie was nominated to put the newsletter together.

Stephanie will ask Debbie to e-mail the minutes to everyone.

Agenda for next meeting:

What can we still use from the 1970 plan?

Discuss possible ways to section the town for planning purposes.

What process do we want to follow to develop a master plan?

Ad Hoc Committee Member E-Mail Addresses  
1-6-2004

John Lawler: [lawler@baldcom.net](mailto:lawler@baldcom.net)

Jim Taber: Debbie has it

Dick Stark: [marjestark@bald.com](mailto:marjestark@bald.com)

Mark Harris: [mharris@fluids.ittind.com](mailto:mharris@fluids.ittind.com)

Janine Garropy: [jg6511@yahoo.com](mailto:jg6511@yahoo.com)

Don Huber: [cengraving@aol.com](mailto:cengraving@aol.com)

Connie Patterson: [connie7641@aol.com](mailto:connie7641@aol.com)

John Greer: [john@homsite.org](mailto:john@homsite.org)

Ted Herrling: [herrling@co.cayuga.ny.us](mailto:herrling@co.cayuga.ny.us)

Stan Hoskins: [shoskins@baldcom.net](mailto:shoskins@baldcom.net)

Stephanie Church: [s.church@dwdiesel.com](mailto:s.church@dwdiesel.com)

Gerry Scouten: Debbie has it

TOWN OF AURELIUS AD HOC COMMITTEE  
JANUARY 6, 2004  
7:00 pm

Members Present: John Greer, John Lawler, Stephanie Church, Jim Taber, Connie Patterson, Richard Stark, Ted Herrling, Don Huber, Stanley Hoskins for Paul Pinckney, Janine Garropy, Mark Harris, Gerry Scouten.

All attendees introduced themselves to other members.

A motion by John Greer, seconded by Gerry Scouten, to appoint Ted Herrling as chair and Jim Taber as co-chair of the Ad Hoc Committee was accepted by the members.

Gerry Scouten gave an overview of the purpose of this committee. Its primary purpose is to come up with a Town Master Plan for development, site plan review and update of the Zoning Law.

The committee discussed various issues on how to proceed, available funding and interested parties who could assist or be contracted with. Stanley Hoskins had a copy of the last Master Plan that was completed in 1970. John Lawler mentioned the Town of Pittsford, NY and knew individuals involved with the preparation of their plan. Other members mentioned Master Plans for Towns of Owasco, Fleming, Sennett?, Verona, Ira, etc. Members mentioned working with a private consultant or using Dave Miller at County Planning.

The committee discussed that it would be beneficial to reuse any components of the 1970 plan that haven't changed, for example, the soil maps.

Members felt it was important to know the process to follow for preparing a Master Plan and Mark Harris said he had some material that may be helpful.

The committee discussed ways to communicate with the residents of the town in order to get them involved in the process. In particular, the need to publicize meeting dates for the Town Board, Planning Board and Ad Hoc Committee. The possibility of a Town News Letter was discussed. Gerry Scouten will contact the Post Standard and the Citizen to see if they would be interested in writing an article on the process. Members also discussed updated the Town's web site to include the dates and time of the various committee meetings and other information on the planning process.

Action Items:

- Stanley Hoskins will approach the Town Board so they can contact Mike Nozollio to see if there is any funding available to help pay for the preparation of the Master Plan.

- Get members copy of the present Towns Zoning Law. Members should review before the next meeting.
- Members will seek out copies of various town Master Plans and distribute them to the rest of the committee for review.
- Ted Herrling will ask Dave Miller for a one page proposal including cost for development of Master Plan
- Members need to look at Zoning map and think on how to proceed in developing different areas of the Master Plan.

The committee will meet on the first Tuesday of each month. The next meeting is February 3, 2004 at 7:30 following the Planning Board meeting.

**Subject:** [Fwd: Aurelius Plan proposal]

**Date:** Mon, 12 Jan 2004 09:31:36 -0500

**From:** Ted Herrling <herrling@cayugacounty.us>

**To:** Connie Patterson <connie7641@aol.com>, Debbie Pinckney <aureclerk@localnet.com>, Don Huber <cengrading@aol.com>, Janine Garropy <jg6511@yahoo.com>, John Lawler <lawler@baldcom.net>, John Greer <john@homesite.org>, Stanley Hoskins <shoskins@baldcom.net>, Stephanie Church <s.church@dwdiesel.com>, Jim Taber <jtaber@cayugacounty.us>, Dick Stark <mariestark@baldcom.net>

Here is Dave Miller's proposal for your review

----- Original Message -----

**Subject:** Aurelius Plan proposal

**Date:** Fri, 09 Jan 2004 09:47:19 -0500

**From:** Dave Miller <dmiller@co.cayuga.ny.us>

**To:** Ted Herrling <herrling@co.cayuga.ny.us>

Ted - As you requested I have attached a short proposal outlining the scope of work Cayuga County Planning would propose to undertake for the Town of Aurelius if the Town wished to have us prepare a comprehensive plan. Please let me know if you require additional information. Dave Miller

 Aurelius proposal.doc	<b>Name:</b> Aurelius proposal.doc <b>Type:</b> Microsoft Word Document (application/msword) <b>Encoding:</b> base64
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## PROPOSAL FOR COMPREHENSIVE PLAN DEVELOPMENT

Submitted to – the Town of Aurelius

Submitted by – Cayuga County Planning & Development

1/9/04

The undertaking of a comprehensive (or master) planning process is a major commitment of time and effort on the part of a community. In order to develop a plan for a community that is truly useful it is necessary to systematically review all aspects of the community as it exists today, consider what about the current situation is desirable and should be protected and enhanced, and what about it is negative and needs to be changed. It then becomes necessary to discuss and consider how to go about doing this.

The process begins by establishing a local planning committee. **Cayuga County Planning will work with that committee to prepare the plan.** The first order of business will be to establish a meeting schedule. Typically these kinds of groups meet monthly.

The first substantive step in the process would be for the committee to sponsor a series of visioning sessions. These sessions would be widely promoted and seek to involve as many local residents as possible. **The Cayuga County Planning staff will lead these visioning sessions.** The staff is trained in this work and has successfully conducted these programs in several other communities. These sessions begin to focus on the positive and negative issues that the committee will need to address in its planning work.

**The staff will prepare written reports summarizing the sessions** and laying out the path to address the various issues raised in an orderly manner.

**County Planning will prepare statistical data and maps** that together illustrate social and economic conditions as well as natural conditions that will influence development to supplement the visioning sessions findings.

These materials and the visioning sessions will lead the committee to consider certain ideas for particular parts of town. But, it will be critical to involve the various parts of town in the process and see if the views of people who live and work in these areas match up with the ideas the committee may be formulating. **The staff will work with the committee to conduct a series of neighborhood meetings to solicit input to the planning process.** In Aurelius these neighborhoods might include West Genesee Street Road, Clark Street, Elmhurst, Beechtree Rd. area, Cayuga Village / Rt. 90 area, the agricultural community, commercial property owners. Based on these meetings, **the staff will prepare a series of neighborhood reports to be incorporated into the plan.**

While this process is going on, the **County Planning staff** with the help of individual committee members and town officials **will**, to the extent applicable and desirable to the Town, **compile information** on various topics that will influence the decisions that will ultimately be made concerning the plan: **history and historic resources; housing characteristics; business development and economic base; natural resources and environmental issues; agricultural resources; utilities; transportation system; parks and open space; and public facilities.**

All of the material developed above will be organized by the staff into a format that will permit the committee to make planning decisions on a neighborhood and/or topic basis. The staff will attend the working sessions where the committee will consider this material and reach planning decisions. The staff will facilitate the committee's deliberative processes in analyzing this material but the decisions will be up to the committee.

The staff will prepare a draft plan (text and maps) based on the planning decisions reached by the committee. The plan will include as appropriate the materials prepared throughout the process. The staff will work with the committee to refine the plan from draft to final stage, along with the committee present it to the public in a public meeting, and present it to the Aurelius Town Board for approval. The staff will make revisions as requested by the Town Board.

The final plan will include an action element that will point the Town toward implementation of the plan.

The Cayuga County Planning Department will provide the Town with at least one copy of each document produced for each committee member, each Town Board member, and the Town Clerk. A digital copy of all documents will be provided by email to the Town Clerk so that the Town may print as many copies as it wishes.

Cayuga County Planning envisions this project lasting two years. The Department's standard charge for a one-year comprehensive planning project is \$7500; therefore, the fee for this project would be \$15,000.

Dave Miller  
Director, Planning and Development

# Town of Aurelius

Edward J. Ide Jr.  
Supervisor

1241 West Genesee Street Road  
Auburn, New York 13021  
(315) 255-1894

Paul Pinckney  
Deputy Supervisor

Stanley Hoskins  
Councilman

Assemblyman Brian Kolb  
69 South Street  
Auburn, N.Y. 13021

1-6-04

James Bona  
Councilman

Dear Assemblymen Kolb,

Stephanie Church  
Councilwoman

Deborah A Pinckney  
Town Clerk

As you know Aurelius will soon be the host of a Bass Pro Shop. This should be a significant boom to the area. Aurelius is determined to make most out of this opportunity for the Town and the community as a whole. In doing so we also want to seize the moment responsibly in order to maximize the value and minimize the negative. In order to meet these goals we have chosen to update the towns very outdated comprehensive plan. As I am sure you are aware, this is both an expensive and labor intense project. We have assembled a diverse and dedicated group of town's people to pursue this project and feel confident that with the help of a trained facilitator we will be successful for the benefit of all.

It is our understanding that there are grants available to pay for these expert services. We would greatly appreciate your guidance and assistance in securing some of these grant funds.

Sincerely,



Edward J. Ide Jr.





THE ASSEMBLY  
STATE OF NEW YORK  
ALBANY

BRIAN M. KOLB  
Assemblyman 129<sup>th</sup> District  
Cayuga, Cortland, Onondaga,  
Ontario and Seneca Counties

VICE-CHAIR  
Minority Program Committee  
RANKING MINORITY MEMBER  
Banks Committee  
COMMITTEES  
Energy  
Higher Education  
Tourism, Arts, and Sports Development

January 14, 2004

Hon. Edward Ide Jr., Supervisor  
Town of Aurelius  
1241 West Genesee Street Road  
Auburn, NY 13021

Dear Supervisor Ide:

Thank you for writing to me recently to request my support as the Town of Aurelius undertakes an updating of the comprehensive plan. I appreciate you contacting me about this most important matter.

During this exciting time for the Town of Aurelius, I am happy to suggest several agencies which you may find beneficial. The New York State Department of Economic Development may prove useful for assistance with the comprehensive plan; while the Governor's Office of Small Cities maybe able to assist with funding.

I have already written to the NYS Department of Economic Development on your behalf, please find letter enclosed, and have provided contact information for these offices below. I would also be happy to provide the Town of Aurelius with a letter of support at the time of your application.

Once again, thank you for contacting me regarding this issue. As always, if I can ever be of any assistance to you, please do not hesitate to contact me at my district office in Geneva.

Sincerely,

Brian M. Kolb  
Member of Assembly  
129<sup>th</sup> Assembly District

BMK/def

Enc: Letter to NYS D.O.E.  
Contact information

*CONTACT INFORMATION*

New York State Department of Economic Development  
Regional Director Jack Kinnicut  
400 Andrews Street, Suite 710  
Rochester, NY 14604  
(585) 325-1940  
or on the web: [www.empire.state.ny.us](http://www.empire.state.ny.us)

NY Governor George Pataki's Office for Small Cities  
Director Glenn King  
Empire State Plaza  
State Agency Building 4  
Albany, NY 12224-0341  
(518) 474-2057



STATE OF NEW YORK  
ALBANY

VICE-CHAIR  
Minority Program Committee  
RANKING MINORITY MEMBER  
Banks Committee

COMMITTEES  
Energy  
Higher Education  
Tourism, Arts, and Sports Development

BRIAN M. KOLB  
Assemblyman 129<sup>th</sup> District  
Cayuga, Cortland, Onondaga,  
Ontario and Seneca Counties

January 14, 2004

Mr. Jack Kinnicut, Regional Director  
NYS Department of Economic Development  
400 Andrews Street, Suite 710  
Rochester, NY 14604

Dear Director Kinnicut:

I am writing to you today to request your assistance for the Town of Aurelius, in Cayuga County.

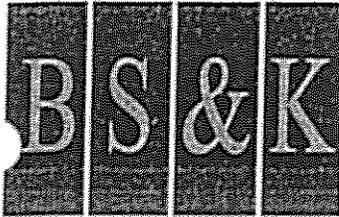
As you are aware, the Town of Aurelius is preparing for a large economic surge due to the addition of a Bass Pro Shop at the Finger Lakes Mall. Per the attached letter, the town is now undertaking a comprehensive plan update. Any assistance or programs your office might be able to suggest would greatly be appreciated.

Thank you for your attention to this issue. As always, if I can ever be of any assistance to you, please do not hesitate to contact me at my district office in Geneva.

Sincerely,

Brian M. Kolb  
Member of Assembly  
129<sup>th</sup> Assembly District

BMK/def  
Enc: Town of Aurelius Letter



# Land Use and Development Information Memo

January 2004

Bond, Schoeneck & King, PLLC  
New York

Albany • 518-462-7421  
Buffalo • 716-566-2800  
Oswego • 315-343-9116  
Syracuse • 315-218-8000  
Utica • 315-738-1223

Kansas

Overland Park • 913-345-8001

Bond, Schoeneck & King, P.A.

Florida

Bonita Springs • 239-947-6816  
Naples • 239-262-8000

## Real Estate, Environmental and Finance Department

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Levin M. Bernstein  
Gregory J. Champion  
John B. Elleman  
Robert H. Feller  
H. Dean Heberlig, Jr.  
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Kevin M. Pole  
Paul W. Reichel  
Virginia C. Robbins  
Teresa M. Roney  
Robert R. Tyson  
Joseph Zagranicny

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## FOR OUR MUNICIPAL CLIENTS: DEALING WITH NON-CONFORMING USES: ONE SIZE DOES NOT FIT ALL

"Non-conforming use" is the term used to describe a use that is inconsistent (non-conforming) with the zoning code, but which predates the code. Because the use predates the code, it is generally "grandfathered" and can legally continue. When zoning was in its infancy, it was thought that these non-conforming uses would eventually wither on the vine and be replaced by conforming uses. In fact, experience has shown that many of these non-conforming uses have flourished, acquiring a sort of monopoly position in the area where they operate, since new operations entailing the same use are prohibited. For instance, a grocery store in an area rezoned to permit only residential uses quickly becomes the only game in town.

By definition, non-conforming uses are inconsistent with the community's land use plans. Consequently, many municipalities are faced with the question of how to give some of these uses a little more of a shove out the door.

*AKA destroy business*

The first thing that can be done is to establish a program that verifies that a use truly is entitled to non-conforming status. Even if a use predates a zoning enactment, it is only entitled to non-conforming status if it was being run legally. In addition, if the use is subsequently abandoned or discontinued, it also loses non-conforming status.

Frequently, it is not clear whether a use is entitled to the protection given to non-conforming use status. A municipality can help address these ambiguities by requiring that any use claiming non-conforming status be certified as such and undergo periodic recertification.

Municipalities also retain discretion to determine to what extent non-conforming uses can be interrupted and still retain their status. By local law, a use that is particularly detrimental could lose its status if a short hiatus occurred while others that are viewed as more benign could be afforded more generous treatment.

BOND, SCHOENECK & KING, PLLC  
ATTORNEYS AT LAW • NEW YORK FLORIDA KANSAS



Another question that often arises is whether a non-conforming use can be allowed to expand. Here too municipalities may exercise a great deal of discretion. On one extreme, they can prohibit any expansion. On the other, they could permit limited expansion (usually tied to a percentage of square footage of the original use) or restrict the number of expansions allowed.

Finally, for those uses that a municipality simply cannot tolerate, the law provides that a phase out of the use can be required. In order to avoid a "taking" of private property that would require compensation, enough time for the phase out must be given in order to allow the owner to recover his or her investment.

In summary, non-conforming uses are problems for comprehensive planning, but there are a number of available responses. A municipality should choose the response that best addresses the urgency of its need to restrict or phase out such uses.

If you have any questions, please contact any of the following attorneys:

*In the Capital District, call 518-533-3000 or e-mail:*

Robert H. Feller                      rfeller@bsk.com

*In Central New York, call 315-218-8000 or e-mail:*

Virginia C. Robbins                  vrobbins@bsk.com

*In Western New York, call 716-566-2800 or e-mail:*

Barry R. Kogut                        bkogut@bsk.com

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## **BS&K** Real Estate, Environmental and Finance Legal Services

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The Real Estate, Environmental and Finance Department of Bond, Schoeneck & King, PLLC coordinates the practice of those attorneys who deal with the wide range of legal matters which relate to the ownership, management, development, and regulation of real estate.

The breadth and variety of the work in the Department has greatly expanded over the years, illustrated by the following description of the diverse areas of practice in which the Department lawyers are involved.

- Administrative Law
- Appropriation, Condemnation and Real Property Taxation
- Commercial and Residential Real Estate Transactions
- Construction Matters
- Creditors' Rights, Workouts, and Bankruptcy
- Development
- Energy Law
- Environmental Law
- Municipal Law And Zoning

**Ad Hoc Planning Committee and Planning Board Meeting**  
**Tuesday, January 6, 2004 7 pm**  
**Town Hall**

Present: Jerry Scouten, Dick Stark, Connie Patterson, Janine Garropy, Stephanie Church, John Greer, John Lawler

Planning Board Meeting

Meeting convened at 7:05.

Jerry reviewed terms that he and Debbie Pinckney set for each of the five members of the board.

Jerry asked who needed copy of the zoning book. Janine needs one.

Subdivision requirements are out of date (written 15 to 20 years ago) and need to be reviewed. Bouley is continuing to work in their subdivision. That is the only subdivision currently in process or in the planning stage at this time.

Also need to deal with Bass Pro development. County has advised that our current zoning book is in pretty good shape. We'll need to tweak it over time, but it will hold us in good stead for the time being.

The planning board will meet on the first Tuesday of each month at 6:30.

Meeting concluded at 7:15.

Ad Hoc Committee Planning Meeting

Meeting convened at 7:15.

The group introduced themselves.

The group elected Ted Herrling as chair and Jim Taber as co-chair.



The goal of the committee is to try to chart the direction the town needs and wants to grow in to meet the needs of the various interests of the town: business, agriculture, residential, camping. Identify the characteristics of the town that are special that we want to preserve. This is the direction for the long term. The last plan comprehensive plan was written in 1970 with the assistance of a company from Ithaca.

Stan Hoskins asked the committee if we want to create the plan on our own, or if we want to work with Dave Miller and Amy from the county, or if we want to find the funds to hire an outside company to work with us. No one knows the town like we do; that being said, the company from Ithaca did a very nice job getting to know the town.

The Ithaca Company addressed the town in sections and asked what the town wanted for each. They then had the zoning book modified so that it reflected the goals laid out in the plan.

Ted asked if the town budgeted for an outside firm. No, but we could come up with the funds. The engineering firm that presented to the town board provided a rough estimate of \$50K-60K. Dave Miller hasn't provided any figures, but has said the county can do the same thing for less money.

Mark Harris joined the meeting at 7:20.

Dave Miller estimated the process takes about 2 years to develop a comprehensive plan.

Connie Patterson asked what grants are available. The group discussed asking the Town Board to put feelers out to Nozzolio for a member item for assistance with this project, particularly in light of Bass Pro. Ted will ask the Town Board to contact Nozzolio's office.

Short term: East end commercial development – Mall to Half Acre.

Long term: what do we do with all of 5&20 and beyond? What infrastructure do we need to put in place to support the growth that we want? What type of housing do we want? Are the costs worth it?

The group discussed obtaining plans from similar towns throughout the state. Possible towns discussed are Fleming, Pittsford (John Lawler has a copy), Owasco, Verona. Pittsford is a model community. Their strengths are the plan is well documented enough that

they were able to force McDonald's and Wegmans to redesign their buildings to comply with the town regulations. The drew from the community to build the vision of what the town should look like so that by the time they finished the plan, there was almost no resistance to it. The town of Pittsford did a lot of preparation work (20-25 meetings) to shape their vision before they turned it over to the consultant.

How do we get participation from town people? People need a good reason to show up. Cold calls to residents in particular areas?

How do we, the committee, learn more about community planning? John L. said we had asked Dave Miller for recommendations for resources, including any upcoming seminars.

The Ad Hoc Committee will meet on the first Tuesday of each month at 7:30. Ad Hoc Committee members are welcome to come early for the Planning meeting at 6:30.

What should our next five steps be?

Everyone should read the zoning book and familiarize themselves with the 1970 plan.

Ask the Town Board to approach Nozzolio. Stan will research what the town budgeted.

Obtain other plans

Fleming – Stephanie – what pitfalls and stumbling blocks? How do we get started?

Pittsford – John Lawler

Owasco – John Greer

Ira - Ted

Verona

Ithaca

Perinton?

Others?

Ted will ask Dave Miller to put together a proposal for a comprehensive plan in writing – 1 page with figures.

Jim Taber suggested we should add information about the Planning Board and Ad Hoc Committee, and the meeting times, to the Town of Aurelius web site (tied to the county site?). Ted will talk with Debbie.

In preparation for the next meeting, each member should think about how they would like to see the town broken out into sections.

Jerry will talk with Dave Miller about getting maps that we can use.

Connie will search for grant money that's available.

Mark Harris will distribute information he received at a county training session on how to build a comprehensive plan.

What ever plan we come up with will only be as good as the ideas and vision that we, the town residents, can come up with.

The group discussed the need to break the town up into sections that we can use for planning – Clark Street corridor, 326, Cayuga, etc. By being specific, we can potentially get interest from town members.

How do we communicate with the members of the town? Newsletters, web site, etc. The Citizen won't publish the minutes from any town meetings. Ted suggested that Jerry try to get a public interest story in the paper about the Ad Hoc committee's activities. Newsletter frequency – quarterly? The Cayuga newsletter is published quarterly and is mailed with the water bills. Debbie was nominated to put the newsletter together.

Stephanie will ask Debbie to e-mail the minutes to everyone.

Agenda for next meeting:

What can we still use from the 1970 plan?

Discuss possible ways to section the town for planning purposes.

What process do we want to follow to develop a master plan?

Ad Hoc Committee Member E-Mail Addresses  
1-6-2004

**Town of Aurelius Ad Hoc Committee**

Name	Address	Phone	E-mail
Bodoh, Lori	6499 Beech Tree Rd, Auburn	315-258-8380 (h) 315-730-8525 (c)	lbodoh@yahoo.com
Church, Stephanie Town Board	6416 Short Rd, Cayuga, NY 13034	315-252-6182 (h) 315-253-2324x127 (w)	s.church@dwdiesel.com
Gratton, Mary	6605 St Rte 90N, Cayuga, NY 13034	315-730-8618 (c)	megratton@yahoo.com
Greer, John	6194 Lake Street, Cayuga, NY 13034	315-252-1322 (h) 315-253-8451x231(w)	nycode@localnet.com
Harris, Mark Village Planning Board	6317 Mill Rd, Cayuga, NY 13034	315-253-5326 (h) 315-568-7889 (w)	mharris@fluids.ittind.com
Hayden, Chad	6569 St Rt 90, Cayuga, NY 13034	315-255-0254 (h) 585-334-2578 (w)	ChadHayden@aol.com
Herrling, Ted ZBA Chairman	6529 Beech Tree Rd, Auburn	315-252-0934 (h) 315-253-1530 (w)	herrling@co.cayuga.ny.us
Huber, Don	39 Elmhurst Circle, Auburn	315-255-3212 (h) 315-252-0504 (w)	cengraving@aol.com
Lawler, John	1271 Clark St Rd, Auburn	315-730-6806 (c)	lawler@baldcom.net
Patterson, Connie ZBA Member	1131 Aurelius-Springport Rd	315-253-5966 (h)	connie7641@aol.com
Pinckney, Paul Town Board	2035 Pinckney Rd, Auburn	315-253-4208 (h) 315-730-7110 (c)	pwpfenway@aol.com
Scouten, Jerry Town Planning Chair	1180 W. Genesee St Rd, Auburn	315-253-0751 (h)	
Speno, Gina	Fingerlakes Mall Management	315-255-1188 (w) 315-271-9172 (c)	gina.speno@am.joneslanglasalle.com
Stark, Richard	1985 W. Genesee St Rd, Auburn	315-252-1801 (h)	mariestark@baldcom.net
Taber, James Town Planning Board	1791 W. Genesee St Rd, Auburn	315-255-1435 (h) 315-253-1600 (w)	jtaber@cayugacounty.us
Watkins, Bernard	6702 Beech Tree Rd, Auburn	315-253-8225 (h) 315-730-5785 (c)	bwatkin2@rochester.rr.com

TOWN OF AURELIUS AD HOC COMMITTEE

JANUARY 6, 2004

7:00 pm

Members Present: John Greer, John Lawler, Stephanie Church, Jim Taber, Connie Patterson, Richard Stark, Ted Herrling, Don Huber, Stanley Hoskins for Paul Pinckney, Janine Garropy, Mark Harris, Gerry Scouten.

All attendees introduced themselves to other members.

A motion by John Greer, seconded by Gerry Scouten, to appoint Ted Herrling as chair and Jim Taber as co-chair of the Ad Hoc Committee was accepted by the members.

Gerry Scouten gave an overview of the purpose of this committee. Its primary purpose is to come up with a Town Master Plan for development, site plan review and update of the Zoning Law.

The committee discussed various issues on how to proceed, available funding and interested parties who could assist or be contracted with. Stanley Hoskins had a copy of the last Master Plan that was completed in 1970. John Lawler mentioned the Town of Pittsford, NY and knew individuals involved with the preparation of their plan. Other members mentioned Master Plans for Towns of Owasco, Fleming, Sennett?, Verona, Ira, etc. Members mentioned working with a private consultant or using Dave Miller at County Planning.

The committee discussed that it would be beneficial to reuse any components of the 1970 plan that haven't changed, for example, the soil maps.

Members felt it was important to know the process to follow for preparing a Master Plan and Mark Harris said he had some material that may be helpful.

The committee discussed ways to communicate with the residents of the town in order to get them involved in the process. In particular, the need to publicize meeting dates for the Town Board, Planning Board and Ad Hoc Committee. The possibility of a Town News Letter was discussed. Gerry Scouten will contact the Post Standard and the Citizen to see if they would be interested in writing an article on the process. Members also discussed updated the Town's web site to include the dates and time of the various committee meetings and other information on the planning process.

Action Items:

- Stanley Hoskins will approach the Town Board so they can contact Mike Nozollio to see if there is any funding available to help pay for the preparation of the Master Plan.

- Get members copy of the present Towns Zoning Law. Members should review before the next meeting.
- Members will seek out copies of various town Master Plans and distribute them to the rest of the committee for review.
- Ted Herrling will ask Dave Miller for a one page proposal including cost for development of Master Plan
- Members need to look at Zoning map and think on how to proceed in developing different areas of the Master Plan.

The committee will meet on the first Tuesday of each month. The next meeting is February 3, 2004 at 7:30 following the Planning Board meeting.

**Please sign your name, address**  
**and phone number.**  
**Planning Board Meeting**  
**February 3, 2004**

NAME	ADDRESS	PHONE
Christy Bass	6460 Cayuga Rd	252-3069
Jannine Coan	6511 Beech Tree Rd	252-5457
John Henry	2106 W. Genesee St Rd	253-9650
JIM TABER	1791 W. GENESSEE ST. RD	255-1135
Jerry Scouter	1170 W. Genesee St Rd	253-0251

**Please sign your name, address**  
**and phone number.**

**Ad Hoc Committee Meeting**  
**February 3, 2004**

NAME	ADDRESS	PHONE
MARK HARRIS	6317 Towpa Tr Rd Cayuga	253-5326
Ted Hurling	6529 Beech Tree Rd	252-0934
Don Fisher	39 Elmhurst Dr	255-3212
Conrad Patterson	1131 A/S Town Line Rd	253-5966
Chad Hayden	6569 SR 90 W. chadhayden@aol.com	253-0257
Dan Starn	1452 W. LAKESHORE ST	252-1801
Bernie Walton		257-8725
John Lane	6194 Lake St Cayuga	252-1322
Stephanie K. Chisel	6415 Short Road Cayuga	252-6182
Paula Trukey	Aub NY	2534208

# TOWN OF AURELIUS

## COMPREHENSIVE PLAN AD HOC COMMITTEE

FEBRUARY 3, 2003

### AGENDA

Review of January 6, 2004 minutes

Zoning Law

Comprehensive Planning

- Techniques
- Funding

Proposals for a Comprehensive Plan

- Cayuga Co. Planning Board
- Barton & Loguidice PPC

Various Master Plans

Next Steps

Adjournment

Town of Aurelius  
Planning Board  
Minutes of February 3, 2004  
**approved**

Members Present: Jerry Scouten, John Henry, Christy Bass, Janine Garropy, and Jim Taber  
Staff: Debbie Pinckney

Meeting opened at 6:50pm Jim Taber arrived at 7:08pm

Chairman Jerry Scouten asked all members to sign the Oath of Office Book.  
Terms of Office established according to Town Law guidelines: (see attached info)

Jerry Scouten Chairman: Jan 2002 – December 2005, Janine Garropy Jan 2004 – December 2006  
Christy Bass, Jan 2004 – December 2007, John Henry Jan 2004 – December 2008  
and Jim Taber, Jan 2004 – December 2009

Meeting opened with a thought question. Do we want to extend the existing commercial zone from the corner of Short Road and Clark Street to the intersection of Clark St Rd and Rt 90? This would give the Town the advantage of controlling future development. Our existing Zoning Rules give the Town Board final Site Plan approval. Aside from the Cayuga Seneca Indians interest in building a Bingo Hall/Casino there has not been much interest in retail or industry in that area. Ted Herrling spoke of a gentleman, James Casbohm of 197 Clark St Rd being granted a zoning variance with strict limitations to allow him to sell used cars no more than 4 at a time. Since there is no municipal sewer or water in the area in question, development might not occur but it is my recommendation we extend the area so as not to lose control of what future development there could be.

Presently, the commercially zoned area is set back 500 feet from the road side. It is suggested the set back be extended to 2000 ft from the center line of the road, on both sides.

Discussion about grazing rights....John Henry  
Discussion about parking lots....Bernard Watkins clarification that the set back includes 2000 ft from the center of the road, not starting 2000 ft back.

As far as interpretation of agricultural rights, Jerry and Ted would like to check with the Town Attorney. It was the consensus that the Planning Board would recommend to the Town Board the Commercial Zone be extended to Rt 90 and Clark St Rd with a depth of 2000 ft from the center of the road.

The Board received handouts of Comprehensive Plans and the process for outlining a Comp Plan. Ad Hoc Committee members were also present.

It was decided that all Planning Board Meetings will be held the first Tuesday of every month at 6:30pm in the Town Hall, with the Ad Hoc Meeting to follow directly after at 7:30pm.  
Meeting adjourned at 7:30pm Next meeting Tuesday March 2, 2004 at 6:30pm.

**Town of Aurelius  
Minutes of the Ad Hoc Committee  
February 3, 2004**

Members present: Co-Chairs Ted Herrling and Jim Taber, Stephanie Church, John Greer, Mark Harris, Don Huber, Connie Patterson, Paul Pinckney, Jerry Scouten, Gina Speno, Richard Stark, and Bernard Watkins. Excused: John Lawler, Mary Gratton

Planning Board Members present: John Henry, Christy Bass, and Janine Garropy  
Guest: Chad Hayden  
Staff: Debbie Pinckney

Review of January 6, 2004 minutes approved with minor corrections

Ted Herrling supplied a rough agenda for everyone present, see attached.

Copies of the Town Zoning Laws are available for all members. Along with the regulation guideline provided by County Planning to help protect our interests from future development before our Zoning Book is updated. There is a copy of the current Zoning Book approved in 1993 on the website. <http://co.cayuga.ny.us/aurelius> Current Zoning Map and Town of Aurelius Boundary Map was handed out also.

Ted Herrling asked if everyone was in agreement that the Village of Cayuga should be included in our plan. Mark Harris will provide copies of the Village of Cayuga's Zoning Laws. The last Comprehensive Plan for the Town and Village was completed in 1970 by Clark Patterson. There are about 5 copies floating around and we hope to have everyone read them by the next meeting. It was the consensus of everyone present that the Village should be in on the Master Plan. The old Master Plan was completed by Egner & Niederkorn Associates, Inc. from Ithaca, NY.

Comprehensive Planning Techniques as provided by Mark Harris were discussed briefly. (Mark had information from a seminar he attended about Master Plans) Ted Herrling gave out sample surveys from the Town of Owasco and the Town of Verona, Wisconsin. He asked if it would be feasible to appoint a committee to draw up a survey for our town. Jim Taber stated no matter what we do, it has to be done right, Chad Hayden mentioned that when people receive thick, comprehensive surveys they are not always willing to take the time to read them let alone fill them out and return them. Bernard Watkins agreed. Stephanie Church mentioned she liked the 4 page summary that the Town of Fleming had for their plan. Janine Garropy stated most of the time only legislative bodies use the information anyway.

Cost of Proposals for Comprehensive Plans was discussed. Ted Herring asked what the Town would go for as far as committing to a specific dollar amount. At this time, Barton and Loguidice will be submitting a bid at the next Board Meeting and the County has submitted a bid of \$15,000.00 for a 2 year plan. Discussion as to would the County be our best choice when they have other interests and concerns, as opposed to a private entity that would have to deal with us exclusively. Jerry Scouten explained the most expensive part of the plan would be maps. No matter who develops the plan, maps would be provided to a private firm by the County Planning. According to Matt Schooley, town resident and engineer for B&L, a single map can cost \$3000.00. It was proposed that members gather RFP's. (Requests for proposal) from various towns as the first step. John Greer will get an RFP from Owasco and Jim Taber will get one from Locke.

#### Various Master Plans:

Some committee members have acquired copies of the Town of Owasco's Plan, (cost was \$30,000.00 by Brown Associates out of Rochester) and a partial print out of the Fleming Plan. (Cost was \$23,000.00 in 2001 took 18 months by Clark Patterson out of Rochester also.) Maps for the Fleming Plan have been printed out and provided separately.

All those present felt the Fleming Plan was pretty generic, while the Owasco Plan had future goals well thought out and presented in an organized fashion.

Discussion as to the pros and cons of the County Planning providing the service for a Master Plan as opposed to a private enterprise. Stephanie Church would like to see a plan that has been completed by the County Planning Office within the last 5 years. Debbie Pinckney will ask for one from Dave Miller. Everyone is in agreement that it would be nice to stay local should we choose the County or a private firm. Chad Hayden was going to look into getting help from a college student, interning in Environmental Science and/or Engineering.

It was decided we need to get some more information, through RFP's and current Master Plans that have been completed within the last 5 years. In the mean time Ted Herring asked that everyone think about industry, commercialism, housing, residential areas (i.e. Are we looking at ¼ acre lots, or ½ acre, or 1 acre?) Take the maps provided and break up the Town areas (agriculture, watershed, commercial, residential, transportation, infrastructure) Ask the Town Board to actively peruse grant money to aid in the cost of the Master Plan. See attached letter by Supervisor Ide to Assemblyman Brian Kolb along with the reply.

Next Meeting to be Tuesday March 2, 2004 at 7:30pm.

**Town of Aurelius  
Ad Hoc / Planning  
February 3, 2004**

Members Present: Co-Chairs Ted Herrling and Jim Taber, Stephanie Church, John Greer, Mark Harris, Don Huber, Connie Patterson, Paul Pinckney, Jerry Scouten, Richard Stark, and Bernard Watkins

Excused: Mary Gratton and John Lawler

Planning Board Members present: John Henry, Christy Bass and Janine Garropy  
Guest: Chard Hayden  
Staff: Debbie Pinckney

Review of January 6, 2004 minutes, approved with minor corrections

Ted Herrling supplied a rough agenda for everyone present, see attached

Copies of the Town Zoning Laws are available for all members. Along with the regulation guidelines provided by Cayuga County Planning to help protect our interests from future development before our Zoning Law book is updated. There is a copy of the current Zoning Book approved in 1993 on our website: <http://co.cayuga.ny.us/aurelius>. Current Zoning Map and Town of Aurelius Boundary Map were also given to those present.

Ted Herrling asked if everyone was in agreement that the Village of Cayuga should be included in our plan. Mark Harris will provide copies of the Village of Cayuga's Zoning Laws. The last Comprehensive Plan for the Town of Aurelius and the Village of Cayuga was completed in 1970 by Clark Patterson Engineers. There are about 5 copies floating around and we hope to have everyone read it by the next meeting. It was the consensus of everyone present that the Village should be part of the Master Plan. The old Master Plan was completed by Egner & Niederkorn Associates, Inc. from Ithaca, NY.

Comprehensive Planning techniques as provided by Mark Harris were discussed briefly. (Mark had information from a seminar he attended about Master Plans) Ted Herrling gave out sample surveys from the Town of Owasco, Cayuga County and the Town of Verona, Wisconsin. He asked if it would be feasible to appoint a committee to draw up a survey for our town. Jim Taber stated no matter what we do, it has to be done right, Chard Hayden mentioned that when people receive thick, comprehensive surveys they are not willing to take the time to read them let alone fill them out and return them. Bernard Watkins agreed. Stephanie Church mentioned she liked the 4 page summary that the Town of Fleming had for their plan. Janine Garropy stated most of the time, only legislative bodies use this information anyway.

Cost of Proposals from Comprehensive Plans were discussed. Ted Herrling asked what the Town would go for as far as committing to a specific dollar amount. At this time, Barton

& Loguidice will be submitting a bid at the next town Board meeting and the County has submitted a bid of \$15,000.00 for a 2 year plan. Discussion as to: would the County be our best choice when they have other interests and concerns, as opposed to a private entity that would have to deal with us exclusively. Jerry Scouten explained the most expensive part of the plan would be maps. No matter who develops the plan, maps would be provided to a private firm by the County Planning. According to Matt Schooley, resident and VP of Barton & Loguidice, a single map can cost up to \$3000.00. It was proposed that members gather RFP's. (Request for Proposals) from various towns as the first step. John Greer will get an RFP from Owasco and Jim Taber will get one from Locke.

#### Various Master Plans:

Some committee members have acquired copies of the Town of Owasco's Plan, (cost was \$30,000.00 by Brown Associates, Rochester) and a partial print of the Fleming Plan. (Cost was \$23,000.00 in 2001, took 18 months by Clark Patterson, Rochester) Maps for the Fleming Plan have been printed and presented in an organized fashion.

All those present felt the Fleming Plan was pretty generic while the Owasco Plan had future goals well thought out and presented in an understandable, organized fashion.

Discussion as to the pros and cons of County planning providing the service for a Master Plan as opposed to a private enterprise. Stephanie Church would like to see a plan that has been completed by the Cayuga County planning office within the last 5 years. Debbie Pinckney will contact Dave Miller and ask if one is available. Everyone agrees it would be nice to stay with a local entity should we choose the County Planning or a private firm. Chard Hayden was going to look into getting help from a college student interning in Environmental Science and/or Engineering.

It was decided we need to get some more information through RFP's and current master Plans that have been completed within the last 5 years. In the mean time, Ted Herrling asked that everyone think about industry, commercialism, residential areas (i.e. Are we looking at ¼ acre lots or ½ acre, or 1 acre?) Take the maps provided and break up the Town areas (agricultural, watershed, commercial, residential, transportation, infrastructure) and ask the Town Board to actively pursue grant money to aid in the cost of the master Plan. See attached letter by Supervisor Ide to Assemblyman Brain Kolb along with the reply.

Next meeting is Tuesday March 2, 2004 at 7:00pm. In the mean time

**Town of Aurelius  
Ad Hoc  
July 19, 2004**

The Town of Aurelius's Ad Hoc Committee met on July 19, 2004 at 7:00PM to review and decide on three companies's to interview for the preparation of the Corridor Study and the Comprehensive Plan for the Town.

After polling the members present the final vote results are as follows:

Barton & Loguidice	was first with 13 points *
Clark Patterson	was second with 22 points
FRA Inc.	was third with 35 points
Peter J. Smith	was fourth with 41 points
EDR P C	was fifth with 46 points

The lowest score was the best score.

It was decided that the Planning and Ad Hoc committees would interview the top three companies on July 29, 2004 starting at 6:00 pm. FRA would be the first to be interviewed at 6:00pm followed by Clark Patterson at 7:00 pm and Barton & Loguidice at 8:00 pm. Each company would be given 45 minutes, 10 minutes for a presentation, 30 minutes for questions and 5 minutes for their wrap-up.

The committee decided that we should have a set series of questions for the companies and they should be given to them by e-mail and hard copy to follow. The committee decided on the following questions:

1. What geographic boundaries did you use when defining the corridor for Phase I?
2. What are the company's grant writing capabilities?
  - Describe examples and experience you have had in getting grant funds.
  - Who prepares the grants (Town or company) and at what cost?
3. Is the SEQR part of the corridor and/or the Comprehensive Plan process?
4. Who will prepare the maps and GIS data studies? Is this extra - who will pay?
5. Who will prepare Public Notices and meeting minutes (Town or company)? Who will take the minutes of meetings, whose responsibility and who pays?
6. What are the responsibilities of the facilitators?

7. We would like to have a public opinion survey .
  - What experience does your company have in opinion surveys in developing, distributing and tabulating surveys? If not, why not?
  - Is a survey part of the proposed price or is it additional?
8. What would extra costs for additional work be? Give examples.
9. How will your company work with local and regional agencies? Please give examples.

The committee felt that companies should be notified of the date and time of their interviews and the list of questions should be forwarded to them by e-mail with a hard copy to follow in the mail. They should also be informed that the committee will stick to their timeline for interviews and should not arrive too early for their interviews.

Meeting adjourned!

**Please sign your name, address**  
**and phone number.**

**Planning Board/Ad Hoc Meeting**  
**March 2,, 2004**

NAME	ADDRESS	PHONE
Tom Huber	39 Elmhurst Cr.	255-3212
	6194 LAKE ST. AUBURN	252-1322
Stephanie Church	6415 Short Road Cayuga	252-6182
Bernard W. Walters		253-8225
Russell Starb	1952 W. Genesee ST RD	252-1801
John Lawler	1063 Clark St. rd	730 6806
Chad Hayden	6569 SR90 No.	<del>255-6254</del> chadhayden@earthlink.com
Ted Hurling	6529 Bechtel Rd	252-0934
MATT SCHWOLEY	854 CLARK ST RD	253-5744
PAUL PINCKNEY	AUBURN NY	253-4208
Mark Harris	6317 Tow Path Rd	253-5826

Planning Board Meeting  
 The Town of Aurelius  
 Planning Board will  
 meet Tuesday, March  
 2, 2004 in the Town  
 Meeting Room at 1241  
 West Genesee St. Rd.,  
 Auburn, at 6:30 PM.  
 Deborah Pinckney  
 Town Clerk  
 T1, 2/24

TOWN OF AURELIUS

COMPREHENSIVE PLAN AD HOC COMMITTEE

MARCH 2, 2004

AGENDA

1. Welcome and Introductions
2. Review of February 3, 2004 minutes
3. Request For Proposals for a Comprehensive Plan for Town Board Consideration
4. Review of Various Master Plans
5. Next Steps
6. Adjournment

Town of Aurelius  
Planning Board  
Minutes of March 2, 2004  
**approved**

Members Present: John Henry, Christy Bass, Janine Garropy, and Jim Taber  
Excused: Jerry Scouten  
Staff: Debbie Pinckney

Meeting opened at 6:30pm at the Aurelius Fire House as there is a Democratic Primary at the Town Hall. Signs were placed at the Town Hall and all members were notified via e-mail and telephone of the change of venue.

Meeting opened with a thought question. Concerns were raised as to how we might handle the press when the Board recommends policy to the Town Board. It was the consensus of the board once a recommendation has been reached, there would be a press release and the designated spokesperson would be Jerry Scouten since he is the Chairman.

Jim Taber asked that the minutes of February 3<sup>rd</sup> be reviewed? Additions or corrections? None.

**Motion by Jim Taber to accept the minutes as written**

**Second: Janine Garropy**

**Approved, Jim Taber, Janine Garropy, Christy Bass, and John Henry**

Matt Schooley submitted a Comprehensive Plan for the Town of Verona and Hannibal for review by all Board Members and Ad Hoc Committee members.

Question asked at present what building permits have been issued at the FL Mall? At this time A clothing store, Maurice's has requested one be sent, has not been returned. Deb Shop is completing renovations, plans will be in the office next week, and a company has requested a permit to complete signage on the outside of the Mall, that permit has not been returned. No one has contacted Bob Glover, our code enforcement officer with inquiries for a restaurant or hotel.

Balance of the rest of the discussions should be with Ad Hoc Committee...

**Motion to adjourn at 6:55pm by Jim Taber**

**Second Janine Garropy**

**Approved by Jim Taber, Janine Garropy, Christy Bass, and John Henry**

Town of Aurelius  
Minutes of the Ad Hoc Committee  
March 2, 2004

Members present: Co-Chairs Ted Herrling and Jim Taber, Stephanie Church, John Greer, Mark Harris, Don Huber, Paul Pinckney, Richard Stark, Chad Hayden, Lori Bodah and Bernard Watkins.

Excused: Jerry Scouten, Mary Gratton, Gina Speno, Connie Patterson

Planning Board Members present: Jim Taber, Christy Bass, and Janine Garropy  
Staff: Debbie Pinckney

**Review of February 3, 2004 minutes approved as submitted.**

Ted Herrling supplied a rough agenda for everyone present, see attached.

Discussion:

Ted Herrling asked if the Village of Cayuga needed some sort of resolution to be included in the new Master Plan? Mark Harris would speak at the next Village meeting as he was not sure at this time. Janine Garropy asked about the cost of the Plan and would the Town be shouldering the burden themselves? Stephanie Church will bring the subject up at the Town Board Meeting March 11, 2004.

John Greer submitted an RFP from the Town of Owasco. Debbie Pinckney also has one from the Town in a different format. Discussion of the Town of Owasco survey used for input by residents...there was a 50% response. Bernard Watkins felt the questions were too open ended, John Greer mentioned the need for focus groups, Stephanie Church thought this should be a concern of whomever we hire, and John Greer ended the discussion with the fact that the contracted firm will provide facilitators.

There is a need to get a request to the Town Board to move forward with RFP as soon as possible.

Ted Herrling requested the committee work on specs for our own RFP. Mark Harris suggested a sub-committee be formed to work on a draft for review by the whole committee at the next meeting. Sub-Committee will be Mark Harris, John Greer, Janine Garropy, Stephanie Church, Jerry Scouten, and Debbie Pinckney.

Chad Hayden asked about the current Comprehensive Plan from 1970 and just basically updating that. John Greer said a lot of the maps are usable and some of the existing information is still valid. It was decided to obtain one more RFP for the sub-committee to review. Currently have Locke, Owasco and Fleming. Matt Schooley will get Marcellus for them.

## Master Plan Discussion:

Currently have for review, Verona, Hannibal (both courtesy of Matt Schooley), Owasco, Fleming, Pittsford, and a strategic Plan for the Hamlet of Locke. The Strategic Plan was done by the Cayuga County Planning Board. The last Comprehensive Plan the County Planning did was about 20 years ago.

Clarification of Strategic Plan and Comprehensive Plan, a Strategic Plan deals with one specific area (as in the Hamlet of Locke, where the plan was specifically for the Down Town area) while the Comprehensive Plan deals with the whole Town. Matt Schooley explained that strategic plans are incorporated into the comprehensive plan. Barton & Loguidice, Matt's Engineering firm has presented a corridor study for Rts 5 & 20 to the Town Board, who in turn gave the copies of the study to the Planning Board for review. Matt explained the critical area at this time is the 5 & 20 corridor and should be addressed as soon as possible with the opening of Bass Pro in June. A Comprehensive Plan is at least a 2 year process, with the corridor study close to a 1 year plan. The information gathered during the corridor study would also be utilized in the comprehensive plan but in his opinion, the 5 & 20 corridor is the highest priority at this time. (Matt Schooley is a resident of the Town and his firm has been hired by the Town Board to handle the technical aspects of the Johnston Paper Company Building that has just been completed in the IDA land on 5 & 20.)

It is the concensus of the committee at this time, we'd like to receive proposals from the County Planning Department, Clark Patterson, Brown, and Barton & Loguidice. Cost is a concern, butt quality is of the utmost importance. Everyone likes the Owasco Comprehensive Plan which was done by Brown and Associates.

The committee has requested Town Board Council Persons Paul Pinckney and Stephanie Church request the Town Board actively look into grant options for the Master Plan. Stephanie Church asked for a clarification, once RFP's a re sent out who looks at the submitted proposals? Ted Herrling outlined the steps...

1. sub-committee designs our RFP
2. Ad Hoc/Planning Board approves the RFP
3. Planning Board submits the RFP to the Town Board for review and requests that it be mailed to Engineer Firms, possible 5 or 6 different ones.
4. Responses are reviewed by Planning Board/Ad Hoc and recommendation given to the Board.
5. Town Board reviews and hires the Engineer Firm.

John Greer mentioned a well thought out RFP should get a lot of responses, then Planning Board/Ad Hoc Committee should narrow the proposals down to three firms and ask for oral presentations. If cost is a concern take the 3 lowest bidders. Don Huber asked is cost a real issue? Paul Pinckney stated between the Planning Board/Ad Hoc and Town Board we should be able to come up with a dollar amount that is workable.

Discussion continued about time lines, comparing apples to apples when reviewing proposals, and finding a company proficient in facilitating. The key to a successful Comprehensive Plan is getting as much information from the residents when forming the guidelines for your Master Plan. Paul Pinckney asked if two years is reasonable for completion of a Master Plan, Mark Harris said we have already used 4 months, we need to get the RFP designed and sent out soon.

Ted Herrling requested the Committee review all the Master Plans in hand, put into perspective the needs of the Town of Aurelius, include Bass Pro, future development and the possibility of A Bingo/Gaming Hall. Bring your comments, questions, and concerns back to the next meeting. Jim Taber mentioned there could be a decision on the plight of the Seneca Cayugas by the 11<sup>th</sup>, when Judge McCurn will make a decision. He cautioned at this time all court decisions have been in favor of the Indians.

Talk centered around River Road, the Canal Corporation, Building permits for that area and the possibility of the State removing the leasees from the property. Who knows what might happen should the Seneca Cayugas build the Bingo/Casino on Rt 90/Clark St Rd corner.

Matt Schooley again stressed the immediate need to address the 5 & 20 Corridor, with Bass Pro coming in there will be new business looking to jump on board. Paul Pinckney mentioned the possibility of the Hotel/Restaurant, the current infrastructure and the need to expand the water and sewer lines. The Town Board is currently meeting with the City to address the sewer line issues. As an aside, discussion about the importance of hiring a firm that knows the area and understands the wants of the residents and Town Board. Ted Herrling stated the ultimate decision on who is hired is the Town Boards, the Ad Hoc and Planning are purely an advisory board. Don Huber mentioned the probability that things could move a lot faster than are Master Plan on Rt 5 & 20 and the need for immediate steps to make sure we protect the interests of the Town, again Matt talked of the 5 & 20 corridor submission by his firm being the answer to that immediate need.

Priorities as viewed by the Committee at this time:

- #1 Comprehensive Plan/Bass Pro/5 & 20 corridor
- #2 Infrastructure/water and sewer
- #3 Zoning regulations for 5 & 20 corridor

John Lawler asked about the discussion at the last meeting which suggested increasing the commercial zone to Rt 90/Clark St Rd and making it 2000 ft from the center line of the road on each side. It was explained the need for control and the elimination of strip development. The extension of the commercial zone does not necessarily mean the death of agriculture, it is a way to keep control should development attempt to branch out. Without water and sewer in that area, development should not be forthcoming but we should be prepared when it does and the increase to 2000ft and ultimate site plan approval by the Town Board, there should be better Administrative control of future development. Matt Schooley talked of the possibility of parcels of development as opposed to strip development as there is on Grant Ave. John Greer spoke of the need for

land owners to be in on all discussions, Matt Schooley again mentioned facilitators, Ted Herrling explained a certified ag district isn't a zone and still gets benefits no matter what the area is zoned.

#4 Mark Harris will encourage Mayor Coombs to speak with Ed Ide about the Master Plan and sharing costs and part of the decision making. The Village will be included in the Master Plan and waterfront development will be included.

It was decided to move the official meeting time for the ad hoc committee to 7:00pm.

**Motion to adjourn by Janine Garropy at 8:10pm**

**Second by Stephanie Church**

**Approved by everyone present.**

Sub-committee will meet Wednesday March 10, 2004 at the Town hall  
Next Meeting to be Tuesday April 6, 2004 at 7:00pm.

# State of New York

## Cayuga County City of Auburn

Abbie R. Winship of the City  
of Auburn, in said County, being duly sworn, deposes and says:

That she is the receptionist  
of Auburn Publishers, Inc. publishers of The Citizen, a public newspaper print-  
ed and published daily (except legal holidays) in the City of Auburn, in said  
County, and duly authorized to make this affidavit, and that the

Planning Board Meeting

of which annexed is a printed copy, was published in said paper

one time                      namely on the

30th day                      of

March 20 04

*Abbie Winship*

Sworn to before me, this 2nd day

of April 20 04.

*Linda Beavers*

Notary Public

LINDA BEAVERS  
Notary Public, State of New York  
No 01BE4865261, Cayuga County  
Term Expires:  
July 7, 2006

Planning Board Meeting  
The Town of Aurelius  
Planning Board will  
meet Tuesday, April  
6, 2004 in the Town  
Meeting Room at 1241  
West Genesee St. Rd.,  
Auburn, at 8:30 PM.  
Deborah Pinckney  
Town Clerk  
TI, 3/30

**Please sign your name, address**  
**and phone number.**

**Aurelius Planning Board/Ad Hoc**

**April 6, 2004**

NAME	ADDRESS	PHONE
Christy Bass	14160 Cayuga Rd	252-3069
Jamie Barney	6511 Beech Tree Rd	252-5457
Jim TABER	1791 W. GENESSEE ST. RD AUBURN, NY	253-3059 W. 255-1435 H.
JERRY SCOUTEN	1182 W. GENESSEE ST RD AUBURN NY 13021	253-0751
Don Heber	39 Elmhurst Cr - Auburn NY	255-3212
Ted Herrling	6529 Beech Tree Rd Auburn NY	252-0934
Mark Harris	6317 Tow Path Rd Cayuga, NY 13034	253-5326
Mary Grattan	4405 State Rd. 90W Cayuga NY	730-8618
Stephanie Church	6415 Short Rd Cayuga	252-6182
Chad Hayden	6579 S PRONG Cayuga NY 13034	255-0254
Gina Patterson	1131 N/S Townline Rd Auburn, NY 13021	253-5966
Dino Starn	1452 W. GENESSEE ST Auburn NY 13021	252-1801
John E Greel	6144 LAKE ST CAYUGA NY 13021	2-1722
Lori Bodoh		
Karen Stringer	515 Seymour St Auburn NY	<del>252-1722</del>

# TOWN OF AURELIUS

## COMPREHENSIVE PLAN AD HOC COMMITTEE

April 6, 2004

### AGENDA

1. Welcome and Introductions
2. Review of March 2, 2004 3, 2004 minutes
3. Review draft "Requests For Proposals" for a Comprehensive Plan for Town Board Consideration
4. Discussion between village of Cayuga and Town of Aurelius.
5. Next Steps
6. Adjournment

Need to meet more often?

**Town of Aurelius  
Ad Hoc  
April 4, 2006**

Members present: see attached sign in sheet

Ted Herrling supplied an agenda – see attached

Motion to approve the minutes of March 2, 2004, unanimous

Ted Herrling Reviewed RFP's design factors:

Town and Village

Add activities section

Project Phases – everyone like them

Time Frame – possibly 30 – 45 days check with Attorney Dave O'Connor

Do we want to proceed with the process or use the Town's Engineering Firm?

John Greer started the discussion: we should do what it takes as long as it is done in a timely manner. We want to do this right the first time. We should design an RFP and make sure we have the language clear and concise and legal.

Connie Patterson and Christy Bass stated we should look at all sides, keep with the best interests of the Town and it's taxpayers, we should ask for RFP's and interview potential forms.

Jim Taber mentioned the need to check with the legalities in requesting bids.

Jerry Scouten wondered if we should just go with Barton & Loguidice, since have been the Town's engineering firm.

Jim Taber initiated discussion if we should bid both Phases as separate or go with one big plan? Possibly save on costs.

Mark Harris, we have to do this right, but do we have an adequate window of time?

Jim Taber mentioned maybe we should request help in finding grant money in the RFP.

Janine summarized: We'll ask for RFP's, give them 30 days to respond and go with the majority vote contingent on the opinion of council. Place the legal ad in the paper, mail to private firms within the area.

Don Huber requested firm dates be published. Stephanie Church explained this is not possible because completion dates would be contingent on the date the Town Board approves the RFP. Chad wondered if there could be a break down of staff costs, it was

decided to ask Dave O'Connor if there is a need for the legal verbiage like what the Town of Locke and Owasco has. Ask the Town Board to consider a special meeting should we not have the final RFP documentation ready by the next regular board meeting. Ask the Board about the language in the Overview with regards to the Indian Land Claim.

Continued discussion about the Village of Cayuga's role. It was agreed the Plan should be funded by the Town; the Town has full responsibility and final approval. The Village will be included in the Plan and all cross-over issues will be covered. The Village is part of the Town and will be incorporated into the Master Plan.

Tentative Time Frame:

RFP Process out by 5/1/2004

Bring to regular Board Meeting

*If Board does not see to approve at that time, ask for a special meeting*

Motion to Adjourn by Mark Harris at 8:45

Second by Don Huber

Approved

4-6-04

# Ad Hoc Committee Meeting

Meeting called to order at 7<sup>03</sup>

- ✓ Ted Herrling supplied agenda
- ✓ Motion to approve - Ted, 2<sup>nd</sup> Jim Taber  
unanimous vote to approve minutes
- ✓ Reviewed RFP

TH

Town + Village

TH

Add activities section

TH

Project Phases - good

IT

Time frame 30-45 days - ✓ w/ Dave O'Connor

J.G.

- ✓ Do we want to proceed w/ RFP process?  
alt. is to award to B+L

John G.

Zannie

In favor of doing what it takes to do this in a timely manner

Aristy

Do it right

in Taber

Do an RFP, time will depend on legal rules

ied

RFP

Ferry

would we go w/ B+L anyways?  
on the other hand, it's said it will take a yr. after  
Bass Pro for other development to really start  
Planning Board hasn't received any proposals yet

Jim

Better to bid both phases and then

Mark do it right - RFP, esp. if we think we have a window of time

Jim I add to RFP - ask for help w/ finding grant

Janine

Jim ~~1 RFP~~, 45 days to respond

Janeane 1 RFP, 30 days to respond - majority vote contingent on Dave's O'Conner mailing to companies day notice goes in the RFP  
Timeframes

Don better to put dates

Stephenie no b/c date of contract execution

Chad - bullet on pg 4

Jim bullet on pg 4

Chad ask for billing rates for each staff member?

Chad 7. 2) D) Amend the RFP as they see fit

SKC ask Dave O'Conner if we need all the legal stuff in Owasco's + Locke's larger RFP

SKC \* ask board to consider special mtg. to approve RFP if we don't have it ready

SKC \* ask board about language in the Overview about the land claim

## Discussion of Town/Village

funded by Town

Town has responsibility / approval

village is part of town, therefore issues that cross-over will be covered

Village will be incorporated in plan as a part of the town, but Village will not be a focus of the plan

~~Ask IDA~~

RFP process

out by 3/1

bring to board mtg on R

if board doesn't approve on R, we ask that they schedule a special meeting

Don - Next Steps - Special meeting if board doesn't agree

Adjourned 8:45 Mark 1<sup>st</sup>

Don 2<sup>nd</sup>

11/2  
approve

# Request for Proposals

*for*

Town of Aurelius  
Comprehensive Plan  
&  
5&20 Corridor Study

TOWN OF AURELIUS  
CAYUGA COUNTY, NEW YORK

## 1. Overview

The Town of Aurelius and the Village of Cayuga, Cayuga County New York, has administered a land use program for many years. The current program is based upon a basic plan adopted in conjunction a comprehensive plan for the Town and Village of Cayuga, completed in 1970. The local Village zoning regulations were last updated in 1988 and the local Town zoning regulations were last updated in 1993.

The Town and Village is currently expecting an increase in development proposals as a result of the anticipated opening of a new Bass Pro Shops store at the Finger Lakes Mall, at the eastern end of the Town. These proposals may extend development toward traditionally agricultural and rural areas. The Town Board is concerned that local land use plans and regulations need to be updated to reflect current circumstances and likely trends in order to minimize or prevent potentially harmful impacts that could result from development which is inappropriately located or scaled or is of a nature that conflicts with other established or proposed uses.

asked about claim

portion of the town is in land claim

## 2. Purpose

IDA property / infrastructure?

This RFP seeks a consultant who is experienced in the development of local plans and who can undertake the research and public dialogue necessary to identify potential advantages and disadvantages to the Town and its residents that may result from growth, identify areas of the Town where growth can compliment established development patterns and safeguard sensitive environmental areas, particularly Cayuga Lake and tributaries of same and compile this information into a comprehensive plan for the Town.

## 3. Project Phases

Phase 1: The first portion of the proposed project will be a Corridor Study of Clark Street Road and Routes 5&20. This phase will result in a formal Strategic Plan, which will ultimately be incorporated in the Comprehensive Plan in Phase 2.

Phase 2: The second portion of the proposed project will be a full Comprehensive Plan for the whole Town and Village and will incorporate the Strategic Plan developed in Phase 1.

of Aurelius, including the Village of Cayuga,

## 4. Time Schedule

Proposers shall prepare five (5) copies of your complete Proposal, one (1) original and three (3) copies. One (1) electronic copy of the proposal on CD-ROM shall accompany each set of response documents. These electronic copies shall at a minimum contain the complete paragraph by paragraph response including all pricing information in Microsoft Word/Excel format (Word/Excel 2000 or later preferred). All items should be returned to: Gerry Scouten, Town of Aurelius Planning Board, address.....

Your sealed proposal, including the Proposer-Response Documents, must be received by the Town Clerk no later than 3:00 p.m. Eastern Standard Time on DATE.

Responses received after that time may not be accepted or considered. The Board intends to enter into a contract with the Consultant whose proposal is most responsive to the solicitation and who has the personnel resources immediately available to begin work. The consultant selection process will be completed on or about DATE. A contract will be offered to the selected consultant within twenty days of the end of the selection period.

## 5. Scope of Work

### Part I – Plan Elements

To the extent that it applies to local conditions, the Town wishes <sup>the Village</sup> to adhere to the description of the elements of a comprehensive plan found in the Town Law of the State of New York, Section 272-a. The proposer should discuss ~~how they will incorporate~~ these elements into each phase of the plan: <sup>the process they will use to</sup>

- (a) General statements of goals, objectives, principles, policies, and standards upon which proposals for the immediate and long-range enhancement, growth and development on which the town are based.
- (b) Consideration of regional needs and the official plans of other government units and agencies within the region.
- (c) The existing and proposed location and intensity of land uses.
- (d) Consideration of agricultural uses, historic and cultural resources, coastal and natural and sensitive environmental areas.
- (e) Consideration of population, demographic and socio-economic trends and future projections.
- (f) The location and types of transportation facilities.
- (g) Existing and proposed general location of public and private utilities and infrastructure.
- (h) Existing housing resources and future housing needs, including affordable housing.
- (i) The present and future general location of educational and cultural facilities, historic sites, health facilities and facilities for emergency services.
- (j) Existing and proposed recreation facilities and parkland.
- (k) The present and potential future general location of commercial and industrial facilities.
- (l) Specific policies and strategies for improving the local economy in coordination with other plan topics.
- (m) Proposed measures, programs, devices, and instruments to implement the goals and objectives of the various topics within the comprehensive plan.
- (n) All or part of the plan of another public agency that relates to the Town of Aurelius and ~~the Village of Cayuga.~~
- (o) Any and all other items which are consistent with the orderly growth and development of the town.

The plan development process will utilize:

next  
page

III Activities

PTII Process/Activities

focus on {

- changes in the community since the 1970 plan
- the process which they will use to identify these changes

- existing plans, maps, ordinances and local laws wherever possible; and
- Participation of citizens in an open forum, responsible and flexible process, specifically including <sup>opinion</sup> surveys and public forums <sup>fora (if selling)</sup>

Chad → add 1 bullet regarding 1970 plan & changes since

**Part II. Product**

Jim → add bullet for assistance with finding funding 1970

The proposer shall deliver to the Town \_\_\_ paper copies and a digital copy of all draft or working documents, 100 paper copies and a digital copy of the final documents (Corridor Strategic Plan and Comprehensive Plan).

Supplimental  
Comp. Pla  
infrastructure  
development  
industrial dev  
Comm.  
land use

**Part III. Time Table**

*Phase 1*

Within 180 days from execution of contracts, the proposer shall provide the planning board with a first draft of the plan for discussion and refinement.

Within 180 days from the acceptance of the draft by the planning board the proposer shall provide the planning board with a final product.

*Phase 2*

Within 30 days of providing the planning board with a final product for Phase 1, the consultants will present to the planning board a project schedule for Phase 2.

Within 180 days from execution of contracts, the proposer shall provide the planning board with a first draft of the plan for discussion and refinement.

Within 180 days from the acceptance of the draft by the planning board the proposer shall provide the planning board with a final product.

## 6. Proposal Requirements

The proposal shall:

- Identify the proposer.
- Indicate the manner in which the firm will organize and manage the project including identifying project personnel and roles.
- Specify products (reports, schematics, etc.)
- Include a schedule for completion of tasks enumerated in the "Scope of Work", showing the estimated personnel hours and cost breakdown for each item.
- Include a full project schedule for Phase 1.
- Include a copy of qualifications of the staff members who will make principal contributions to the project.
- Include a signed Certificate of Non-Collusion (enclosed).
- Include a completed Cost Summary Form (enclosed).
- Include copies(s) of one or more Strategic or Comprehensive Plans prepared within the past 5 years by the proposer.

Chad

## 7. Criteria for Proposal Review

During the evaluation period, Consultants who submit proposals in response to this RFP may be requested to <sup>respond to further requests for info including</sup> present supplemental information based on the Town's evaluation procedures. This supplemental information will be included as a formal part of the Consultant's proposal.

### 1) Proposal Criteria:

Each sealed proposal response will be evaluated for responsiveness to the requirements of this RFP. The evaluation criteria shall include, but may not be limited to the following:

- The degree to which the response meets the requirements of the proposal
- The cost of the services and proposed payment terms
- The ability of the provider to meet the needs of the Town
- Experience and capability of the company
- Past experience and history on like projects

### 2) The Town and Village reserve the right to:

- A. Reject any and all proposals received in response to this RFP.
- B. Select a proposal other than the lowest cost proposal.
- C. Extend the time period for selection of a Consultant past the time period outlined in the RFP.

Chad

D. Amend the RFP as they see fit.

Janine

Identify capabilities + capacity to solicit grant funding

Describe the process for change orders + determining the cost thereof possibly

respond to further requests for info including oral presentation

## CERTIFICATE OF NON-COLLUSION

By submission of this proposal, each proposer and each person signing on behalf on any proposer, certifies, and in the case of a join proposal, each party thereto certifies as to its own organization, under penalty of perjury, that to the best of his/her knowledge and belief:

- (1) The prices in this proposal have been arrived at independently, without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other proposer or with any competitor;
- (2) Unless otherwise required by law, the prices which have been quoted in this proposal have not been knowingly disclosed by the proposer and will not knowingly be disclosed by the proposer prior to opening, directly to any other proposer or to any competitor; and
- (3) No attempt has been made or will be made by the proposer to induce and other person, partnership, or corporation to submit or not to submit a proposal for the purpose of restricting competition.

### NOTE:

Chapter 675 of the Laws of New York for 1966 provides that every bid made to the State or any public department, agency, or official thereof, where competitive bidding is required by status, rule or regulation, for work or services performed or to be performed, or goods sold or to be sold, shall contain the foregoing statement subscribed by the bidder and affirmed by such bidder as true under penalties of perjury.

A bid shall not be considered for award, nor shall any award be made, where (1), (2), and (3) above have not been complied with; provided however, that if, in any case, the bidder cannot make the foregoing certification, the bidder shall so state and shall furnish with the bid a signed statement which sets forth in detail the reasons therefore. Where (1), (2), and (3) above have not been complied with, the bid shall not be considered for award nor shall any award be made unless the head of the purchasing unit of the State, public department, or agency to which the bid is made, or his/her designee, determines that such disclosure was not made for the purpose of restricting competition.

The fact that a bidder has published price lists, rates, or tariffs covering items being procured, has informed prospective customers or proposed or pending publication of new or revised price lists for such items, or has sold the same items to other customers at the same prices being bid, does not constitute, without more, a disclosure within the meaning of the paragraphs (1), (2), and (3) above.

Any bid hereafter, made to the State or any public department, agency, or official thereof by a corporate bidder for statute, rule or regulation, and where such bid contains the certification set forth above shall be deemed to have been authorized by the board of directors of the bidder, and such authorization shall be deemed to include the signing and submission of the bid and the inclusion therein of the certificate as to non-collusion as the act and deed of the corporation.

---

Proposer's Signature

---

Date

COST SUMMARY FORM

*Please use black ink or a typewriter when preparing this cost summary.*

Company Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Cost for all requested services: <sup>Phase 1</sup> \$ \_\_\_\_\_

Signature of Proposer: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

RFP Bids opened June 24, 2004 2:38pm.

By: Jerry Scouten, Planning Board Chairman, and Debbie Pinckney, Town Clerk

Business Name	PHASE	Amount	Contact Name	
Barton & Loguidice 290 Elwood Davis Rd Syracuse, NY 13220 Recv'd 1:45PM	PHASE 1	24,500.00	Robert Hornaday	3
	PHASE 2	25,026.00	315-457-5200 TOTAL: 49,526.00	
Clark Patterson 186 N Water St Rochester, NY 14604 Recv'd 10:15AM	PHASE 1	21,900.00	Roger Vanderbrook	1
	PHASE 2	25,650.00	585-454-7600 TOTAL: 47,550.00	
EDR P.C. 238 W Division St Syracuse, NY 13204 Recv'd 10:15AM	PHASE 1	23,595.00	David Crandall	2
	PHASE 2	24,670.00	315-471-0688 TOTAL: 48,265.00	
FRA Planning 530 Summit Point Dr Henrietta, NY 14467 Recv'd 1:25PM	PHASE 1	23,420.00	Daniel Aken	4
	PHASE 2	32,670.00	585-359-0280 TOTAL: 56,090.00	
Peter J. Smith & Co 1896 Niagra St Ste208 Buffalo, NY 14207 Recv'd 10:15AM	PHASE 1	Suggests the phases be concurrent	Peter Smith	5
	PHASE 2		716-447-0505 TOTAL: 75,000.00	



**Town of Aurelius  
Planning / Ad Hoc  
July 6, 2004**

Present: See attached sign in sheet

Stephanie Church, Janine Garropy, and Mark Harris developed an evaluation form for committee members to evaluate the 5 proposals. The time frame is a meeting July 19<sup>th</sup> to review the completed evaluation forms and select 3 firms to interview.

Tentative date for interviews will be Thursday July 29<sup>th</sup> at 6:00pm; each firm will have 45 minutes to present their concepts.

Joint meeting of Planning and Ad Hoc set for Tuesday August 3<sup>rd</sup> at 6:30 to make their selection and recommend that firm to the Town Board at their August 12 meeting.

Jerry

**Stephanie Church**

---

**From:** "Stephanie Church" <s.church@dwdiesel.com>  
**To:** "Deborah A Pinckney" <dapink@localnet.com>; "Ad Hoc" <gerry\_scouten@hotmail.com>; "Bernard" <bwatkin2@rochester.rr.com>; "Chad" <ChadHayden@aol.com>; "Christy Bass" <cqbass@courts.state.ny.us>; "Connie" <connie7641@aol.com>; "Dick" <mariestark@baldcom.net>; "Don Huber" <cengraving@aol.com>; "Ed Ide" <imc@idemachine.com>; "Gina" <gina.speno@am.joneslanglasalle.com>; "Janine" <jg6511@yahoo.com>; "Jim Taber" <jtaber@cayugacounty.us>; "John Lawler" <lawler@baldcom.net>; "John Greer" <john@homsite.org>; "John Henry" <geneseehenry@yahoo.com>; "Lori Bodoh" <lbodoh@yahoo.com>; "Mark" <Mark.Harris@itt.com>; "Mary" <megratton@yahoo.com>; "Paul" <pwpenway@aol.com>; "Ted" <herrling@co.cayuga.ny.us>  
**Sent:** Wednesday, July 07, 2004 12:00 PM  
**Attach:** Proposal Evaluation Form.doc  
**Subject:** Proposal Evaluation Form

The Proposal Evaluation Form that Janine, Mark and I developed yesterday is attached. Please use this form to evaluate the 5 proposals that we received in response to the RFP. Debbie has copies of all proposals at the Town Hall.

If you have questions on using the form, or have trouble with the attachment, please let me know.

The meeting schedule for the next month is as follows:

-- Monday, July 19 7:00 pm -- Meeting to review completed evaluation forms and select 3 firms to interview

-- Thursday, July 29 6:00 pm -- tentative date for interviews with 3 selected firms

-- Tuesday, August 3 6:30 pm -- regular Planning Board & Ad Hoc Committee meeting

Since the Planning Board will be selecting one firm to recommend to the Town Board, I'd like to suggest that either the Ad Hoc Committee & Planning Board meet jointly, or reverse the usual order and have the Ad Hoc Committee meet first to make a recommendation to the Planning Board, then have the Planning Board make their decision at their meeting after that.

FYI - The Town Board meetings are Thursday, July 8 and Thursday, August 12.

make copy for  
Jerry

7/7/2004

# Comprehensive Plan & Corridor Study Proposal Evaluation Form

Criteria/Requirement	Barton & Loguidice	Clark-Patterson	EDR P.C.	FRA Planning	Peter J. Smith & Co.
(d) Consideration of agricultural uses, historic and cultural resources, coastal and natural and sensitive environmental areas?					
(e) Consideration of population, demographic and socio-economic trends and future projections?					
(f) The location and types of transportation facilities?					
(g) Existing and proposed general location of public and private utilities and infrastructure?					
(h) Existing housing resources and future housing needs, including affordable housing?					
(i) The present and future general location of educational and cultural facilities, historic sites, health facilities and facilities for emergency services?					
(j) Existing and proposed recreation facilities and parkland?					

# Comprehensive Plan & Corridor Study Proposal Evaluation Form

Criteria/Requirement	Barton & Loguidice	Clark Patterson	EDR P.C.	FRA Planning	Peter J. Smith & Co.
(k) The present and potential future general location of commercial and industrial facilities?					
(l) Development of specific policies and strategies for improving the local economy in coordination with other plan topics?					
(m) Development proposed measures, programs, devices, and instruments to implement the goals and objectives of the various topics within the comprehensive plan?					
(n) All or part of the plan of another public agency that relates to the Town of Aurelius?					
(o) Any and all other items which are consistent with the orderly growth and development of the town?					
How will the consultant utilize existing plans, maps, ordinances and local laws, including the 1970 plan?					

# Comprehensive Plan & Corridor Study Proposal Evaluation Form

<b>Criteria/Requirement</b>	<b>Barton &amp; Loguidice</b>	<b>Clark Patterson</b>	<b>EDR P.C.</b>	<b>FRA Planning</b>	<b>Peter J. Smith &amp; Co.</b>
<p>How will the consultant utilize participation of citizens an open, responsible and flexible process, specifically including <u>opinion surveys</u> and <u>public forums</u>?</p> <ul style="list-style-type: none"> <li>• Was the use of surveys defined? How many will there be? How will they be created and administered?</li> <li>• Was the use of focus groups defined? How many will there be? How will they be formed?</li> </ul>					
<p>How will the consultant utilize the engineering study of existing sewer infrastructure currently in development by the Town Engineers?</p>					
<i>Adherence to Time Table (RFP Page 3 –Section 5, Part II)</i>					
<p>Does the project schedule meet the Time Table for Phase 1?</p>					
<p>Does the project schedule meet the Time Table for Phase 2?</p>					

# Comprehensive Plan & Corridor Study Proposal Evaluation Form

*Adherence to Proposal Requirements (RFP Page 4 –Section 6)*

Does the proposal identify the proposer?			
Does the proposal indicate the manner in which the firm will organize and manage the project including identifying project personnel and roles?			
Does the proposal specify products (reports, schematics, etc.)? What are they?			
Does the proposal include a schedule for completion of tasks enumerated in the "Scope of Work", showing the estimated personnel hours and cost breakdown for each item?			
Does the proposal include a full project schedule for Phase I?			

# Comprehensive Plan & Corridor Study Proposal Evaluation Form

Criteria/Requirement	Barton & Loguidice	Clark Patterson	EDR.P.C.	FRA Planning	Peter J. Smith & Co.
Does the proposal include a copy of qualifications of the staff members who will make principal contributions to the project?					
Does the proposal describe the firm's capabilities and capacity for soliciting grant funding?					
Does the proposal describe the change order process, including cost determination for requested changes?					
Does the proposal include a signed Certificate of Non-Collusion?					
Does the proposal include a completed Cost Summary Form?					
Does the proposal include copies(s) of one or more Strategic or Comprehensive Plans prepared within the past 5 years by the proposer?					

# Comprehensive Plan & Corridor Study Proposal Evaluation Form

**Criteria/Requirement**     **Barton & Loguidice**     **Clark Patterson**     **EDR P.C.**     **FRA Planning**     **Peter, J. Smith & Co.**

*Other Considerations*

How is the 5&20 corridor defined?						
Is the proposal clear and easy to understand?						
Is it clear who is doing what? How much responsibility will fall to the Town & the Ad Hoc Committee?						
How much of the proposal was customized for the town vs. a boilerplate document?						
Does the proposal define how maps will be obtained and paid for?						
Does the proposal include additional tasks beyond the RFP requirements that are included in the quoted fee?						
Does the proposal include additional costs beyond the quoted fee for required or additional tasks?						

# Comprehensive Plan & Corridor Study Proposal Evaluation Form

Criteria/Requirement	Barton & Loguidice	Clark/Patterson	EDR P.C.	FRA Planning	Peter J. Smith & Co.
Assess the sample comprehensive or strategic plan(s) provided with the proposal. (At least one person on the committee should review each sample plan.) Additional Questions for Interview					
General Comments					
Overall Rank (1-5) 1 is first choice 5 is last choice					

**Town of Aurelius  
Ad Hoc  
July 19, 2004**

The Town of Aurelius's Ad Hoc Committee met on July 19, 2004 at 7:00PM to review and decide on three companies's to interview for the preparation of the Corridor Study and the Comprehensive Plan for the Town.

After polling the members present the final vote results are as follows:

Barton & Loguidice	was first with 13 points *
Clark Patterson	was second with 22 points
FRA Inc.	was third with 35 points
Peter J. Smith	was fourth with 41 points
EDR P C	was fifth with 46 points

The lowest score was the best score.

It was decided that the Planning and Ad Hoc committees would interview the top three companies on July 29, 2004 starting at 6:00 pm. FRA would be the first to be interviewed at 6:00pm followed by Clark Patterson at 7:00 pm and Barton & Loguidice at 8:00 pm. Each company would be given 45 minutes, 10 minutes for a presentation, 30 minutes for questions and 5 minutes for their wrap-up.

The committee decided that we should have a set series of questions for the companies and they should be given to them by e-mail and hard copy to follow. The committee decided on the following questions:

1. What geographic boundaries did you use when defining the corridor for Phase I?
2. What are the company's grant writing capabilities?
  - Describe examples and experience you have had in getting grant funds.
  - Who prepares the grants (Town or company) and at what cost?
3. Is the SEQR part of the corridor and/or the Comprehensive Plan process?
4. Who will prepare the maps and GIS data studies? Is this extra - who will pay?
5. Who will prepare Public Notices and meeting minutes (Town or company)? Who will take the minutes of meetings, whose responsibility and who pays?
6. What are the responsibilities of the facilitators?

7. We would like to have a public opinion survey .
  - What experience does your company have in opinion surveys in developing, distributing and tabulating surveys? If not, why not?
  - Is a survey part of the proposed price or is it additional?
8. What would extra costs for additional work be? Give examples.
9. How will your company work with local and regional agencies? Please give examples.

The committee felt that companies should be notified of the date and time of their interviews and the list of questions should be forwarded to them by e-mail with a hard copy to follow in the mail. They should also be informed that the committee will stick to their timeline for interviews and should not arrive too early for their interviews.

Meeting adjourned!

Sign In Sheet  
Ad Hoc Committee  
7/29/04

Mark Harris  
Christy Bass

6317 Towpath Rd, Cayuga  
6460 Cayuga Rd

Jamie Campy  
Mary Grattis  
Dan Oberlin  
Bernad A Walker

6065 St Rd. 90th Cayuga  
39 Elmhurst Cr.  
6704 Beech Trce

Stephanie Church  
DICK STARK

6415 Short Rd Cayuga  
1452 W. LEVESEE STRS

**Please sign your name, address**  
**and phone number.**

**Aurelius Planning Board/Ad Hoc**  
**Meeting**  
**July 29, 2004**

NAME	ADDRESS	PHONE
Margaret	6605 State Rd. 90W Cayuga	730-8618
Mark Harris	6317 Towpath Rd Cayuga	253-5326
Don Dieber	39 Chestnut Cr.	255-3212
Dennis Murray		
Bernard G. Walker		
Paul W. Mackey	2055 Purley Rd	2534208
[Signature]	PO Box 336 Cayuga NY 13037	252-1322
Stephanie Church	6415 Short Rd Cayuga	252-6182
Christy Bass	6460 Cayuga Rd	252-3069



PLANNING SERVICES

Daniel J. Aken, AICP

Senior Planner

**Rochester**

530 Summit Point Drive  
Henrietta, NY 14487  
585/359-0280 v  
585/359-1052 f

DAken@FRAPlanning.com

John W. Guariglia, RLA  
SENIOR PROJECT MANAGER



528 PLUM ST., SUITE 200, SYRACUSE, N.Y. 13204-1434 (315) 475-7266  
FAX (315) 479-7917  
133 S. FITZHUGH ST. ROCHESTER, N.Y. 14608-2204 (716) 546-8384  
jguarigi@twcny.rr.com



Andrew J. Raus, AICP

186 N. Water Street, Rochester, New York 14604  
(585) 454-7600 • Fax (585) 232-5836  
Direct (585) 454-4570 Ext. 202 • Email: araus@claripatterson.com



Consulting Engineers

Robert W. Hornaday, P.E.  
Principal

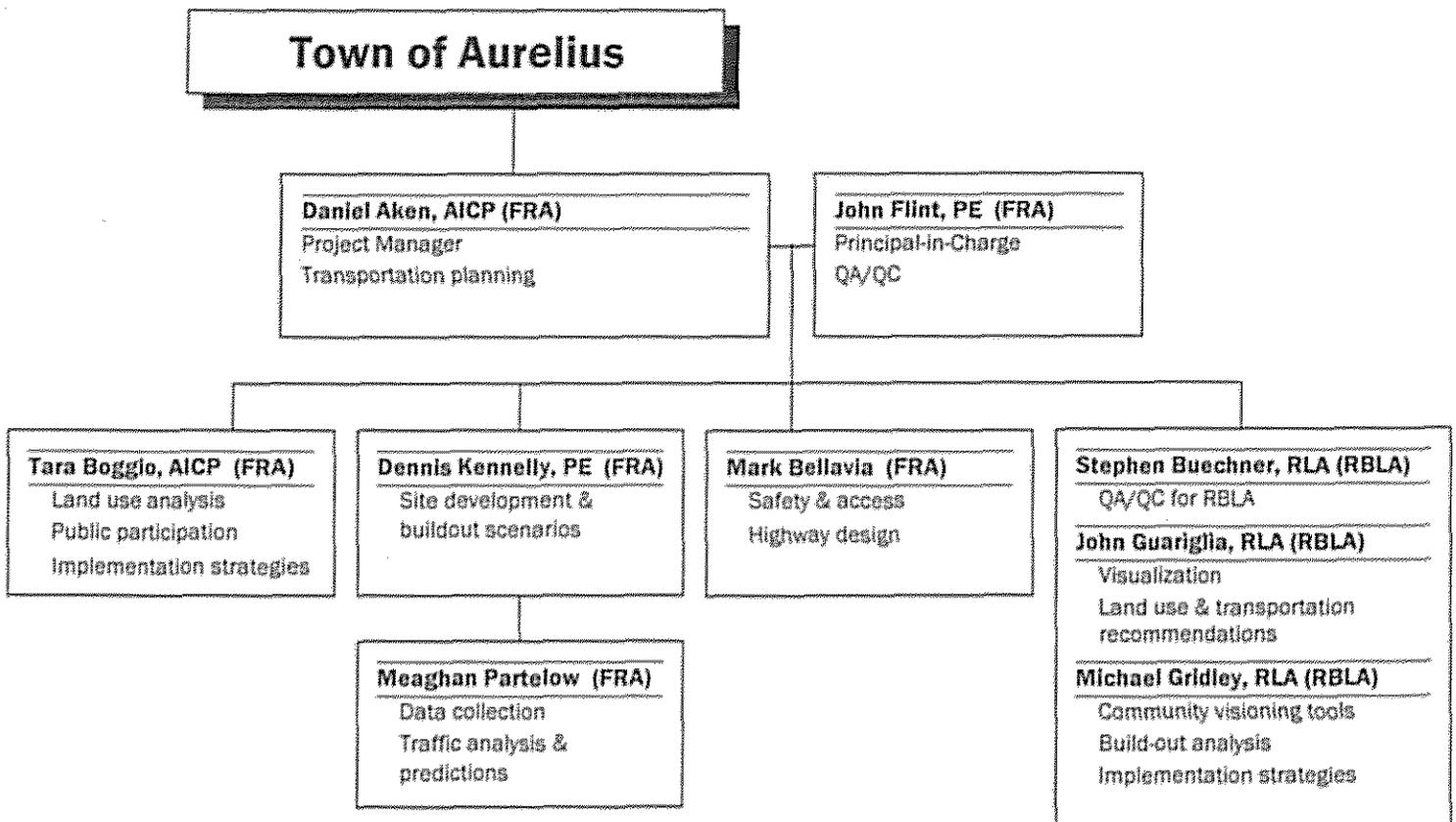
290 Elwood Davis Road  
Box 3107  
Syracuse, New York 13220  
Telephone: 315-457-5200 • Facsimile: 315-451-0052  
rhornaday@BartonandLoguidice.com  
www.BartonandLoguidice.com



## Why Choose the FRA Team?

1. Recent corridor and master plan experience: in rural areas, along similar types of corridors, making us the most efficient & effective team.
2. A comprehensive, balanced team comprised of professional planners, engineers, and landscape architects.
3. A commitment to implementation.
  - a. Most planning consultants walk away after they make recommendations.
  - b. The FRA Team takes you further by:
    - ◆ Prioritizing projects and putting them on a timeline
    - ◆ Identifying the lead agency and the process
    - ◆ Providing planning level cost estimates
    - ◆ Identifying funding sources & assisting in the grant writing process

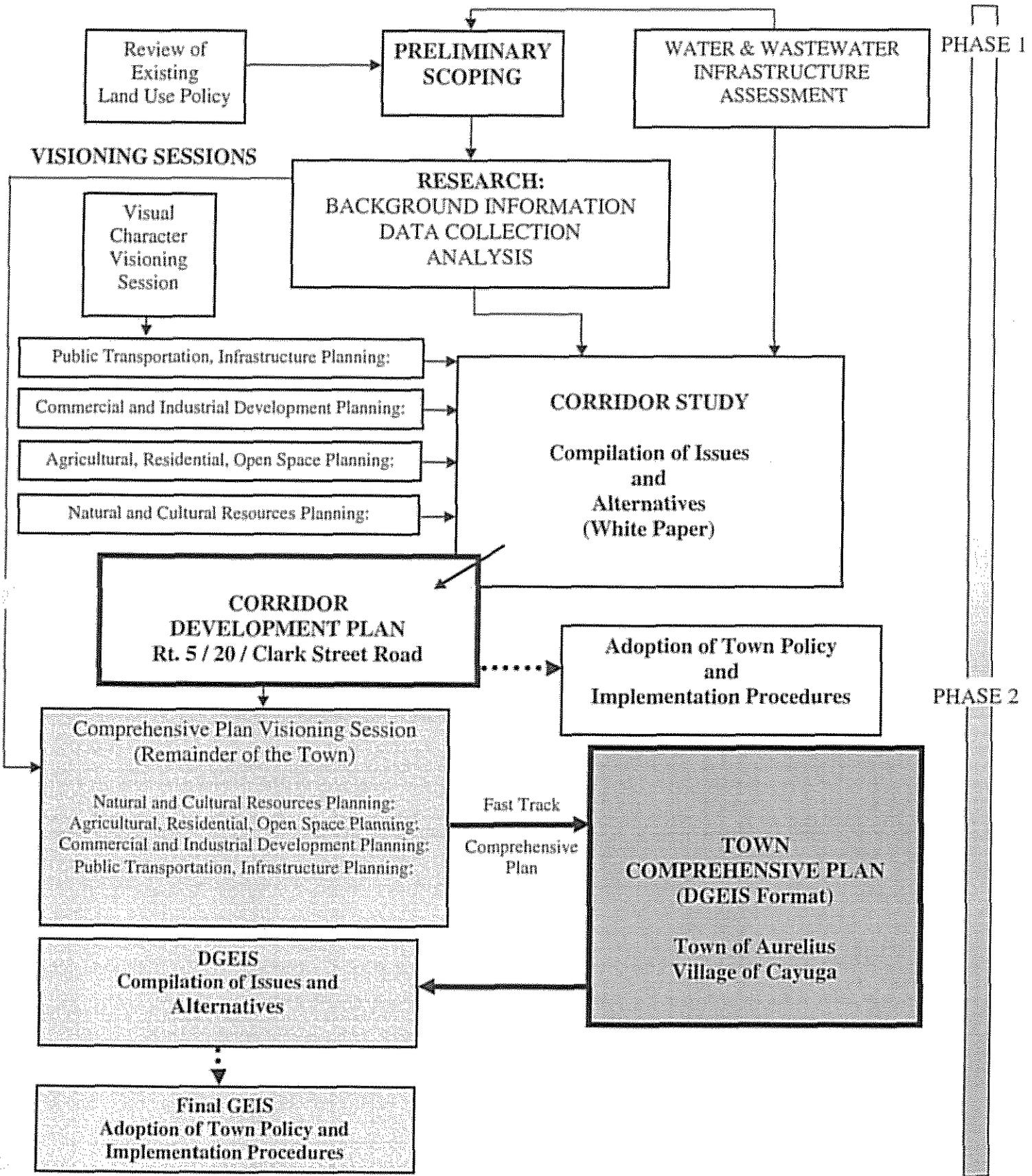
## Who is the FRA Team?



## The FRA Team - Answers to Aurelius Questions

1. **What geographic boundaries did you use when defining the corridor for Phase I?**  
We used the entire length of NYS Routes 5 & 20 within the Town limits, and a distance of 1,000 feet on either side of the right-of-way. We also included the entire length of Clark Street that is within Town limits.
2. **What are the company's grant writing capabilities?**  
Both Tara and Dan have prepared grant applications in the past. Additionally, FRA and RBLA regularly provide technical support on a variety of grant applications. The FRA Team will include a list of applicable grants, contacts, and submission deadlines as part of their final reports.
  - **Describe examples and experience you have had in getting grant funds.**  
Dan has successfully completed a grant application for the GIS software for the City of Clemson, SC. This grant was awarded to the City and was valued at \$26,000. Tara completed the Empire Zone application for Orleans County, which resulted in Orleans County having a designated zone in 2002.
  - **Who prepares the grants (Town or company) and at what cost?**  
FRA would prepare all grant applications and materials (with supporting information provided by the Town). All costs would be dependent on the type of grant pursued.
3. **Is the SEQR part of the corridor and/or the Comprehensive Plan process?**  
FRA's proposal does include the completion of a Long Form EAF. It is not anticipated that an Environmental Impact Statement would be necessary.
4. **Who will prepare the maps and GIS data studies? Is this extra - who will pay?**  
FRA will prepare all maps and GIS data studies. FRA has in-house expertise using GIS and works with GIS on a daily basis. All maps and GIS related work is included in FRA's price.
5. **Who will prepare Public Notices and meeting notices, minutes of meetings, and who is responsible for payment of these services?**  
FRA will prepare public and meeting notices. It will be the responsibility of the Town to distribute them. FRA will also provide all meeting minutes. However, we recommend that the Town record the public hearings for their own records and future use.
6. **What are the responsibilities of the facilitators?**  
The FRA Team will send an appropriate number of skilled public facilitators to public meetings to maximize the input received. Depending on the turnout, the group could be broken out into focus groups to review specific information and exchange ideas, with everyone coming back together to discuss what they came up with.
7. **We would like to have a public opinion survey.**
  - **What experience does your company have with opinion surveys in developing, distributing and tabulating surveys? If not, why?**  
FRA has conducted a variety of surveys including postcard surveys (as part of the NYS Route 88 Corridor Study), questionnaires as part of public meetings (as used in the NYS Route 5 & 20 Corridor Study), and on-site hand out surveys (as used in the St. Regis Mohawk Tribe Casino Study).
  - **Is a survey part of the proposed price or is it additional?**  
The costs associated with preparing and tabulating a survey have been included with our proposal. FRA envisions developing a survey with input from the Town. The Town would be responsible for mailing out the survey. FRA would collect and tabulate the results.
8. **What would extra costs for additional work be? Give examples.**  
The FRA Team has prepared a scope of services with an appropriate fee. We would not anticipate needing to request additional fees based on our scope. However, if the Town were to request additional study items we would negotiate a fee structure based on our provided hourly rates. Examples of additional work could include: the creation of a town-wide recreation plan, the examination of another corridor within the Town, developing zoning language, or revising other Town documents.
9. **How will your company work with local and regional agencies? Please give examples.**  
The FRA Team is accustomed to working with local, regional, and state agencies as part of our planning and design projects. The Team has a strong working relationship with the New York State Department of Transportation, as well as many of the Metropolitan Planning Organizations throughout the state.

PROPOSED PLANNING PROCESS FOR THE TOWN OF AURELIUS



# Project Grant Funding Experience



MUNICIPALITY/PROJECT	FUNDING SOURCE	TOTAL DOLLAR AMOUNT
<b>Adams (V)</b> Water System Improvements Industrial Access Road Improvements	DWSRF NYSIAP	\$2,190,000 \$250,000
<b>Camillus (V)</b> Ten projects, including Main Street Drainage Contracts #1-3, Feeder Bank Pump Station Feeder Bank Bridge Elderkin Avenue Drainage Elderkin Avenue/North Street Drainage Munro Park Improvements Maple Drive Reconstruction Ninemile Creek Stream Bank Stabilization West Genesee Street Reconstruction	HUD Grants  TIP (NYS DOT)	\$726,000 (12)  \$608,000
<b>Elbridge (V)</b> Water Transmission Main to Serve the Village	RD Loan (Formerly FmHA)	\$390,000
<b>Hancock (V)</b> Sanitary Sewer, Pumping Stations, and Wastewater Treatment Plant	EPA/DEC Grants RD Grant (Formerly FmHA) RD Loan (Formerly FmHA)	\$6,665,000 \$1,114,000 \$842,000
<b>Lowville (V)</b> Wastewater Treatment Plant Improvements	CWSRF NYSERDA	\$480,000 \$5,000
<b>Mannsville (V)</b> Water System Improvement Study	NYSDEC	\$65,000
<b>Marcellus (V)</b> Sewage Treatment Plant Upgrade and Collection System Main Street and North Street Drainage Contracts Main Street/North Street Streetscape South Street Drainage	HUD Grant EPA/DEC Grants HUD Grants Multi-Modal/TEA-21 EPA/Multi-Modal	\$145,000 \$634,000 \$453,000 (9) \$158,000 \$400,000
<b>Port Byron (V)</b> Wastewater Treatment Plant Improvements	SRF Direct Loan	\$1,800,000
<b>Pulaski (V)</b> Water System Improvements Salmon River Bank Stabilization Salmon River/Route 11 Lookout Refurbishing Improvements to Snow Memorial Building New Water Storage Tank Storm Sewer Improvements/Inflow Sources  Sanitary Sewer Rehabilitation, Contract No. 2 Sanitary Sewer System Rehabilitation WWTP Improvements, Contract No. 3	HUD Grant HUD Grant NYS Grant NYS Grant RD Loan (Formerly FmHA) Bond Act Grant CWSRF Bond Act Grant SRF Loan Bond Act Grant SRF Loan	\$550,000 \$135,000 \$50,000 \$24,000 \$667,000 \$535,000 \$3,200,000 \$485,000 \$525,000 \$272,000 \$3,600,000
<b>Sherburne (V)</b> Sewage Treatment Plant Improvements	ARC Grant CWSRF Loan EDA Grant RD Grant (Formerly FmHA) RD Loan	\$200,000 \$2,242,000 \$1,000,000 \$583,000 \$100,000

# Project Grant Funding Experience



MUNICIPALITY/PROJECT	FUNDING SOURCE	TOTAL DOLLAR AMOUNT
<u>Seneca Falls (T)</u> Bridgeport Sewer District  Rts. 5/20 Water District  Rt. 414 Water District Extension	EPA/DEC Grant RD Grant (Formerly FmHA) EPA/DEC Grant RD Grant (Formerly FmHA) RD Loan (Formerly FmHA) HUD	\$2,040,000 \$150,000 \$2,040,000 \$150,000 \$1,950,000 \$90,000
<u>Sennett (T)</u> Wastewater Treatment Plant	EDA Grant	\$194,000
<u>Van Buren (T)</u> Street Repairs Memphis Park Improvements Misc. Road Repairs New Salt Storage Shed	Multi-Modal HUD Grant HUD Grant CW/CA Bond Act	\$300,000 \$150,000 \$150,000 \$300,000
<u>Verona (T)</u> Scononcoa Sewer District Verona Water/Sewer System Improvements	CWSRF EPA Grant	\$243,000 \$1,500,000
<u>Minetto (H)</u> Sanitary Sewer, Pumping Station, and Wastewater Treatment Plant in the Minetto Sewer District	EPA/DEC Grants FHA Grant FHA Loan	\$2,778,000 (2) \$308,000 \$320,000

Interview for:

The Town of Aurelius  
5&20 Corridor Study  
and  
Comprehensive Plan

July 23, 2004

TOWN OF AURELIUS PLANNING SERVICES

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Interview Topics

1. Introduction to CPA
2. Our Planning Process
3. Response to Submitted Questions
4. Why CPA?

TOWN OF AURELIUS PLANNING SERVICES

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**Who is Clark Patterson Associates?**

- Established in 1975
- Headquarters in Rochester, NY
- 200 Person Full Service Firm
- Successfully completed over 30 corridor and access management studies and 40 comprehensive plans in the past 10 years
- Recognized as a statewide leader in transportation and land use planning

TOWN OF AURELIUS PLANNING SERVICES

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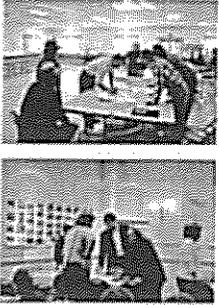
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### Our Approach to Community Planning

- Educate
- Empower
- One on One Involvement
- Every Project is Unique
- High Level Professionals on Every Project
- Public Participation/Facilitation
- High Quality Product with Long Term Value



TOWN OF AURELIUS PLANNING SERVICES

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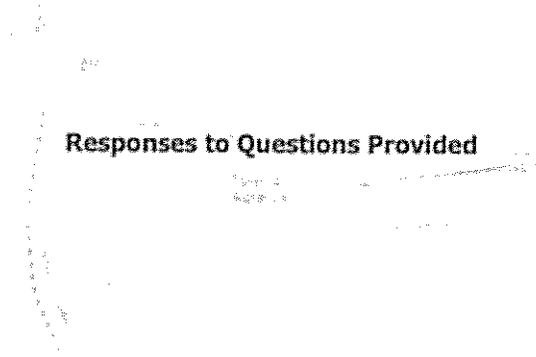
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### Responses to Questions Provided



TOWN OF AURELIUS PLANNING SERVICES

Familiar with Cayuga County

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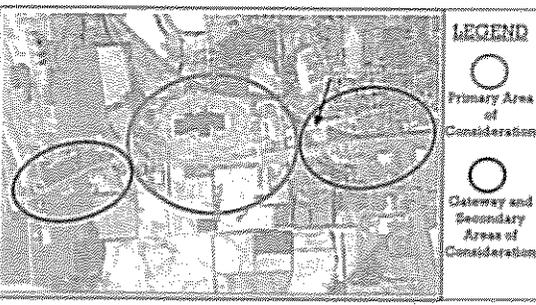
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### What geographic boundaries did you use when defining the corridor for Phase 1?



TOWN OF AURELIUS PLANNING SERVICES

build out analysis on existing use  
on future land use

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use workshop format so  
Ad Hoc + Planning educate us  
right along

Janine - if our corridor wanted <sup>to include</sup> all the 5+20? study

The price we came up with can be modified<sub>2</sub> and price would be worked out.

**What are the company's grant writing capabilities?**

- CPA has experience in writing grant applications for Federal, State and philanthropic resources.

**Describe Examples and Experience you have had in getting grant funds.**

- City of Cohoes: Small Cities \$50,000, NYDOT \$110,000, NYE DCF \$95,000 CDTC Linkage Program \$52,000, Member State \$100,000
- Town of York: Rural Development \$500,000, GOSC - \$400,000, Bond Act - \$1,000,000, ZDA - \$100,000, Empire State Development - \$72,000

**Who prepares the grants.....**

- CPA can prepare all or portions of a grant application.  
.....and at what cost?
- Depending on the complexity of the grant application the cost can be zero to \$7,000.

Don - What do you see as grants for us

Small Cities Grant \$1 37,500 - 1/2 match

Ted - can towns apply? - Yes

Jennine - final document will include list of applicable grants

**Is SEQR part of the Corridor and/or Comprehensive Plan Process?**

- As mentioned in Task Nine of our Comprehensive Plan proposal, Environmental Review consisting of the completion of the Long Form Part One and Two and the required public meeting is considered part of the scope of services.
- SEQR is not currently included in the Corridor Study component because:
  1. It is not a Type One Action
  2. May not be adopted
  3. May be included as a section within the Comprehensive Plan
- A GEIS can be completed for the corridor study and/or the comprehensive plan but will require a scope modification.

can do GEIS if you want but will add more cost

**Who will prepare the maps and GIS data studies? Is this extra, who will pay?**

- We have used Cayuga County Planning Department in the Past to prepare basic maps.
- CPA can complete all required mapping in-house as needed assuming all required GIS files are provided by the County.
- This is not an extra service and will not be an additional fee but may require some coordination assistance from the Town with the County.

already have significant amount of GIS info already  
have worked with County in past has a good relationship

**Who will prepare Public Notices and meeting notices.....**

- Typically, CPA will draft the language and provide it to the Town for printing on official letterhead and submission to public notice publications.

.....minutes of meetings.....

- This service is generally provided by the Town either by the Clerk or by a designated member of the Steering Committee.

.....and who is responsible for payment of these services?

- There should not be any cost associated with these services.

TOWN OF AURELIUS PLANNING SERVICES

Town Clerk or appointed minute  
taker - I will always  
have a power point presentation  
Assistant Planner could take  
minutes if needed  
Public Meetings - Clerk should take minutes

**What are the responsibilities of the facilitators?**

- Run Public Meetings
- Organize Steering Committee Meetings
- Educate the Committees and the Public
- Ensure Constructive Involvement Opportunities

**What are the responsibilities of the planning team?**

- Technical Assistance
- Developing graphics, maps and text
- Identifying Considerations not Brought Up by the Committee
- Education and Empowerment
- Keeping the Project on Track on On Budget

TOWN OF AURELIUS PLANNING SERVICES

extra helpers for facilitator - <sup>WHO IS</sup> Jindy  
Mark - who rated you as Top ?  
Dist of State / Capital District Comm /  
Group of Peers - American Planning

**We would like a public opinion survey.**

- Currently, this service is not included in our Scope of Services. We utilized a "face to face" approach for this submission.

**What experience does your company have in opinion surveys in developing distributing and tabulating surveys?**

- We have completed numerous surveys, two within the last three months. We can distribute and tabulate a survey or split the effort with the Town to reduce costs.

**Is a Survey part of the proposed price or is it additional?**

- If a survey is required by the Town, CPA will re-evaluate our scope with Town Officials to keep the additional service to zero or a minimum.

TOWN OF AURELIUS PLANNING SERVICES

We have public workshops - face to face  
not included but survey would be  
\$1000 more - we'll send out a random  
distribution survey  
many ways to present survey's  
placed in the newspaper  
Ted - would you sit with Ad Hoc Planning  
to develop questions?

**What would costs for additional work be? Give examples.**

- Full Traffic Study: \$8,000 - \$9,000
- Additional Public Meeting: \$1,000 - \$2,800
- Additional Committee Meeting: \$ 800
- Webpage \$1,800 - \$2,000
- Site Plan Review Process Update: \$5,000 - \$8,000
- Subdivision Regulation Update: \$5,000 - \$7,000
- Zoning Code Update: Varies
- GEIS: \$5,800 - \$7,500

*Estimates that require further scoping with the Town if desired*

In plan proposal

steering committee - 7 transportation

Public Workshop - 1

Camp Plan - 1 steering per month

2 public workshop

2 public hearing

see plan

site plan review updates to modify design guides + regulations

Dick - have taken sewer water in IDA land into consideration

Andy - yes -

needs to identify appropriate

**How will your company work with local and regional agencies? Please give examples.**

- Cayuga County Planning Department and Real Property Services: Data, Agriculture and Guidance
- Central New York Regional Planning and Development Board: Data and Guidance
- NYS DOT: Data and Project Updates
- NYS DEC: Data for Sensitive Areas, Endangered Species, etc.
- Cayuga Lake Watershed Intermunicipal Organization: Watershed Information Resource
- Cayuga County Industrial Development Agency: EDZ, Economic Development Plans, etc.
- City of Auburn and V. of Cayuga: Future Plans
- Towns of Fleming, Springport, Montezuma, Throop, Tyre and Seneca Falls: Future Plans

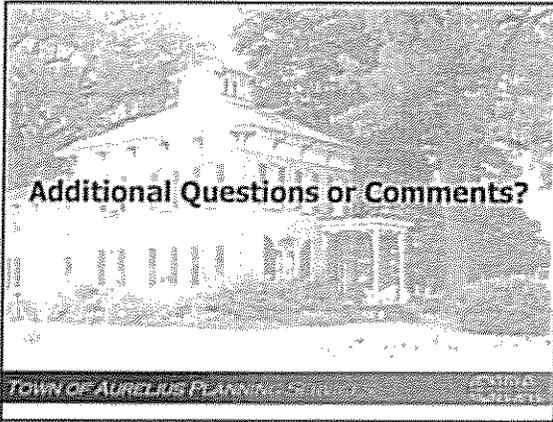
**Why CPA?**

1. Dedicated, Enthusiastic and Responsive Local Team
2. Award Winning Educational Approach
3. Full Service Firm that Functions as a Small Studio
4. Significant Experience in Cayuga County and Surrounding Finger Lakes Communities
5. Cost and Time Efficient Approach
6. Consensus Building, Improved Support
7. Flexible
8. Implementation Specialists
9. Grants Writing

hope to have Transportation Assess

done in 4 months + come

in 8 months



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Town of Aurelius  
Planning Board/Ad Hoc  
Interview July 29, 2004  
approved

Planning Board Members Present: Christy Bass, Janine Garropy, and Jerry Scouten  
Excused: John Henry and Jim Taber

Staff: Debbie Pinckney

Ad/Hoc present: Ted Herrling, Mark Harris, Bernard Watkins, Dick Stark, Don Huber, Mary Gratton, Stephanie Church, John Greer, and Paul Pinckney

Meeting opened at 6:00pm with Ted Herrling explaining the format for interviews, each firm has 45 minutes, an optional 10 minute introduction, and 30 minutes to answer the questions (see attached and a 5 minute wrap up.

6:00pm interview with FRA, Rochester Office, 530 Summit Point Drive, Henrietta, NY 14467. [www.FRA.com](http://www.FRA.com) in attendance: Daniel Aken, AICP, Tara Boggio, AICP and John Guariglia, RBLA.

Please see attached information sheet provided by FRA and a cassette tape of interview is on file with the Town Clerk. During the introduction Dan Aken mentioned the owner, John Flint would be actively involved with the process, reviewing all materials and following the project to completion. FRA just completed a 5 & 20 Corridor Study from Lima to Canandaigua. The study included parts of the Town and Village of Lima, Town of West Bloomfield, Town of East Bloomfield and the Town of Canandaigua. Also consulted and involved in the project were representatives from Ontario County (Lead Agency), Livingston County, GTC, NYSDOT, and Livingston and Ontario County Tourism Promotion Agencies. The study is available to all members of the Ad Hoc and Planning Board to review.

Scope of Boundaries: all of 5 & 20. Grant writing capabilities: Mr. Aken explained the firm can provide the necessary agencies and applications to the Town where they can apply for grants, (even those grants that would be long shots) or they can complete the grants for the Town at their hourly rate, to be quoted at the time of the application. Felt there was not a need for a GEIS Study.

Interview ended at 6:45pm.

7:00pm interview with Clark Patterson, 186 N. Water Street, Rochester, NY 14604  
[www.clarkpatterson.com](http://www.clarkpatterson.com) . in attendance: Andrew J. Raus, AICP and Roger Vanderbrook, P.E..

Please see attached power point presentation sheet. Cassette tape of interview on file with Town Clerk.

Scope of Boundaries: CPA will concentrate on the area which includes FLM and the area directly east to the Auburn City line and West to Half Acre Road. Grant writing capabilities: see the power point sheet, page 3, top info box. Cost for assistance with grant writing can be from zero to \$7,000.00 depending on what type of grant application you request help with. There is no need in CPA's opinion for a comprehensive GEIS Study.

Interview ended at 7:47pm.

8:00pm interview with Barton & Loguidice, 290 Elwood Davis Road, Syracuse, NY , [www.BartonandLoguidice.com](http://www.BartonandLoguidice.com). In attendance: Robert W. Hornaday, P.E., Brian Madigan, and Matt Schooley.

Please see attached information sheet provided by B&L. Cassette tape of interview available with the Town Clerk.

Scope of Boundaries: all of 5 & 20. Grant writing capabilities, see attached information sheet. Proposal includes a compilation of DGEIS issues and alternatives prior to adoption of final GEIS.

Interview ended at 8:49pm.

Discussion centered around the immediate impressions the group had for each presentation. No one was comfortable making any recommendations. Will hold the combined Ad Hoc and Planning Board meeting on Tuesday, August 3, 2004 at 7:00pm at the Town Hall. Purpose of the meeting will be to recommend one of these firms to the Town Board at their August 12, 2004 Board Meeting. Don Huber will be on vacation, he will send his recommendation via e-mail to the Town.

Meeting adjourned at 9:17pm.

Respectfully submitted by Debbie Pinckney, Town Clerk.

SIGN-IN SHEET FOR AD-HOC + PLANNING  
BOARD MEETING HELD ON 8-3-04

Christy Bass  
Jim FABER  
Patty Scouter  
Bonnie Patterson

**Please sign your name, address**  
**and phone number.**

**Aurelius Planning Board/Ad Hoc**  
**Meeting**  
**August 3, 2004**

NAME	ADDRESS	PHONE
Teel Hurlin	Beach Tract Rd	252-0934
Mark Hawk's	6317 Tompa Dr Ld Carync	253-5326
John Lewis	1063 Clark St Ad As	730 6806
Bernard A. Watkins		
Stephanie Church		
Jim TABER		
Dick STALLK		
Chad Hayden	6569 SR90 No Carync 13034	255-0254

Town of Aurelius  
Ad Hoc/Planning Board Minutes  
August 3, 2004  
**approved**

Ad/Hoc present: Ted Herrling, Mark Harris, Bernard Watkins, Dick Stark, Stephanie Church, John Greer, Chad Hayden, Dick Stark, Connie Patterson, John Lawler, Bernard Watkins, and Paul Pinckney... Correspondence attached from Mary Gratton and Don Huber

Planning Board Members Present: Christy Bass, Jim Taber, and Jerry Scouten  
Excused: John Henry and Janine Garropy

Staff: Debbie Pinckney

Minutes of July 29, 2004 submitted for review. No additions or corrections.

**Motion by Stephanie Church to accept the minutes as presented.**

**Second by Paul Pinckney**

**Approved by Stephanie Church, Paul Pinckney, Ted Herrling, Chad Hayden, Mark Harris, Bernard Watkins, Dick Stark, John Lawler, Connie Patterson, and John Greer**

Correspondence read by Ted Herrling...see attached copy of the letters

Mary Gratton: rated the firms #3 Clark Patterson, #2 FRA Planning, #1 Barton & Loguidice  
Don Huber: rated firms #2 FRA Planning #1 Barton & Loguidice provided they perform a town wide survey

Ted Herrling opened the discussion.

The main concern of the committee is a need to have a town wide survey. FRA has included this in their proposal, Clark Patterson and Barton & Loguidice explained they would do this for an additional cost.

**M.H.** Thought Clark Patterson would work well with the community on the initial survey.

**S.C.** Was impressed with FRA's town wide survey process and commented on the fact they were the only firm to follow our RFP request of a town wide survey.

**P.W.P.** Was not present for the FRA Proposal but listened to the tape prior to the meeting, felt B & L's expertise with Grant writing and current knowledge of the town due to previous projects would be the best choice. Clark Patterson's presentation was quite professional but the comments about rearranging the fee structure to take away certain aspects and add others were not to my liking. If a firm followed our RFP, what was in the proposal was requested by us and should be kept in there.

**M.H.** Andy Raus did state a complete town wide survey could be done but he did not have the additional cost figures.

T.H. Is it the consensus of the members present to eliminate one of the firms and discuss the top 2 picks? Answer: Not at this time, let's keep discussing all the firms

S.C. If we choose B&L, we need to keep on top of them as far as survey procedures. There must be clear instructions added to the final contract.

P.P. The Town Board will want monthly updates and open lines of communication during the process.

T.H. Had concerns about Brian Madigan, the Project Coordinator, he seemed quite subdued at the presentation, which is not a good trait if he is to be the facilitator.

M.H. Felt as the B&L presentation progressed the nervousness seemed to lighten up.

C.B. Agrees, after the initial presentation he seemed to be much more open to discussion.

B.W. B&L left me with a great impression, I feel they will do a good job, but I would like to see a town wide survey as part of the final package.

M.H. I felt the presentation by B&L was not as thorough as that of FRA and Clark Patterson.

S.C. I have struggled with my final decision as I believe FRA would do well with the focal groups and have a handle on the western area of 5 & 20 since they did the Lima to Canandaigua Corridor Study and they came across much more personable, but on the other hand, B & L has a better relationship with the Central New York Agencies we would be dealing with in Syracuse and a far more extensive history in grant writing.

T.H. Would we like to consider elimination now? Or take a straw vote?

J.S. j.peter smith co had called about the results, I explained to them they were high bid and did not follow our RFP request of a 2 phase project.

Talk of accountability was discussed as far as telling the firms why they were not chosen.

Christy Bass stated the only person I am accountable to are the residents of Aurelius and that was the mind set of the rest of the committee.

#### Straw Vote results:

<u>FRA Planning</u>	<u>Barton &amp; Loguidice</u>	<u>Clark Patterson</u>
Chad Hayden	Paul Pinckney	no votes
Christy Bass	John Greer	
John Lawler	Dick Stark	
Ted Herrling	Connie Patterson	
Jim Taber	Jerry Scouten	
Mark Harris	Stephanie Church	
	Christy Bass	
	Mary Gratton via letter	
	Don Huber via letter	

More discussion. Talk of the way B&L handled the public outcry when the Verona Plan was almost finalized was mentioned. The handling of the public with focus groups was an excellent way to diffuse a bad situation.

C.B. That situation makes me feel B & L can control misinformation and work with our residents.

J.L. Asked for clarification as to why there was public out cry?

T.H. explained how some people were misinformed about the proposed zoning and thought they were being denied an opportunity to sell their land to the Indians. After 2 focus groups where the plan was laid out for review, the issue went away and the plan was passed.

M.H. Spoke of human nature and how public hearings and information sessions can be offered and at the very last minute, someone will cry foul because they did not attend these meetings and have been misinformed.

J.G. Affirmed this statement, as it also happens with School Budgets, people do not attend the information meetings and then they cry foul when a final budget is put on the ballot.

B.W. There are always people that will not be satisfied.

D.S. Had concerns about the areas east and west on West Genesee St, right now we are talking about the 5 & 20 corridor. Wants to make sure the firm we hire will look at the whole picture.

T.H. The Comprehensive Plan is for the entire Town, the need to communicate our wishes is paramount to making this endeavor successful. Ted asks Jerry Scouten, Stephanie Church and Paul Pinckney to make sure all of the concerns we have discussed be clearly stated when the final contract is negotiated.

C.H. I would like to make sure the FRA community input procedure is what happens in our Plan no matter which firm we choose. I did not attend the interview meeting but the proposal is quite clear and would fit our community quite well. I drive the 5 & 20 corridor FRA's Canandaigua to Lima Plan encompasses daily and I like their RFP.

M.H. The Plan has not been put into effect at this time, what you see has always been that way. But I liked the FRA presentation and feel they will do a good job for us.

C.H. It is important we show a united front when we make the final vote.

T.H. I recommend a final vote at this time.

FRA

Ted Herrling  
Mark Harris  
John Lawler  
Jim Taber

Barton & Loguidice

Connie Patterson  
Christy Bass  
Jerry Scouten  
Bernard Watkins  
Dick Stark  
Stephanie Church  
Paul Pinckney  
John Greer  
Chad Hayden  
Don Huber  
Mary Gratton

The final vote is contingent upon Barton & Loguidice including a town wide survey in their final proposal. During the interview process they recommended a random survey but they said a town wide survey could be done at an additional cost.

T.H. It is the recommendation of the Aurelius Ad Hoc Committee that Barton & Loguidice be hired to complete the Comprehensive Plan for the Town of Aurelius provided a town wide survey is included in the final proposal.

**J.G.** I would like to state how great this committee has been to work with. The dedication and Focus on the task at hand was just great.

**T.H.** I agree completely, every meeting had been productive but I have to say, there will be a lot of work ahead of us. Let's hope we can keep the momentum going over the next 18 months.

**Motion to adjourn by Mark Harris**

**Second by Connie Patterson**

**Approved by everyone present**

Meeting adjourned at 8:20pm.

Next meeting will be September 7, 2004 at 6:30pm.

**Planning Board meeting opened at 8:25pm by Chairman Jerry Scouten**

Members Present: Jerry Scouten, Christy Bass, and Jim Taber

Excused: Janine Garropy and John Henry

It is the recommendation of the Aurelius Ad Hoc Committee that the Aurelius Planning Board submit the firm of Barton and Loguidice to complete the Aurelius Comprehensive Plan. It is the wish of the Ad Hoc Committee Barton & Loguidice include in their RFP a town wide survey before any contract is signed by the Town Board.

**Motion by Christy Bass to accept the Ad Hoc recommendation**

**Second by Jim Taber**

**Approved by Christy Bass, Jim Taber and Jerry Scouten**

Jerry Scouten will make the recommendation at the regular Town Board meeting scheduled for August 12, 2004 at 7:00pm in the Town Hall. There will be a need to meet with Barton & Loguidice to clarify the town wide survey issue and the added expense this will incur.

**Motion to adjourn by Christy Bass**

**Second by Jim Taber**

**Approved by Christy Bass, Jim Taber and Jerry Scouten**

Meeting adjourned at 8:35pm.

Next meeting scheduled for September 7, 2004. 7:00pm at the Town Hall.

Respectfully submitted by Debbie Pinckney, Town Clerk.

August 3, 2004

Ad hoc Planning Committee

Dear Fellow Members:

I am sorry for not staying this evening but I would like to attend another meeting. This is a quick run down of my insights and thoughts on the three companies we interviewed last Thursday, along with my choice.

Clark Patterson – rank third with me. I felt the gentleman was too vague about cost on items we wanted to change. In addition, I felt that he was vague on details of some of the questions we had for his company. As far as “feeling warm and fuzzy” about working with him, I did not get that feeling; I felt as though he was talking down to us. [That could be because he was standing and we were all sitting.]

FRA – Very impressive presentation, I thought they came dress to impress and were well prepared for the interview. Tara and John(?) knew their stuff and appear enthusiastic and eager to do the job. I do think they would do a wonderful job if given the opportunity. The “warm and fuzzy feeling” in reference to working with them was present. Where I thought we might not get all we want from the firm was in grant writing and “reality” checking. What I mean about “reality” checking: I think in their effort to support and please us they might put pleasing us first before speaking up and saying folks – here is the negative side of the issue.

B&L – Though their presentation was not as impressive as FRA, they did let us know that there would be difficult issues for us to address. They would be there pointing them out to us along the way. I did like what they had to say about the “burden of development” – developers need to have social responsibility to the communities that they move into, which I agree with strongly. Their grant writing success is stronger than FRA, but I would like to point out that the majority of the grants were for water and sewer projects. Base on their knowledge of the community and their written proposal I have put them first.

This was a difficult task to decide which group to support in our decision. I vote for B&L but with mixed feelings. If only their had put more effort into their presentation and came in with a print out of the answers to our questions would my choice have been easier. If the committee selects FRA I would not be disappoint, they surely came last week to win us over.

Sincerely,



Mary Gratton

[Fwd: my vote]

**Subject:** [Fwd: my vote]

**From:** Deborah A Pinckney <dapink@localnet.com>

**Date:** Mon, 02 Aug 2004 08:43:41 -0400

**To:** Ted <herrling@co.cayuga.ny.us>, Stephanie <s.church@dwdiesel.com>

----- Original Message -----

**Subject:**my vote

**Date:**Fri, 30 Jul 2004 10:36:54 EDT

**From:**CENGRAVING@aol.com

**To:**dapink@localnet.com

Debbie,

As we discussed last night, this is my email indicating who I will vote for on Tuesday night to be read into the record, as I will be on vacation.

1. B & L would get my vote as long as there is a provision for the whole town to receive opinion surveys. If they steadfastly refuse to put an opinion survey in their proposal then I would not vote for B & L.
2. FRA Planning would receive my vote, because of their strong presentation, and their ability to connect with us and the townspeople at the focus groups. I think they would do a good job for our town.

Thank You

Don Huber

Ad Hoc Committee Member

TOWN OF AURELIUS

COMPREHENSIVE PLAN AD HOC COMMITTEE

September 7, 2004

AGENDA

1. Welcome and Introductions
2. Review of August 3, 2004 minutes
3. Review Barton & Loguidice RFP and questions needed for the Town-Wide Survey.
4. Discussion for additional segments of the Strategic and Comprehensive Plans.
5. Next Steps
6. Adjournment

Janine  
Lori  
John } called won't be here



Town of Aurelius  
Ad Hoc/Planning Board Minutes  
September 7, 2004  
**approved**

Ad/Hoc present: Ted Herrling, Mark Harris, Stephanie Church, Chad Hayden, John Lawler, Mary Gratton and Don Huber

Planning Board Members Present: Christy Bass, Jim Taber, John Henry, and Jerry Scouten  
Excused: Janine Garropy

Staff: Debbie Pinckney, Recording Secretary and Matt Schooley, Town Engineer

Minutes of August 3, 2004 submitted for review. No additions or corrections.

**Motion by Stephanie Church to accept the minutes as presented.**

**Second by Mary Gratton**

**Approved by Stephanie Church, Mary Gratton, Ted Herrling, Chad Hayden, Mark Harris, and John Lawler**

Ted Herrling opened the discussion asking Matt Schooley to speak about the next step as we begin the groundwork for the Comprehensive Plan.

Matt explained the need to develop a set of questions to be used during the visionary meetings. AT this time we have scheduled 5 visionary meetings, see page 3-6 of the RFP.

**J.S.** How many questions?

**M.S.** If you wanted to follow the Verona format, approximately 22, in this instance, you need to simplify yet be comprehensive. Too many questions will confuse and blur our objective.

**T.H.** The Town of Owasco's has a very detailed survey.

**M.S.** That was probably the product after they had a few visionary meetings.

**D.H.** Shouldn't we have a survey first?

**M.S.** B & L would discourage this because first meetings are more organizational...people are going into this cold, not knowing what is being and done and why, the first meetings are more of an open dialogue so you can get an idea as to what is of the greatest concern of the residents with regards to Strategic Planning.

**D.H.** Ted, what did Owasco do first?

**T.H.** Not sure.

**S.C.** I think the specifics of the survey make are such that the survey was designed in the middle of their vision meetings.

**C.B.** We need the first few meetings as a starting place as there may be questions and concerns we are not aware of that are of great concern to our Town residents.

**T.H.** After looking at the cover and content, I'm thinking Owasco did their survey first.

**M.S.** What is the format type? Is it strongly agree/disagree/no opinion?

**T.H.** Yes

**J.L.** Can anyone give me an example of what type of questions we are thinking about?

NO Answer.

**M.H.** What about special interests and concerns? We need to be specific. It is important that we understand there are special interests that might not be of concern to everyone but they are valid concerns.

**T.H.** The Owasco Survey is basically generic enough to fit any Town.

**M.S.** You need specific questions; obviously the hot topics will be Indian Land Claim, Agricultural Preservation, Residential, and Commercial.

**C.H.** I for one would like to be able to review any questionnaire before it is mailed out.

**T.H.** I agree.

**S.C.** We are expecting B & L to give us guidance through this process; I suggest we ask their expertise before we develop any type of survey. With the diversity of people, business and those that want to be anonymous, we can lose a lot of validity from responses.

**C.H.** We should not solicit information that isn't really going to be useful to the grand plan.

**S.C.** But I think we would be able to use that sort of information

**J.L.** Surveys are more of a tool

**T.H.** Matt, how well are vision meetings attended?

**M.S.** Depending on the topic and community interest, attendance can be varied.

**T.H.** Would anyone like to volunteer to look at the surveys we have on hand before the next meeting?

**S.C.** Aren't we being premature?

**J.T.** Shouldn't the vision happen first and then get opinions? Aurelius cannot be compared to Owasco. And once the survey is complete, give them an option to omit their name, should they feel a need to do so.

**S.C.** I would like to hear from Brian Madigan of B & L once B & L has revised their original proposal to include a town wide survey. Once that contract is signed we meet again and define the vision sessions.

**M.S.** Can't speak for Brian, but I think Jim is correct, in that the vision meetings come first.

**D.H.** But we do not want selective surveys.

**M.S.** No, but getting a few vision meetings in will give you a better handle on what the biggest concerns are. I'm thinking the 5 & 20 corridor will be a hot topic and that will entail a survey specific to that area.

**T.H.** Okay, what we have right now are a few goals...

#1 revise the proposal which I'm asking Matt to communicate to B&L before the next Town Board Meeting. We want a Town Wide Survey included.

#2 please supply a flow chart with all revisions included.

#4 we expect Brian Madigan to help us along the way, especially when we begin to develop valid questions for our survey. The timing of the survey should not make a difference in the cost.

#5 we will create the survey, mail it out and collect the responses...B & L will develop, collate and evaluate.

**J.T.** Sounds right, and as Christy said, by holding these meetings first, we might have questions from residents that we did not think of.

**T.H.** An outline might be productive.

**J.L.** There might be a need for just one meeting specifically on the Indian Land Claim

S.C. We will have no control over Land Claim Issues Matt agreed.

M.S. The only concern we have is "if" the Indians do build at the end of Rt 90, that affects the corridor, we cannot control if they are there or not. That will have to be addressed in one of the vision meetings.

J.T. I would like to make sure we add public safety to Vision Meeting #2.

M.S. Sheriff Rob Outhouse mentioned that at the very first meeting.

T.H. Any other thoughts?

J.L. I am assuming preservation of natural resources include wetlands and water quality?

J.H. What about education?

M.S. It is incorporated in Vision #4

T.H. Will that include BOCES should they build on West Genesee ST Rd?

M.S. Yes as that has already been initiated.

T.H. Anymore?

Discussion centered on meeting time, time line, and cost.

C.H. How is all of this being paid?

S.C. The plan will cover 3 years and 3 budget cycles. B& L will advise of possible grants to cover cost implementation. There is also a possibility of getting funds from private interest groups, possibly Cameron LLC, the developers with an option to buy the Wait property and Greenfield Associates, the Mall.

M.S. B & L has initiated talks with the Cameron Group as they will need our help in gathering information for the Environmental Impact (SEQR)

T.H. So, are our additions to the flow chart complete?

M.S. I hope to have Brian Madigan at your next meeting

S.C. We should have a calendar laid out at that meeting for the vision sessions.

M.G. Owasco uses their newsletter to get the word out.

J.T. I suggest we draft a letter when we are ready to start so that everything is clear to our residents.

Discussion about different ways to get the word out so the meetings will be well attended.

T.H. To capulate:

Have B & L include a Town Wide Survey with the added expense in the final proposal.

Town will mail it and include SAS to go to B & L.

B & L complies the responses and evaluates

Matt, you say B & L can move forward even though the final proposal might not be signed until Dave O'Connor checks it over? Matt thought that would not be a problem.

Then we would like Brian to spec out a plan for our October 5<sup>th</sup> meeting please

Final discussion....

Stephanie Church brought up the need for a paid minute taker. It is a difficult task and one that should be compensated. It was decided to bring the request to the Town Board for approval to compensate for minute taking. Ted will tape the meetings, but we need a transcriber.

**Motion to adjourn by Mary Gratton  
Second by Mark Harris  
Approved by everyone present**

Meeting adjourned at 8:10pm.

Next meeting will be October 5, 2004 at 6:30pm.

**Planning Board meeting was cancelled until October 5, 2004 as the Cameron Group will not be here as originally planned.**

Respectfully submitted; Debbie Pinckney, Town Clerk

Town of Aurelius Comprehensive Plan

Agenda

Tuesday October 5, 2004 7:00 p.m.

Town of Aurelius Municipal Building

Phase I      **Task A - Preliminary Scoping Session.**

Meet with Town officials to assist in organizing the Corridor Study Comprehensive Plan.

I. Important Steering Committee roles

A. Major committee issues

1. Chairperson - Update of Town Board members
2. Secretary

B. Area representation

C. Background of individuals

D. Individual interests.

II. Review of project elements (question and answer)

A. Planning process

B. Structure of Workshops

C. Structure of Visioning Sessions

D. Scheduling

III. First Session.

A. B&L recommended participants

B. Town recommended participants

C. Discussion of adjacent land use implications to the corridor

D. Review of project schedule and discussion of time-line

E. Scheduling for subsequent meetings

**Ad/Hoc Committee**  
**October 5, 2004**

Ad/Hoc present: Mark Harris, Stephanie Church, Chad Hayden, John Lawler, Mary Grafton, Don Huber, Paul Pinckney, John Greer, Stephanie Church, Jerry Scouten, and Dick Stark  
Excused: Ted Herrling, Lori Bodah , and Bernard Watkins  
Absent: Connie Patterson

Jim Taber is acting Chairman and he introduced Brian Madigan of Barton & Loguidice and asked him to begin the meeting, explained the attached agenda: Phase I Task A – Preliminary Scoping Session.

Brian asked the people present to introduce themselves and speak of where they live, their present job, and what capacity they are there as.

<b>Name</b>	<b>Address</b>	<b>Job</b>	<b>Title</b>
Mark Harris	Towpath Rd, Cayuga Village	Gould's Pumps	Village Planning Board
Chad Hayden	Rt 90 N., Cayuga	Lawyer	Town Justice
John Lawler	Clark St Rd, Auburn	Teacher	Ad Hoc
Mary Grafton	Rt 90N., Cayuga	Teacher	Ad Hoc
Don Huber	Elmhurst Circle	Business Owner	Ad Hoc
Paul Pinckney	Pinckney Rd	Farmer/Painter	Ad Hoc/Town Council
John Greer	Cayuga Village	HomeSite	Ad Hoc/Code Enforcement
ick Stark	West Genesee St Rd	Retired GE Engineer	Ad Hoc
Jerry Scouten	West Genesee St Rd	Signed Right	Planning Chairman
Christy Bass	Cayuga Rd. Cayuga	Court Clerk	Planning Board
John Henry	West Genesee St Rd	Case Worker	Planning Board
Jim Taber	West Genesee St Rd	Sherriff Dept	Planning Board
Stephanie Church	Short Rd, Cayuga	D & W Electric	Ad Hoc/Town Council
Debbie Pinckney	Pinckney Rd	Town Clerk	Recording Secretary
Matt Schooley	Clark St Rd	Engineer	Town Engineer Rep
Absent:			
Bernard Watkins	Beech Tree Rd	Retired Police	Ad Hoc
Lori Bodoh	Beech Tree Rd	EMT	Ad Hoc
Janine Garrypy	Beech Tree Rd	Administrator	Planning Board
Connie Patterson	Chamberlain Rd	Dairy Farmer	Ad Hoc
Ted Herrling	Beech Tree Rd	County	Ad Hoc Chairman/BAR

Discussed the next phase of the Comprehensive Plan Process. See Attached Agenda for review.  
Members present discussed their personal concerns with the upcoming Comprehensive Plan Visioning Sessions. Topics of interest will be narrowed down and discussed at the next meeting. Brian will facilitate, coordinate, and work with Debbie Pinckney to better communicate with the Committee, the Planning Board and the Town Board. There is a need to establish a calendar of events. As it is Election Day November 2, there is a need to move the next meeting day. As we get into the visioning sessions, there will be a need to move the venue, possibly to the Aurelius Fire House on Half Acre Road. Debbie will check with availability dates. It was decided to hold the

second scoping session on Thursday November 4, 2004. Jim Taber and Jerry Scouten agree the need to break off the same night meetings for Ad Hoc and Planning as we enter the busy time for the Corridor Study, the Comprehensive Plan and perspective new businesses requesting time with the Planning Board. The Planning Board will meet Tuesday, November 9, 2004.

Jim Taber asked if there was any other business? Debbie asked for a review of the September minutes.

Minutes of Ad Hoc Meeting September 7, 2004 submitted for review.

**Motion by Stephanie Church to accept the minutes as presented with corrections, add Paul Pinckney to Ad Hoc members present and correct typos.**

**Second by Mary Gratton**

**Approved by Stephanie Church, Mary Gratton, Don Huber, Dick Stark, Chad Hayden, Mark Harris, John Greer, Paul Pinckney, and John Lawler**

**Motion to adjourn by Mary Gratton**

**Second by Mark Harris**

**Approved by everyone present**

Meeting adjourned at 9:10pm.

Next meeting will be Thursday November 4, 2004 at 7:00pm as the first Tuesday is election day.

Respectfully submitted; Debbie Pinckney, Town Clerk

I. Executive Summary

(insert upon completion)

A. Need for the Route 5/20 Corridor Study

B. Extent of the Corridor Study

C. Corridor Study Planning Components

1. Transportation Plan

a. Goal

b. Objectives

c. Recommendations

d. Implementation

2. Utility Plan

a. Goal

b. Objectives

c. Recommendations

d. Implementation

3. Land Use Plan

a. Goal

b. Objectives

c. Recommendations

d. Implementation

4. Corridor Design Guidelines

- a. Goal
- b. Objectives
- c. Recommendations
- d. Implementation

II. Purpose and Intent of the Route 5/20 Corridor Study

A. Need for the Study

- 1. Recent Commercial Activity Driving Demand
- 2. Demographic Profile
- 3. Protection of Natural Resources, Agriculture and Rural Character
- 4. Transportation Considerations
  - a. Safe and efficient flow of traffic
  - b. Multi-modal circulation and pedestrian safety
  - c. Emergency Services
  - d. Accessibility
- 5. Water and Wastewater Utility Needs
  - a. water
  - b. sewer

B. Purpose of the Study

- 1. Proposed Outcome

- a. Transportation Plan
- b. Utility Plan
- c. Land Use Plan
- d. Growth Management
- e. Visual Quality
2. Implications to the Comprehensive Plan

### III. Study Area Context, Configuration and Assessment

#### A. Study Area Boundary

1. Study Area Context Map
2. Adjacent Land Use in the Corridor
3. Environmental Inventory and Constraints
4. Land Use Controls

#### B. Planning Related Refinements to the Study Area

1. Projected Transformation of Land Use
2. Projected Acreage Requirements
3. Discourage of Strip Development
4. Commercial Build Out
5. Maintaining Visual Quality
6. Existing Land Use, Ownership and Zoning
7. Availability of Utilities and Growth Capabilities
8. Highway and Municipal Boundary Considerations

C. Proposed Configuration of the Land Use Plan Development Area  
(Commercial Growth)

IV. Goals, Objectives, Alternatives and Recommendations

A. Transportation Planning

1. Project Goal
2. Objectives
  - a. Address Existing Conditions
  - b. Plan for future Requirements
  - c. Promote Growth Management Objectives
3. Alternatives
  - a. Arterial Preservation and Commercial Growth Boundary
  - b. Maintain or Expand Existing Highway Capacity
  - c. Multi-Modal Considerations and Internal Circulation within the Growth Boundary
  - e. Public Transportation Considerations
4. Recommendations
  - a
  - b
  - c
  - d
  - e

B. Utility Planning

1. Project Goal
2. Objectives
  - a. Address Existing Problems
  - b. Plan for future Deamand
  - c. Promote Growth Management Objectives
  - d. Identify System Potential and Providers
  - e. Estimate of Costs for System Expansion
  - f. Rationale for System Expansion
3. Alternatives
  - a. Water Service
  - b. Sewer Service
  - c. Water and Sewer Recommendations
4. Recommendations
  - a
  - b
  - c
  - d
  - e

C. Land Use Planning

1. Project Goal

2. Objectives

- a. Commercial Growth Management
- b. Establish Preferred Land Use Patterns within the Corridor
- c. Establish Compatability with Adjacent Land Use and Community Character
- d. Enhance Environmental Protection and Maintain Rural Character
- e. Minimize Impacts to Active Agriculture

3. Alternatives

- a. No Change to Zoning and Policy Alternative
- b. Adoption by reference County Standards and Land Use Policy
- c. Revise Current Local Zoning Districts and Land Use Policy

4. Recommendations

- a
- b
- c
- d
- e

D. Land Use Planning

- 1. Project Goal
- 2. Objectives

- a. Address existing Appearance Incompatibilities
- b. Site Plan Guidelines for Commercial Development within the Corridor
- c. Prepare Design Guidelines for Major Subdivisions within the Corridor
- d. Enhance Environmental Protection and Maintain Rural Character
- e. Minimize Impacts to Active Agriculture

### 3. Alternatives Considered

- a. Reliance on Current Performance Standards
- b. Adopt by Reference Existing Guidelines for Projects and Proposals
- c. Develop Local Guidelines for Commercial Development and Subdivisions

### 4. Recommendations

- a.
- b.
- c.
- d.

## V. Implementation and Recommendations

Draft

594.011  
BKM  
10/15/04

- A. Transportation Plan
- B. Water and Wastewater Utility Plan
- C. Land Use Plan
- D. Community Design Guidelines
- E. Linkage to Community Comprehensive Plan
- G. Plan Coordination with Involved Agencies



594.012  
BKM  
10/25/04

MINUTES OF MEETING

Among

THE TOWN OF AURELIUS  
EDWARD IDE, TOWN SUPERVISOR

NEW YORK STATE DEPARTMENT OF TRANSPORTATION REGION 3  
STEVE VETTER, P.E.  
WILLIAM EGLOFF, P.E.  
GEORGE DOUCETTE, P.E.

CAYUGA COUNTY DEPARTMENT OF PLANNING  
DAVID MILLER, AICP

and

BARTON & LOGUIDICE, P.C.  
ROBERT HORNADAY, P.E.  
MATTHEW SCHOOLEY, P.E.  
BRIAN MADIGAN, RLA

290 Elwood Davis Road  
Box 3107  
Syracuse, New York 13220

Concerning

**The Town of Aurelius Route 5/20 Corridor Study and Comprehensive Plan**

Town of Aurelius, New York  
Job # 594.012

Monday, October 25, 2004  
9:00 p.m.

## I. INTRODUCTION AND ATTENDANCE

A meeting was held on October 25, 2004 at 9:00 a.m. to discuss the Route 5/20 Corridor Study and gain consensus regarding the direction of the planning process. The meeting was held at the offices of Barton and Loguidice, P.C. in Liverpool, New York and the following individuals were present:

<u>Name</u>	<u>Organization</u>
Edward Ide	Town of Aurelius, Supervisor
David Miller	Cayuga County Planning Director
Steve Vetter	NYSDOT Region 3 Planning
William Egloff	NYSDOT Region 3 Planning
George Doucette	NYSDOT Region 3 Planning
Matthew Schooley	Barton and Loguidice, P.C.
Robert Hornaday	Barton and Loguidice, P.C.
Brian Madigan	Barton and Loguidice, P.C.

This memorandum is intended to encapsulate our summary discussion on October 25, 2004 regarding the direction of the Route 5/20 corridor study in the Town of Aurelius. Based upon Robert Hornaday's introduction, with input from Ed Ide, Town Supervisor, it is clear that town officials are spearheading a corridor study and comprehensive plan for the following reasons:

1. The Town wishes to approach economic growth in a manner that does not change the quality of life for local residents.
2. The Town is concerned with the secondary effects of recent development proposals, including potential traffic impacts.
3. The Ad Hoc committee (steering committee for the corridor study and comprehensive plan) does not want to allow the Route 20 corridor to develop in the same manner as the Route 5 corridor east of Auburn.
4. The Town is now committed to careful planning in the corridor and working with NYSDOT Region 3, the County and potentially other municipalities including Auburn, Throop and Sennett.

The discussion began with Steve Vetter, who stated that Route 5/20 is primarily for arterial use and should not be used to move local traffic. DOT's approach is to minimize road cuts on arterials and collectors. This can be accomplished by establishing a local road network to service current and future commercial/industrial land use.

Dave Miller followed by stating that the County has encouraged the Town to revise their road front zoning approach and discourage strip style commercial development. The Town's current zoning map results from local history that includes small business expansions perceived in the

Town of Aurelius Route 5/20 Corridor Study and Comprehensive Plan  
Minutes of Meeting  
October 25, 2004  
Page Two

1960s and 1970s to take place at the local level and a 1960s vintage plan for a sewer plant in the Village of Cayuga. The Cayuga sewer plan concept was never realized and it is not realistic to envision extension of sewer beyond Half Acre Road for the foreseeable future.

Ed Ide discussed the potential of a casino and stated that at this point it would be more likely that the Cayuga Nation would attempt a gaming facility with backing from the Oneidas rather than the Cayuga Senecas. However, in planning ahead, these forces should be considered for potential impact in the corridor.

The group discussion then turned to the major transportation issues at hand. NYSDOT Region 3 began the discussion by stating the following:

- The State energy plan will enter into their review process and NYSDOT will be required to incorporate a 25 percent reduction in energy consumption below 1990 levels in their planning.
- The disconnect between commercial and residential land use is an unintended consequence of the zoning process and should be addressed.
- Urban density factors should be considered that might involve the City of Auburn and other towns. This is important in funding Federal aid projects. For example, Turnpike Road and Webster Road may require discussion with Sennett and Throop.

The discussion turned to the issue of internal circulation patterns. David Miller and Ed Ide discussed some of the background of the area. Items discussed included:

- Local access between the mall and neighborhoods to the north was abandoned but there is renewed interest in reopening the road. This will provide a local connector to the north and will require engineered improvements to the railroad underpass or an at-grade crossing.
- The Hoskins family would like their farmland listed so that it cannot be developed.
- The Masi property is problematic for an entrance drive because it is a potential brownfield site and the owner is asking a large sum of money for the property.
- The intersection of Half Acre Road and Route 20 is difficult to negotiate due to a problem with geometry and will need an upgrade.
- The issue of connecting the IDA site to Genesee Street has a long history, particularly west of Experimental Road and local residents are opposed to connecting the IDA property to Genesee Street Road.
- BOCES is considering the southern portion of the IDA site but it is not definite.

Bob Hornaday discussed the potential for purchase or transfer of development rights from the farmland to provide increased commercial density. This approach is taken by Warwick, Pennsylvania and B&L is currently developing a plan to develop a TDR program for residential land in Lysander.

The discussion turned to the arrangement of intersections and the proposed internal circulation system. For planning purposes, NYSDOT would not become involved in the issue of local circulation but will be concerned with the impact of the local network on the Route 5/20 corridor. NYSDOT Region 3 encourages the development of the comprehensive plan but it is important that the Town not only adopt the plan, but that it takes measures to implement the plan. It is important that the Town shows movement toward plan implementation.

Upon discussion of the preliminary sketch plan concept, the final consensus of the group was that the following issues be addressed as the Town moves forward in the corridor planning process:

1. The Town will not only undertake a planning process, but also show a good faith effort to move forward with implementing the plan.
2. The plan should not result in any degradation of safety within the corridor and the proposed intersections should remain as the only access to Route 20 for the planning horizon.
3. The Town should also look forward to address the potential impacts of future residential subdivisions upon the corridor.
4. The Town should look at the potential of connectivity between the mall and Webster Road to the north to provide neighborhood connectivity.
5. The loop road should be addressed as more of an internal route (local road) with better-defined entrances into parking lanes and improved pedestrian safety. Pedestrian movement within the area should not be overlooked. This will become more important as the out parcels are developed.
6. Local access should be provided on local roads not collectors or arterials.
7. The intersection of Half Acre Road will require an improvement to geometry and possibly become signalized.

8. The four lanes should be extended to Half Acre Road with a transition to two lanes west of Half Acre Road.
9. Greenfield out parcels should be treated as one through the State Environmental Quality Review Act (SEQR) and the local review process.
10. Crane Brook should be extended behind M & R properties and tie into the IDA property north of Johnson Paper.
11. An internal circulation route should be developed down to the local collector level for parcels north and south of the corridor.
12. Verge areas for safe site distance and snow storage should be addressed.
13. Changes in use should require local review through the site plan review process because a change in use could impact safe ingress, egress and flow within the corridor. (For example: A drive-in fast food establishment or convenience store may generate more traffic than a pharmacy, etc.)
14. A key provision of the planning process should be to ensure a safe and efficient flow of traffic and safe ingress/egress to adjacent land use.
15. The results of the discussion are summarized on the attached preliminary sketch plan that shows the basic concepts of physical planning in the area between Half Acre Road and the Auburn City line.

Upon closing the discussion, the group developed a consensus on these issues and agreed that it is important to work together as the planning process moves forward.

The next step is to enter into a discussion with the developers to make sure they are aware of the approach the Town intends to take and to bring the discussion back to the Ad-Hoc committee on November 4<sup>th</sup> during their second scoping session. The purpose of that session will be to discuss agency input to bring the Town Ad Hoc committee up to speed and to prepare for public visioning sessions that will take place over the next few months.

Please submit any questions, comments, or changes to this memorandum to Brian Madigan at Barton & Loguidice, P.C. by November 10, 2004.

/tlh



**Please sign your name, address**  
**and phone number.**

**Aurelius Ad Hoc Meeting**  
**November 4, 2004**

NAME	ADDRESS	PHONE
MARK HARRIS	6317 Township Rd, Cayuga	253-5326
Mary Gratto	Cayuga Rt. 90W	730-8618
Don Fisher	39 Chestnut Cr.	255-3212
Ted Herling	6519 Beech Tree Rd	252-0934
Jim TABER	W. GENESSEE ST. RD	255-1435
Ken & Beverly Pollard	5173 Darts Birt Cayuga	889-5053
Stephanie Church	6415 Short Rd Cayuga	252-6182
Jaime Campy	6511 E Tahawus Jg <del>campy</del>	252-5457
STANLEY HOSKINS	1288 CLARK ST. RD	252 8946

Town of Aurelius Comprehensive Plan  
Agenda  
Thursday November 4, 2004 7:00 p.m.  
Town of Aurelius Municipal Building

**Phase I      Task A - Preliminary Scoping Session II.**

Meet with Town officials to assist in a preliminary discussion of the transportation and land use issues in the Route 5/20 Corridor.

I. Roundtable discussion

- A. Introduction and review of previous discussions and planning process
- B. Progress since October meeting
- C. Review of some of the preliminary issues
- D. Ad-Hoc Committee discussion of the issues

II. Review of preliminary corridor study area

- A. Preliminary assessment
- B. Proposed projects
- C. Discussion of traffic patterns affecting the corridor
- D. Discuss of land use patterns affecting the corridor

III. Organization of the first visioning session

- A. Soliciting public participation
- B. Facility
- C. Introduction and sign-in
- D. Preliminary items for public
- E. Presentation of visual character issues
- F. Discussion of public preferences
- G. Public visioning and scoping session

**Ad/Hoc Committee**  
**November 4, 2004**

Ad/Hoc present: Ted Herrling, Mark Harris, Stephanie Church, Chad Hayden, John Lawler, Mary Gratton, Don Huber, John Greer, Stephanie Church, and Jerry Scouten

Excused: Lori Bodah Paul Pinckney, John Greer, and Bernard Watkins

Absent: Connie Patterson

Audience: Stan Hoskins, Janine Garropy, Emilee Garropy, Mary Pine, Ken & Beulah Pollards

Barton & Loguidice Engineers: Brian Madigan and Matt Schooley

Ted Herrling opened the meeting at 7:00pm and informed the members; Connie Patterson has regretfully resigned as an Ad Hoc Member due to time constraints with her business. Ted Herrling has to leave at 7:30pm  
Jim Taber has to leave at 8:00pm

Jim Taber informed the committee Sheriff Rob Outhouse sends his regrets as he has to be at the County Budget hearing this evening.

Motion to approve the Ad Hoc Minutes of October 5<sup>th</sup> with typo corrections Stephanie Church

Second Mary

Approved by all present

Ted Herrling turned meeting over to Brian Madigan of Barton and Loguidice. After suggesting all those present introduce themselves.

The Town of Aurelius is engaging in a Corridor Study of 5 & 20 in preparation for the full Comprehensive Plan. Brian asked if there were any questions at this time.

Mr. Pollard asked for a description of the 5 & 20 corridor. Brian explained it was from the city limits to Free Bridge. (Town line to Town line) Refer to the display map with the area highlighted in yellow. Brian's office is looking at an area 1500' to the north and 1500' to the south of the centerline of the road, looking at all the nodes and segments that come in on the highway and the land area abutting the highway. Jim Taber clarified this also includes the Clark St Section off of the Mall. We have outlined the area that will be the general area where potential commercial development will occur in the next 5 years. So we need to address the impact commercial businesses will affect the area. An arterial highway is designed to move traffic, not necessarily to provide access to adjacent property. Although it does provide access, we need to design a plan that will allow for increase commercial business, maximizing land use, with

As we start the process, we need the Ad Hoc, Planning Board and Public to recognize the planning tools and the need for long range goals that will enhance the corridor. This meeting was initially planned with the thoughts of inviting County Planners, Developers, Public, and the DOT for their input. Due to a joint meeting of B&L and Ed Ide we have received some answers, or rather information that we will need as we begin the process. The DOT explained the purpose of the arterial is to move traffic, by allowing the traffic to flow; there is a concern regarding the "spin off" effect from potential commercial businesses within the corridor. will cause. Unplanned commercial growth will create secondary impacts that can interrupt the flow of traffic.

The current zoning shows an area 500 ft on either side of 5&20 from the City Line to Short Road as zoned commercial. This is not an ideal situation as there could be potential for strip commercial development, sort of like the East side of the city...Grant Ave. B&L believes that limiting commercial development to an area between the City line and Half Acre Road is a more logical approach to addressing commercial growth. It is more likely that area would be readily available for commercial development as there is water and sewer. Another reason to shrink the commercially zoned area closer to the city and the public utilities is because long term maintenance of water and sewer eventually become a burden to the taxpayers.

Ted Herrling asked Brian to define the area again, as behind the Mall, Beech Tree, Canoga, and Webster Road has a lot of residential homes in that area. Matt Schooley explained the idea right now is to include the south side of 5 & 20 from half acre to the city line. Ted understands the concept but doesn't want any changes to existing residential areas. Janine Garropy asked for a clarification of what parcels can be developed commercially. Per our current zoning, any area 500 feet from the center of Clark St/5&20 on either side of the road.

Janine asked if a residential property owner could sell to a commercial property owner and get a zoning change. Not without a variance.

Mark Harris asked about upcoming meetings and what exactly will be discussed as this meeting is more of a sharing of existing information. Brian explained the current situation for the corridor is moving quickly with the introduction of the Cameron Group proposal, there was a need to talk with the DOT and we are here to bring you all up to date on some of the suggestions B & L has come up with.

See overlay of proposed roadwork in the area from the city line to Half Acre.

Take the preliminary concept drawing of Cameron group and place the overlay on it.

Discussion of access roads occurred as people noticed a possible spill out road behind the proposed Finger lakes crossing to tie in with Experimental Rd off of West Genesee St Rd. And the reason why this is being proposed...to shrink the commercial area, and discourages strip malls from directly accessing the arterial.

Mark Harris asked what other ideas do we need for this scoping session? And Mary Gratton asked should we be asking the Planning Board to consider changing the designated commercial area sooner rather than later? Brian explained these kind of recommendations will be made upon the finalization of the corridor study. Matt Schooley spoke of a possible moratorium on future development with in the 5 & 20 corridor. If there is a sense of urgency among developers, and the Town feels pressured, this could be an alternative. Stephanie Church spoke of how tough it is to change a zoning law when there is no Comprehensive Plan to back it up. We need concrete documentation in order to defend our stance on zoning.

Brian Madigan likened this to having a garage sale with people fighting to get in without a plan as to how much and what to sell. With the upcoming Holidays, we have to think about meetings that are convenient for the public and allow enough time to process the information and come up with a valid recommendation. We need a lot of public input at the Visioning Sessions.

III. Organization of the first Visioning session:

First Visionary Meeting will be held Tuesday, December 7, 2004 at the Aurelius East Fire House, Half Acre Road, Auburn. Doors will open at 6:30pm with a presentation by Brian Madigan to start at 7:00pm.

Brian has provided Debbie a spread sheet of names, addresses, and parcel #'s of all parties within the yellow high lighted area of 5 & 20, we will also include the north and south side of West Genesee St Rd behind the IDA property. Need to prepare a flyer for mass mailing. Stephanie and Mary will work on that with Brian.

Brian will have a slide show with poor and good examples of commercial development. There will be general descriptions, of standard development and open space development. There will be a chance for dialogue and discussion, a time for the Ad Hoc Committee to listen, and modify the plan to satisfy the residents.

Brian mentioned Sept/Oct/Nov and March/April/May are optimal months for getting the public involved. With the Holidays close by, it might be difficult to get the people out to talk, listen and share ideas. Don Huber suggests we design a flyer that will really grab the people's attention, also use the newspaper for an ad other than the standard legal notice, possibly get the Citizen to write an article (Jerry has been assured they will be on board, he'll look to have something written during Thanksgiving week) and maybe put all the flyers on our website. (Debbie will contact Steve Johnson at the County to get that okayed)

Plan a workshop for January 11<sup>th</sup> for Planning and the next visioning session for January 18th, 2004.

Motion to adjourn by Stephanie Church at 9:00pm

Second by Janine Garropy

Approved by Stephanie Church, Janine Garropy, Mark Harris, Mary Gratton, and Jerry Scouten

Next meeting will be the public input session Tuesday, December 7, 2004 at the Fire Station at 7:00pm.

Respectfully submitted  
Debbie Pinckney  
Planning Board Secretary

**Motion to adjourn by Mary Gratton**

**Second by Mark Harris**

**Approved by everyone present**

Meeting adjourned at 9:10pm.

Next meeting will be Thursday December 7, 2004 at 7:00pm at the meeting room in the Fire Station.

Respectfully submitted; Debbie Pinckney, Town Clerk

Visual Preference Meeting

DRAFT  
594.012  
BKM  
12/08/04

Name	Address	E-Mail
Ted Herrling	Beech Tree Road Auburn	
Lori Bodoh	Beech Tree Road Auburn	
Oskai Rindfleisch	357 Clark St. Rd. Cayuga	
Elisabeth Rindfleisch	357 Clark St. Rd. Cayuga	
Brad Foster	2300 Overbank Dr Auburn	
Jam Lahood	9 Meadow Dr. Fayetteville	
John Janowski	1978 W. Genesee St. Rd Auburn	
John Lamaster, Sr.	1276 Clark St. Rd. Auburn 13021	
Joe Foser	6377 Limekiln Rd.	
<del>Ber??</del> Watkins		
Emily Garrapy		
Stephanie Church		
Pattie Maggio	1351 Clark St. Rd. Auburn	
John Henry		
Ron Phillips	2014 Cranebrook Dr. Auburn	
Jim Tabe	W. Genessee St. Rd.	
Mike Kessler	847 Clark St. Rd. Rte. 5&20 Auburn	
Mark Harris	6317 Towpath Rd. Cayuga NY 13034	
Carol Zenzel	609 W. Genesee St. Syracuse, 13224	
Kathy Scholl	780 W. Genesee St. Rd. Auburn	<a href="mailto:K5258@Cornell.edu">K5258@Cornell.edu</a>
Stanley Hoskins	1288 Clark St. Rd. Auburn NY 13021	
George & Karen Rodak	1512 Clark St. Rd. Auburn NY 13024	
???	1952 W. Genesee St. Auburn	
John Greel	Cayuga NY 13034	
Ed Ide	Cayuga NY 13034	
Ron Bench	1981 Half Acre Rd. Auburn	<a href="mailto:RBRON@PROD164-NET">RBRON@PROD164-NET</a>
Kevin Foster	711B Clark St. Rd. Cayuga	<a href="mailto:Kcoin_823_2000@Yahoo.com">Kcoin_823_2000@Yahoo.com</a>
Mary Pine	4 Emily Dr. Auburn NY	
Chad Hayden	6569 S. Reo Path, Cayuga Ny 13034	
Bill Heeth	PO Box 86 union Spring 13160	<a href="mailto:WSH6@CORNELL.EDU">WSH6@CORNELL.EDU</a>
Gary Boyer	780W. Genesee St. R. 13021	<a href="mailto:Gboyer@Rochester.w.com">Gboyer@Rochester.w.com</a>
Janine Gary	6511 Beech Tree Rd.	<a href="mailto:jg6511@yahoo.com">jg6511@yahoo.com</a>

Bernard

Michael

Visual Preference Meeting

594.012  
 BKM  
 12/08/04

Name	Address	E-Mail
Don Huber	39 Elmcrest Cir.	CE?????? cengyaving.com
Judy S. Coll	6505 Beech Tree Rd Auburn	
Fred Coll	6505 Beech Tree Rd Auburn	
Doug Wayne	1501 Clark St. Rd.	
Michael Montagna	1678 Clark St. Rd. Miertool	Mmontagna@miertoo.com
Christy Bass	6460 Cayuga Rd.	
G. Judith Brown	2092 W. Genesee St. Rd.	
Larry Brown	2092 W. Genesee St. Rd	
Ken Portus	5173 Plaster Pain Cayuga	
Mike Dautrich	480 Turnpike Rd. Cayuga	
John Lawler	1063 Clark St. Rd. Auburn	lawler@balcom.net
Ron Chretien	6369 Half Acre Rd. Auburn	
Bob Church	6415 Short Rd. Aburn NY	Robert.Church@???.com
Ted O-Hara	1290 Chambelari Rd. Auburn	

NAME:	ADDRESS:	E-MAIL
Ted Herrling	Beech Tree Rd Auburn	
Lori Bodoh	Beech tree rd	
Oskar Rindfleisch	357 CLARK ST RD CAYUGA	
ELISABETH RINDFLEISCH	357 CLARK ST RD Cayuga	
Reed Foster	2300 Overbrook Dr Auburn	
JAM LAKWOOD	9 MEADOW DR FAYETTEVILLE NY	
John Janowski	1978 W Genesee St Rd Auburn	
John Lamaster SR	1276 CLARK ST Rd Auburn NY 13021	
Joe Fern	6377 LIMERICK Rd	
BERNARD LARKINS		
Stephanie Church		
Emily Danko		
Zach Magg	351 Clark St Auburn NY	
John Rindfleisch		
RON PHILLIPS	2014 CROWN CREST DR Auburn	
JIM TADDE	W. GENESSEE ST. 1302	
MIKE KESLER	847 CLARK ST RD RT 15 1320 Auburn	
MARK HARRIS	6317 TOWN RD Cayuga NY 13024	
Carol Zenzel	609 W Genesee St Sp 13224	
Kathy Shell	780 W Genesee St Rd Auburn 13021	KS258@cornell.edu
Stanley Hoskins	1288 CLARK ST RD AUBURN NY 13021	
Angie Kappeler	1513 Clark St Rd Auburn NY 13021	
Richard Stark	1572 W. GEN. HWY 13021	
John Greel	Cayuga NY 13024	
Ed Jell	Cayuga	
RON BENCH	1981 HALF ACRE RD AUBURN	RBENCH@PRODIGY-NET
Kevin Foster	7110 Clark St Rd Cayuga	Kevin-877-2000@96.com
Mary Anne	4 Emily Dr Auburn NY	
Chad Hayden	12569 SKEO Bath Cayuga NY 13034	
BILL HECHT	PO BOX 86 UNION SPRING 13160	wsh6@CORNELL.EDU
Gary Boyer	780 W Genesee St Rd 13021	gboyer@ruchstar.wi.com



- NAME	ADDRESS	PHONE
George & Karen Potak	1512 Clark St Rd	253-7327
Christy Boss	6460 Cayuga Rd	252-3069
Stephanie Church	6415 Short Rd.	252-6182
Fred & Judy Coll	6505 Beech Tree Rd	258-0522
James Billings	1752 Clark St Rd	253-3688
Kam Alamy	1214 Clark St Rd	252-6873
Janne Gansky	Beech Tree Rd	730-9321
Emily Gansky	1671 Clark St Rd	252-9036
Bernie Gansky	6519 Beech Tree Rd	255-9034
Don Huber	39 Elmhurst	255-7212
Mark Harris	6317 Tonpath Rd Cayuga	253-5826
Joe Fuser	6377 Limekill Rd	406-1285
Mr & Mrs John Lomata	1276 Clark St Rd.	255-1329
M. Judith + Lawrence J. Brown	2092 W. Genesee St. Rd.	252-3303
Mary McLaughlin John Capozzalo	Co App Dev. Corp Auburn	253-7853
Carol Jenzel	609 W. Genesee St	701-3534
Larry Adler	609 W. Genesee St	701-3334
Louise Branch/Citizen	Dill St. Auburn	253-5311
Kent H. Walte	716 West Genesee St.	252-2125
Ted Harling	6529 Beech Tree Rd	252-0934
Clay + Deb Van Nostrand	1410 Clark St Rd	258-0122



Voice Your Concerns Regarding  
The Future Development Along Routes 5 & 20 and  
Our Town

The Town of Aurelius Invites All Residents to the First of Five

**Visioning Sessions**

Tuesday, December 7, 2004

7:00 p.m. to 9:00 p.m.

Aurelius East Fire House

Half Acre Road

The Town of Aurelius is beginning the process of updating the Town Comprehensive Plan. The plan was developed in the 1970s and our town officials believe it is time to address change and prepare for the future.

This is your chance as a community member to:

- Learn More About Our Community
- Express Your Opinion
- Be A Part Of Our Community's Future

We will have a presentation to describe the planning process and some of the options for the future development of Routes 5 & 20. As a group, we will discuss the potential impacts of these options on our community.

Our presentation will be followed by a public Visioning Session to get your input as to preferred styles, site design, landscaping, and design elements for commercial development along Routes 5&20.

Directions: Aurelius East Fire House is located on Half Acre Road ¼ mile south of Routes 5 & 20.

Sponsored by the  
Town of Aurelius  
Ad-Hoc Comprehensive  
Plan Committee

For more information contact:  
Deborah Pinckney, Town Clerk,  
(315) 255-1894 or e-mail: [aurelius@cayuga.net](mailto:aurelius@cayuga.net)

Town of Aurelius  
Ad Hoc Planning Committee  
1241 West Genesee Street Road  
Auburn, NY 13021

**AURELIUS IS GROWING!** As new development comes to our town, we want you to be part of the plan.

**What?** A Visioning Session with the Town of Aurelius Comprehensive Plan Committee about your preferences for the style of development on Routes 5&20

**Where?** Aurelius East Fire House on Half Acre Road

**When?** Tuesday, December 7, 2004, at 7:00 p.m.

**COME** - be part of our future and help us to maintain the quality of life that we want for our community!

The Town of Aurelius  
Invites All Residents!

**TO VOICE YOUR OPIONINS  
REGARDING THE FUTURE OF THE TOWN  
AND  
FUTURE DEVELOPMENT IN THE  
THE ROUTE 5/20 HIGHWAY CORRIDOR**

**COMMUNITY VISIONING SESSIONS**

**( List Session dates and Times )**

**Location**

For more information contact:  
Deborah Pinckney at (315 ) 255-1894  
or e-mail to [aurelius@cayuga.net](mailto:aurelius@cayuga.net)

I. Executive Summary

(insert upon completion)

A. Need for the Route 5/20 Corridor Study

B. Extent of the Corridor Study

C. Corridor Study Planning Components

1. Transportation Plan

a. Goal

b. Objectives

c. Recommendations

d. Implementation

2. Utility Plan

a. Goal

b. Objectives

c. Recommendations

d. Implementation

3. Land Use Plan

a. Goal

b. Objectives

c. Recommendations

d. Implementation

4. Corridor Design Guidelines

- a. Goal
- b. Objectives
- c. Recommendations
- d. Implementation

II. Purpose and Intent of the Route 5/20 Corridor Study

A. Need for the Study

- 1. Recent Commercial Activity Driving Demand
- 2. Demographic Profile
- 3. Protection of Natural Resources, Agriculture and Rural Character
- 4. Transportation Considerations
  - a. Safe and efficient flow of traffic
  - b. Multi-modal circulation and pedestrian safety
  - c. Emergency Services
  - d. Accessibility
- 5. Water and Wastewater Utility Needs
  - a. water
  - b. sewer

B. Purpose of the Study

- 1. Proposed Outcome

- a. Transportation Plan
  - b. Utility Plan
  - c. Land Use Plan
  - d. Growth Management
  - e. Visual Quality
2. Implications to the Comprehensive Plan

III. Study Area Context, Configuration and Assessment

A. Study Area Boundary

- 1. Study Area Context Map
- 2. Adjacent Land Use in the Corridor
- 3. Environmental Inventory and Constraints
- 4. Land Use Controls

B. Planning Related Refinements to the Study Area

- 1. Projected Transformation of Land Use
- 2. Projected Acreage Requirements
- 3. Discourage of Strip Development
- 4. Commercial Build Out
- 5. Maintaining Visual Quality
- 6. Existing Land Use, Ownership and Zoning
- 7. Availability of Utilities and Growth Capabilities
- 8. Highway and Municipal Boundary Considerations

C. Proposed Configuration of the Land Use Plan Development Area  
(Commercial Growth)

IV. Goals, Objectives, Alternatives and Recommendations

A. Transportation Planning

1. Project Goal
2. Objectives
  - a. Address Existing Conditions
  - b. Plan for future Requirements
  - c. Promote Growth Management Objectives
3. Alternatives
  - a. Arterial Preservation and Commercial Growth Boundary
  - b. Maintain or Expand Existing Highway Capacity
  - c. Multi-Modal Considerations and Internal Circulation within the Growth Boundary
  - e. Public Transportation Considerations
4. Recommendations
  - a
  - b
  - c
  - d
  - e

B. Utility Planning

1. Project Goal
2. Objectives
  - a. Address Existing Problems
  - b. Plan for future Deamand
  - c. Promote Growth Management Objectives
  - d. Identify System Potential and Providers
  - e. Estimate of Costs for System Expansion
  - f. Rationale for System Expansion
3. Alternatives
  - a. Water Service
  - b. Sewer Service
  - c. Water and Sewer Recommendations
4. Recommendations
  - a
  - b
  - c
  - d
  - e

C. Land Use Planning

1. Project Goal

2. Objectives

- a. Commercial Growth Management
- b. Establish Preferred Land Use Patterns within the Corridor
- c. Establish Compatability with Adjacent Land Use and Community Character
- d. Enhance Environmental Protection and Maintain Rural Character
- e. Minimize Impacts to Active Agriculture

3. Alternatives

- a. No Change to Zoning and Policy Alternative
- b. Adoption by reference County Standards and Land Use Policy
- c. Revise Current Local Zoning Districts and Land Use Policy

4. Recommendations

- a
- b
- c
- d
- e

D. Land Use Planning

- 1. Project Goal
- 2. Objectives

- a. Address existing Appearance Incompatibilities
- b. Site Plan Guidelines for Commercial Development within the Corridor
- c. Prepare Design Guidelines for Major Subdivisions within the Corridor
- d. Enhance Environmental Protection and Maintain Rural Character
- e. Minimize Impacts to Active Agriculture

### 3. Alternatives Considered

- a. Reliance on Current Performance Standards
- b. Adopt by Reference Existing Guidelines for Projects and Proposals
- c. Develop Local Guidelines for Commercial Development and Subdivisions

### 4. Recommendations

- a.
- b.
- c.
- d.

## V. Implementation and Recommendations

- A. Transportation Plan
- B. Water and Wastewater Utility Plan
- C. Land Use Plan
- D. Community Design Guidelines
- E. Linkage to Community Comprehensive Plan
- G. Plan Coordination with Involved Agencies

Town of Aurelius Comprehensive Plan  
Agenda  
Tuesday December 7, 2004 7:00 p.m.  
Town of Aurelius Fire Department

Visual Preference Visioning Session

The purpose of this session is to reach consensus among residents as to the preferred appearance of the Route 5/20 as commercial development takes place.

I. Introduction

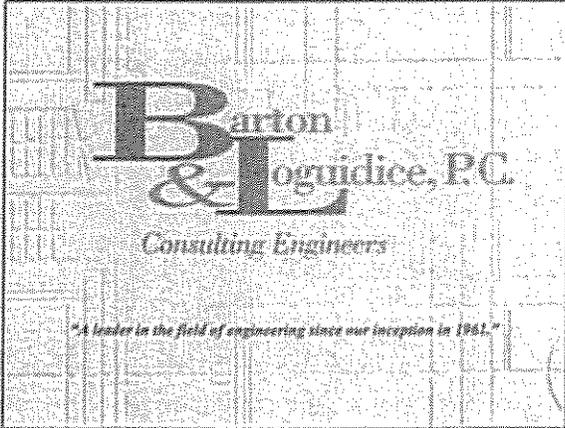
II. Visual character Presentation

- A. Arterial Highways and Commercial Development
- B. Potential Development Scenarios for Route 5/20
- C. Planning Approach to Guide Community Aesthetics

III. Interactive Discussion

- A. Commercial Highway Corridors
- B. Comparison of Highway Access Approaches
- C. Comparison of Approaches to Site Design and Landscaping
- D. Comparison of Architectural Styles
- E. Guideline Comparisons for Signs.

IV. Closing



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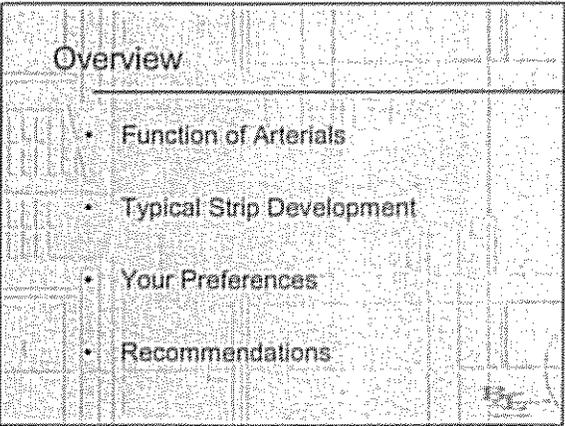
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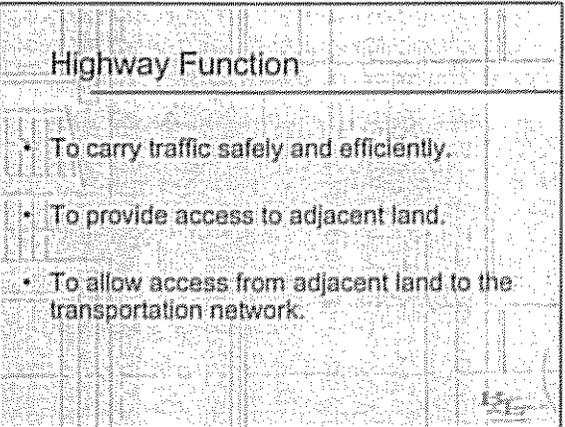
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## Highway Function

- Highway function is broken down into a classification system according to vehicle capacity.
- Highway function can be compromised as development occurs adjacent to the highway right of way.



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## Arterial Function

### Arterial Highway

- Primary function is moving traffic.
  - Access to adjoining Land Use is limited.
  - Moves higher volumes of traffic at higher speeds.
  - Provides inter-community traffic.
  - Pedestrian links should be separate.
- Access to adjacent land should be minimized.



Function



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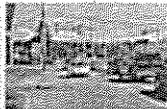
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## Collector Function

### Collector Streets:

- Collects traffic from local streets.
  - Conducts local traffic to arterials.
  - Provides inter-neighborhood traffic.
  - Provide bicycle and pedestrian links.
  - Designated crossings.
- Access to adjacent land is a secondary function.



Function



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### Trends in Transportation

- Linking Transportation with Land Use
- Highway Corridor Management
- Highway Access Management
- Multi-Modal Transportation
- Bicycle & Pedestrian Connections

*Trends*

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### Linking with Land Use

- Land Use Planning
- Linking work centers with residential areas.
- Linking neighborhoods and other land uses (i.e. parks, commercial, etc.).
- Mixed uses and connectivity

*Trends*

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### Highway Corridor Management

- Preservation of highway function.
- Coordination of strategies for land use development along transportation corridors.
- NYSDOT focus on corridor management.
- Looking at potential development scenarios.
- Energy Conservation.

*Trends*

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## Highway Access Management

- Net reduction of access to arterials and collectors.
- Maintaining existing intersections.
- Limited access to arterials and collectors.
- Incorporation of access management into the subdivision of land.
- Addressing access management through the SEQRA process.

*Trends*



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## Identifying Potential Impacts

- Commercial, Retail, Entertainment.
- Spin-off Development.
- Unplanned Growth.
- Comprehensive Planning.

*Local Impacts*



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## "Spin-off" Development

- Fast Food
- Service Stations
- Convenience Services
- Support Services



*Local Impacts*

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**Un-planned Growth**

*Local Impacts*

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**Un-planned Growth**

*Local Impacts*

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**Commercial Impacts**

**Rural Road Before Commercial Development**

- Rural Setting
- Few Distractions
- Few Stops
- No Turns
- Few Lane Changes
- Design Volume
- Design Flow
- No need for signals

Connecticut River Valley Study

*"Reduction in quality of life occurs one step at a time".....*

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**Commercial Impacts**

Rural Road After Unplanned Commercial Growth

Impacts:

- Visual Aesthetics
- Visual Distractions
- Increased Stopping
- Increased Turning
- More Lane Changes
- High Volume
- Disrupted Flow
- Multiple Signals Warranted



"Reduction in quality of life occurs one step at a time"

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**Cumulative Impact of Poor Management**



"Reduction in quality of life occurs one step at a time"

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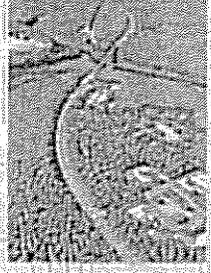
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**Commercial Impacts**

Rural Road After Planned Commercial Development

Mitigating Factors:

- Maintain Aesthetics
- Minimize Distractions
- Limit Stopping
- Reduce Turning
- Minimize Access
- Maximize Volume
- Maintain Flow & Function
- Minimal Signals Warranted



"Reduction in quality of life occurs one step at a time"

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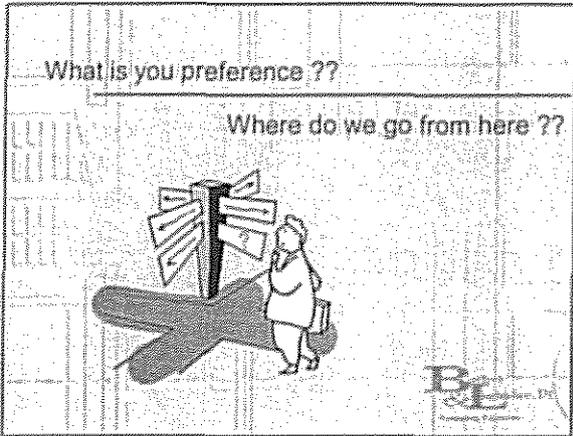
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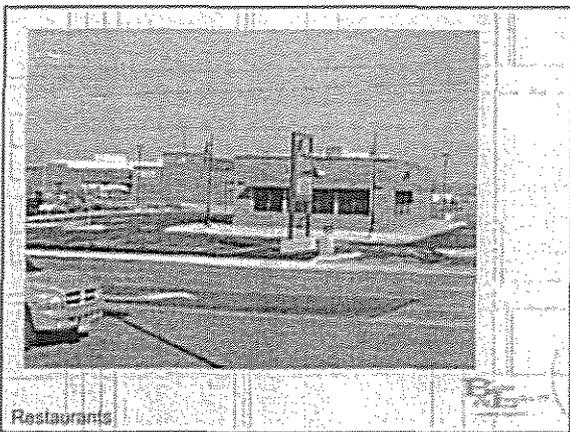
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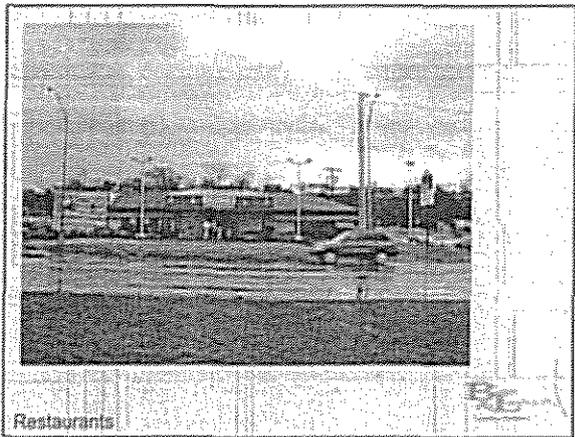
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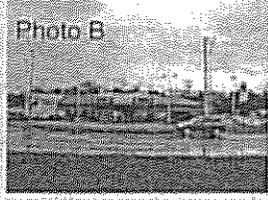
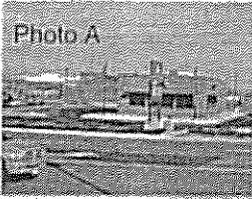
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Photo A

What do you prefer?



Restaurants

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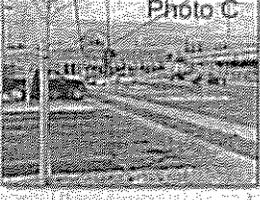
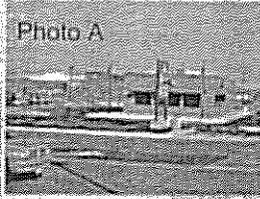
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Photo A

What do you prefer?



Restaurants

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Photo C

What do you prefer?



Restaurants

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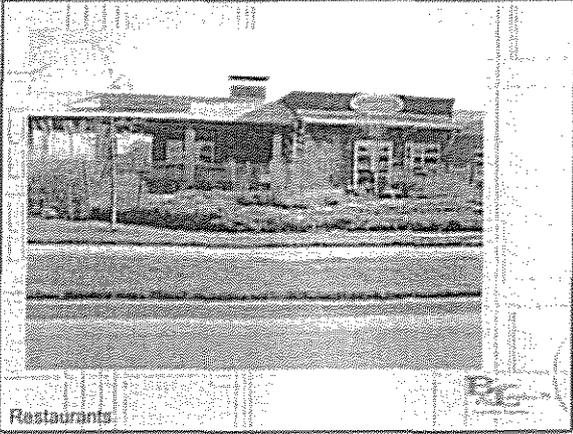
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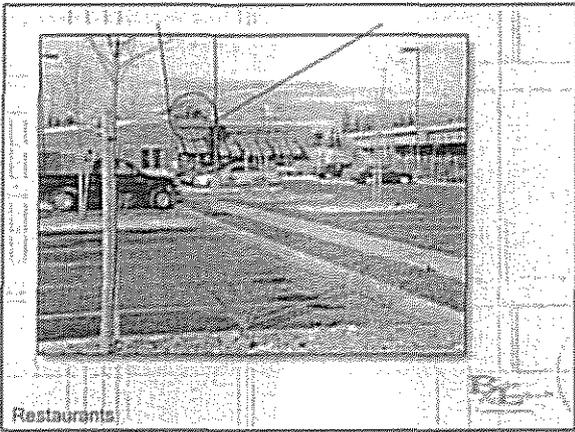
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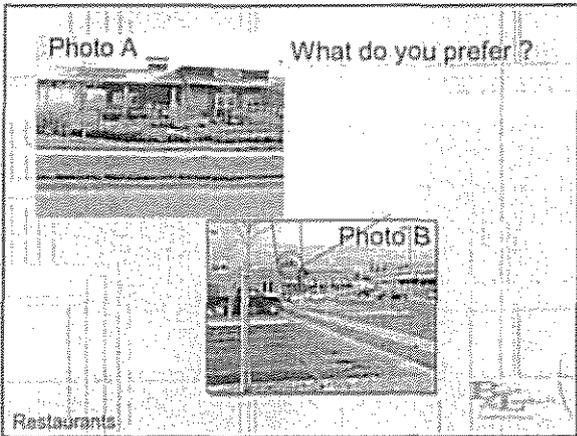
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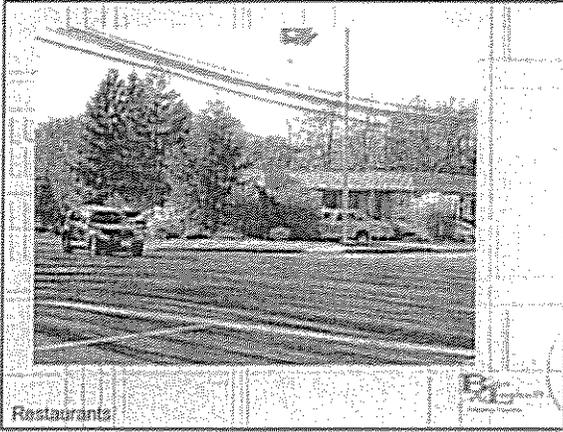
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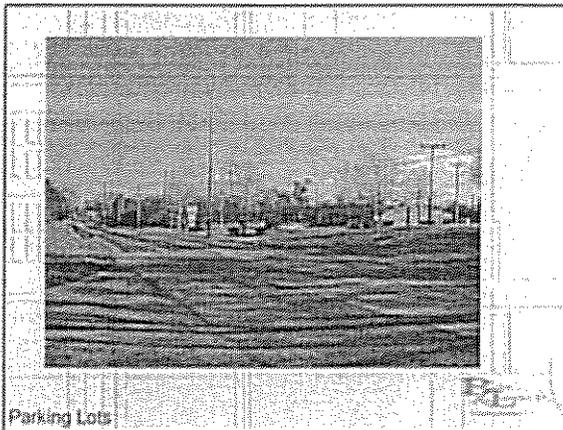
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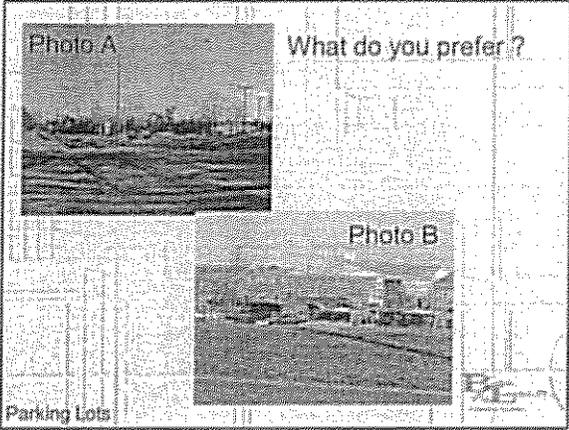
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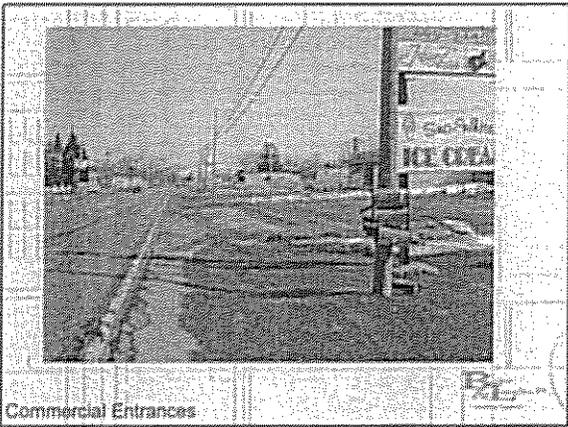
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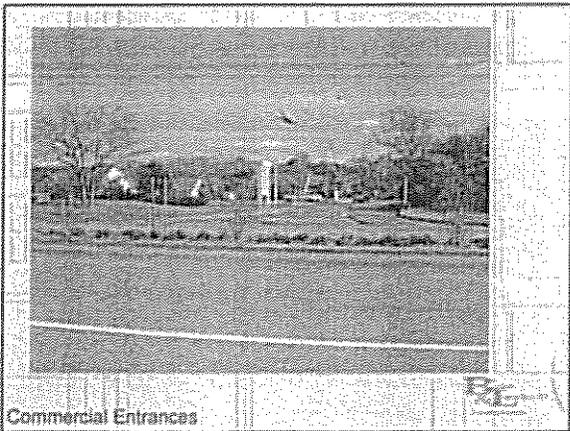
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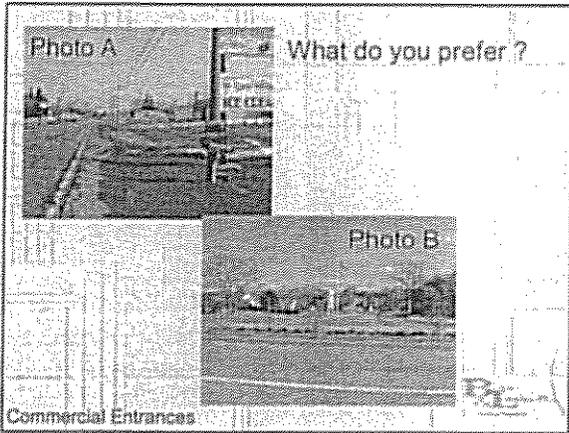
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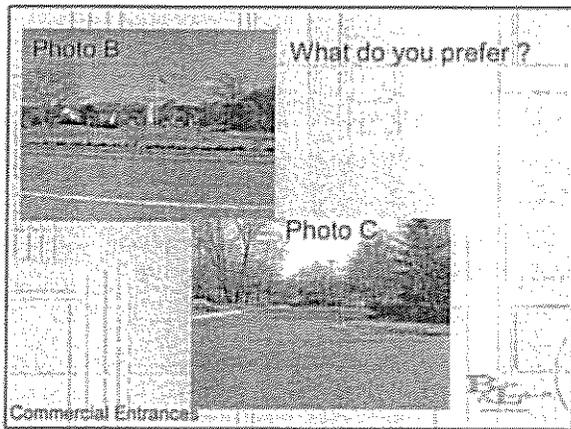
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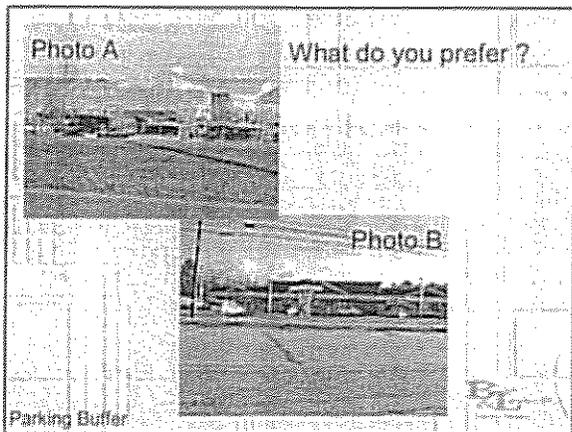
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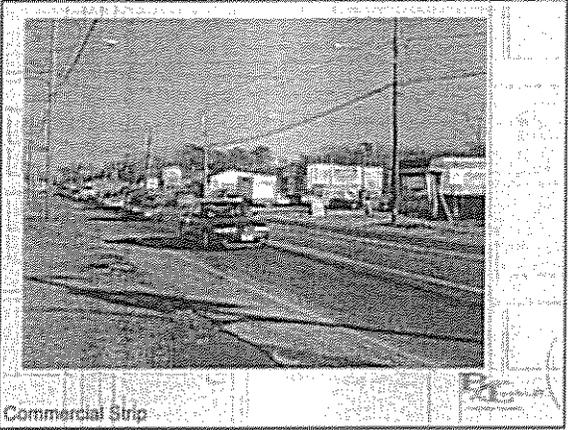
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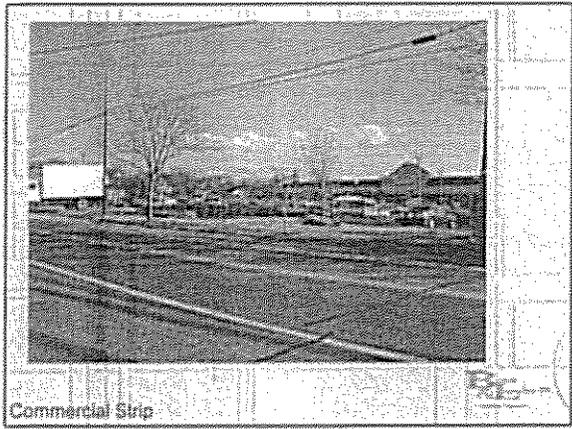
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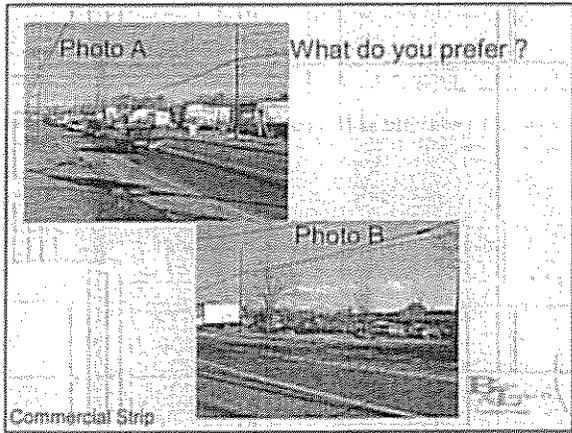
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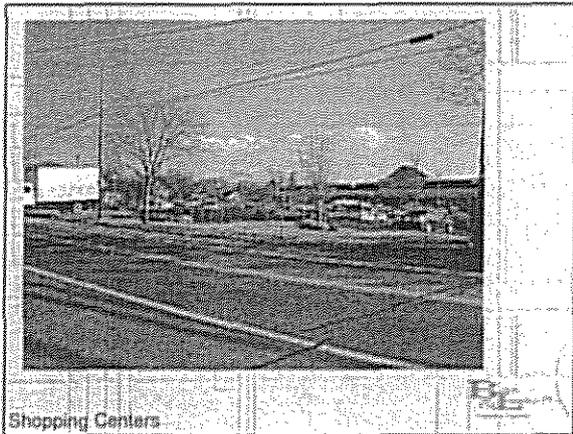
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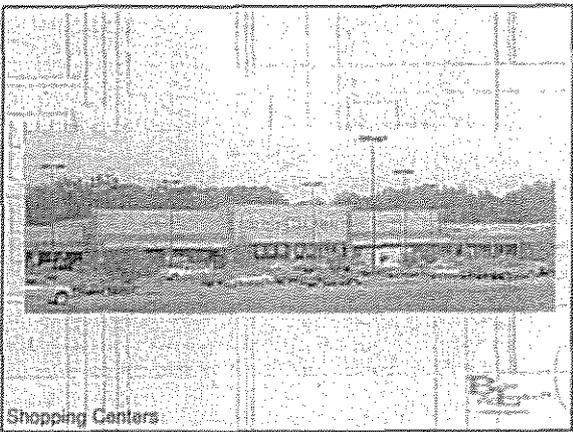
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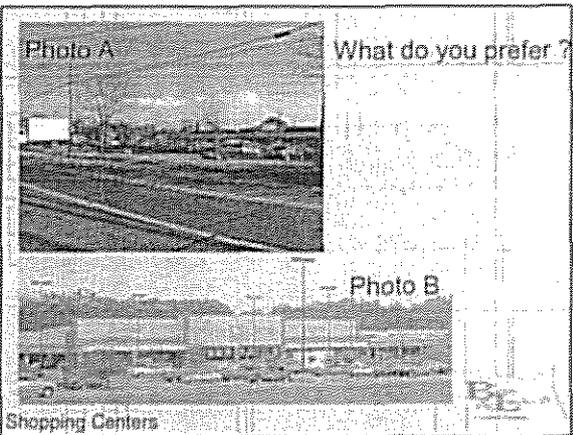
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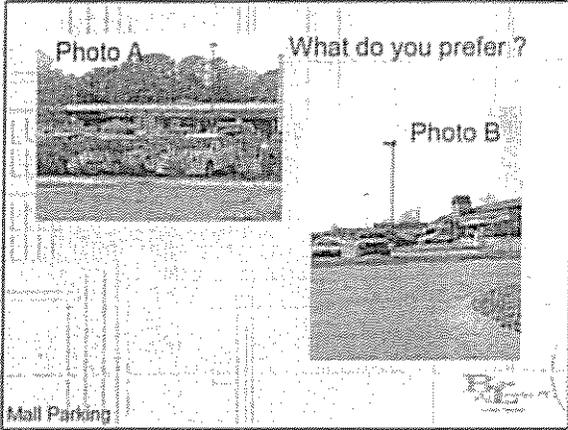
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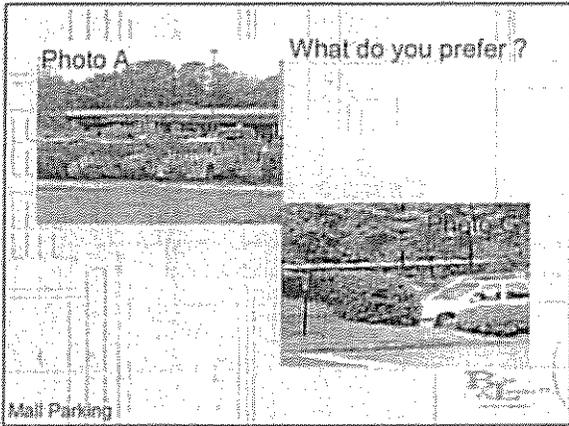
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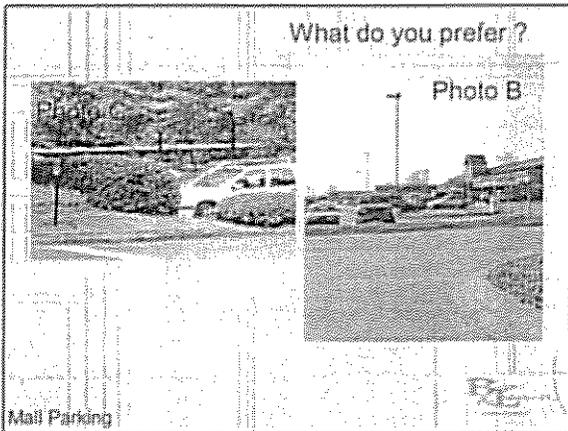
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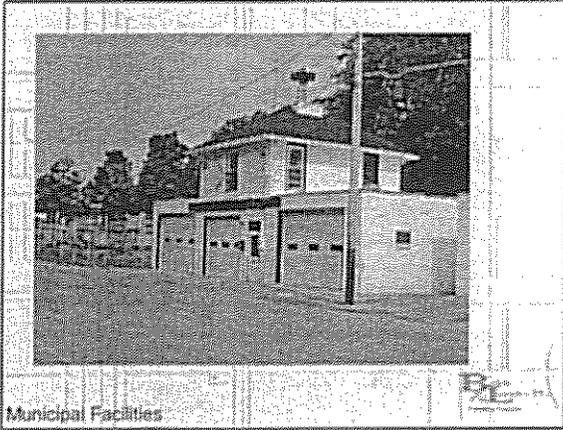
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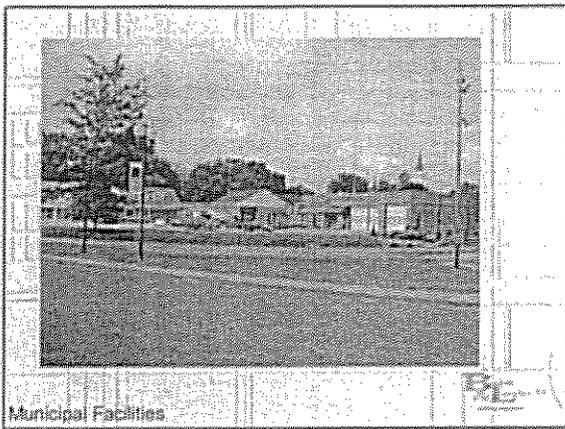
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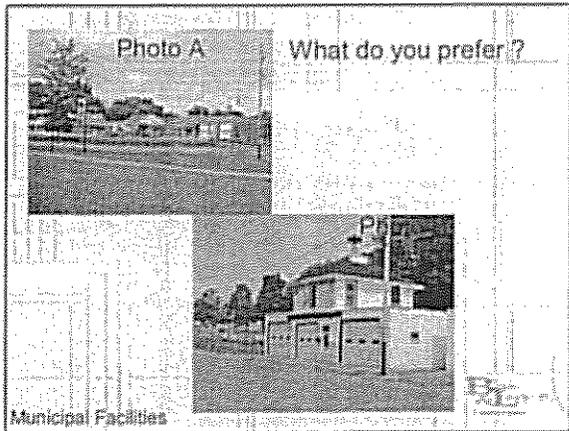
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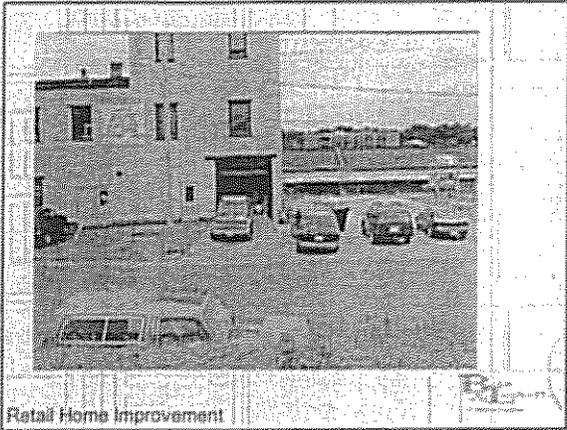
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Retail Home Improvement

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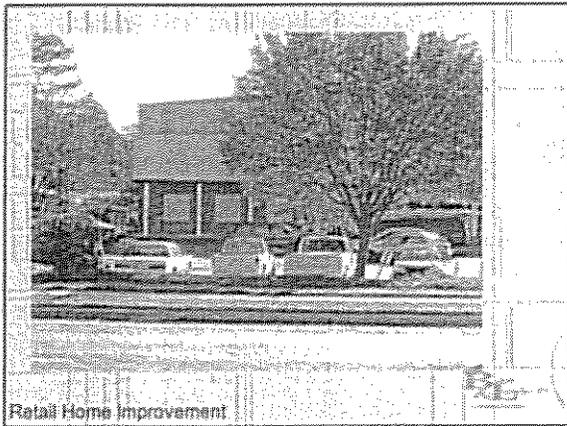
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Retail Home Improvement

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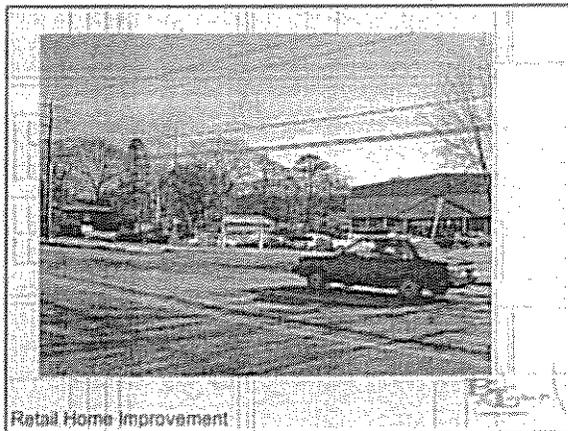
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Retail Home Improvement

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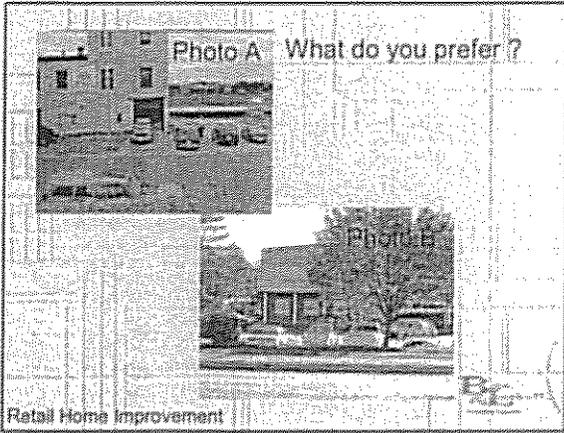
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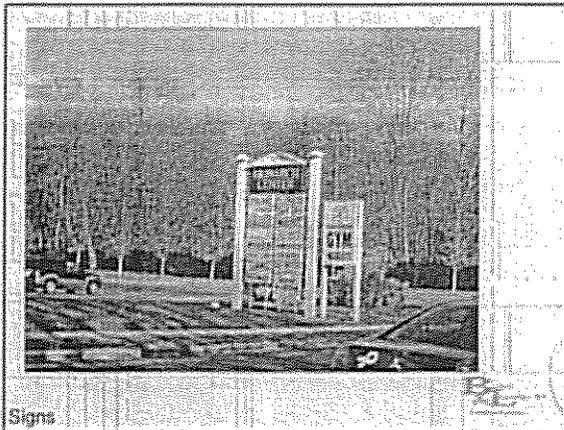
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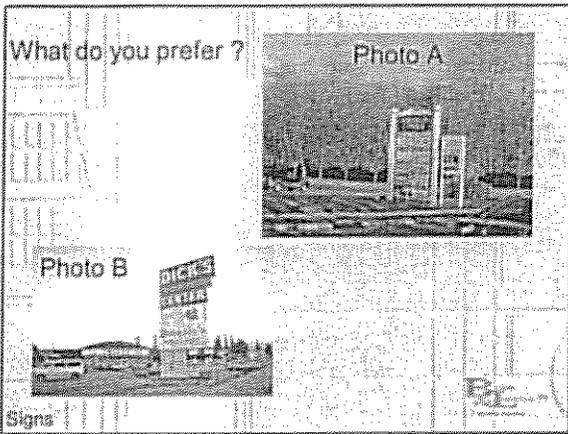
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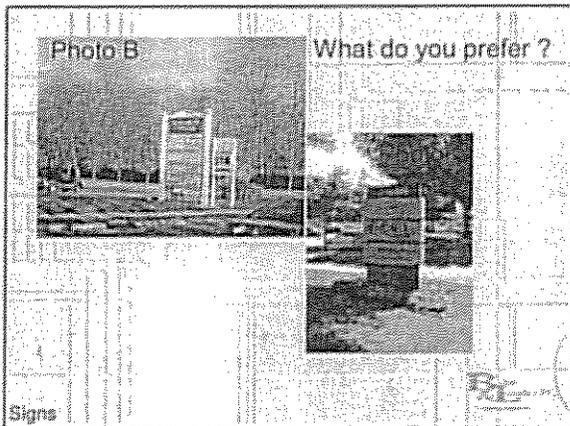
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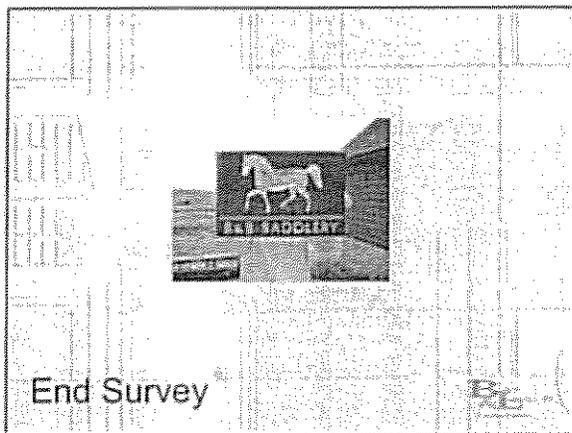
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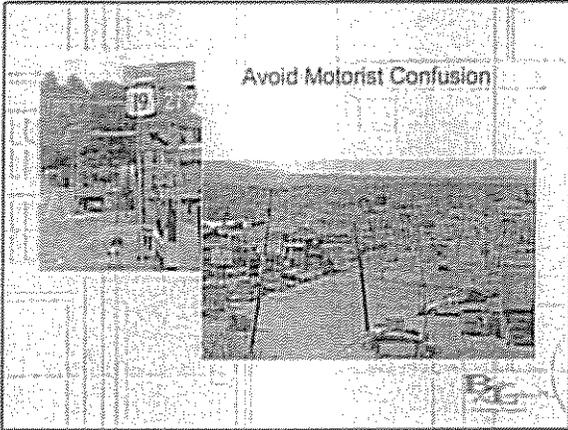
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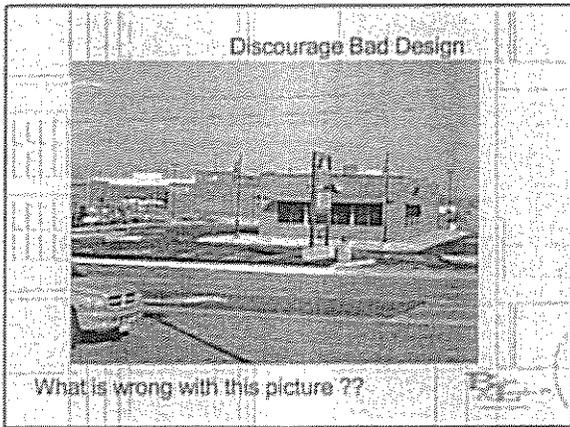
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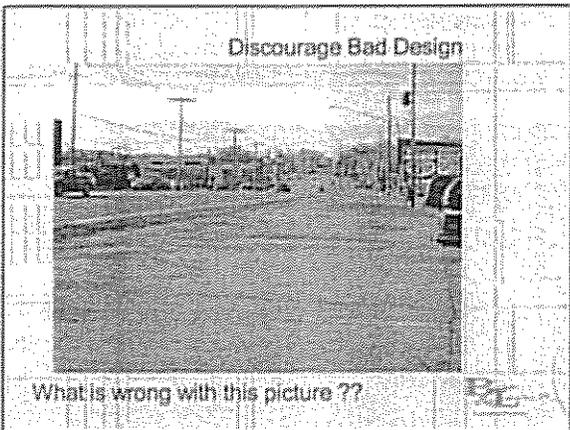
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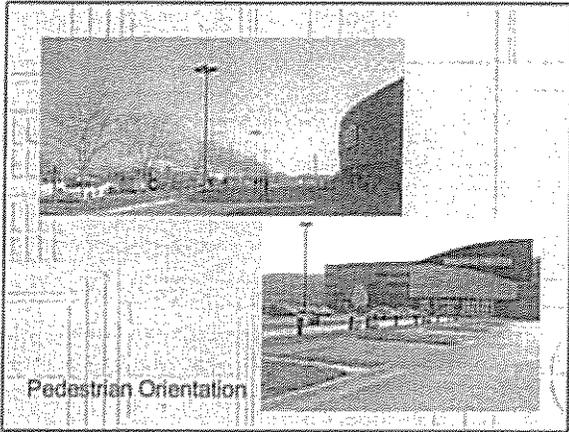
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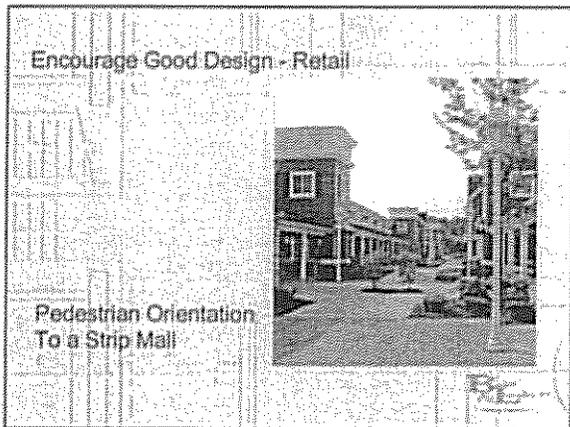
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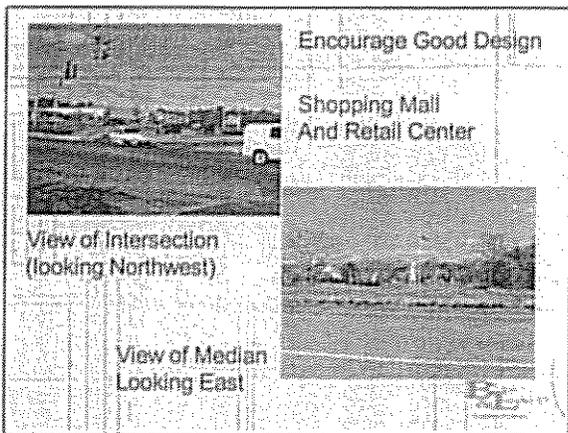
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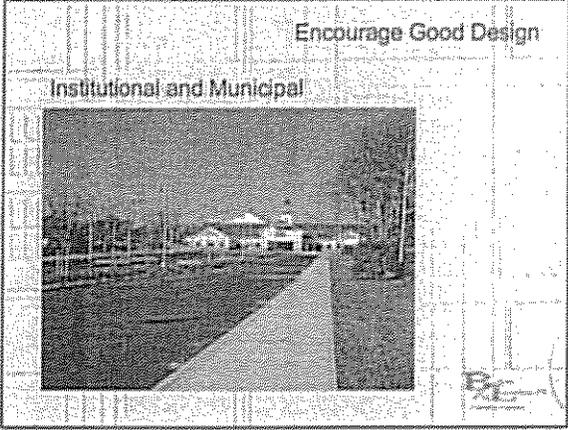
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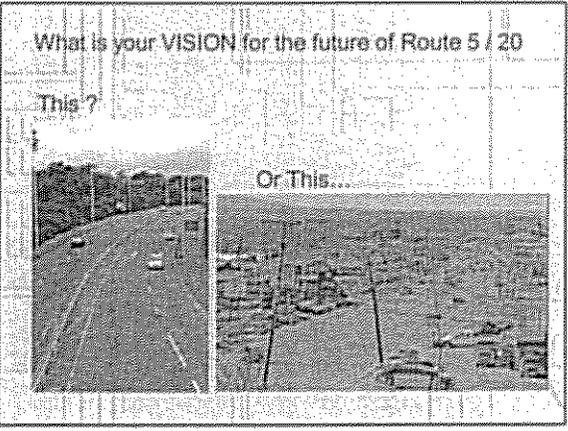
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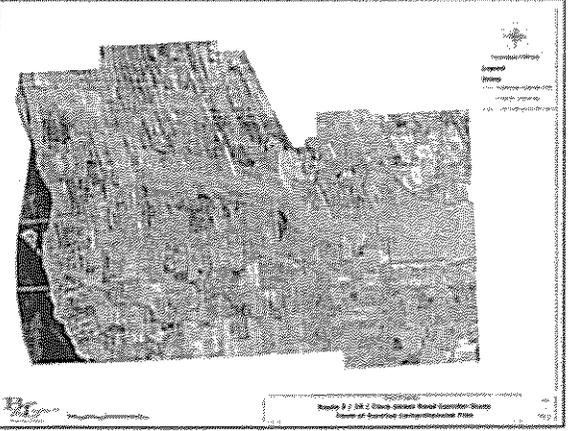
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SEND WRITTEN COMMENTS TO:

Edward Ide, Supervisor  
c/o Brian Madigan  
P.O. Box 3107  
Syracuse, New York 13220

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The experience to  
**listen.**

The power to  
**solve.**

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**Town of Aurelius  
Ad/Hoc / Visioning  
December 7, 2004**

Visioning Session # 1 at the Aurelius Fire House, Half Acre Road, Auburn, NY 13021

Session opened at 7:00pm with an introduction by Town Supervisor Edward Ide Jr. Ad Hoc Committee Chairman Ted Herrling thanked everyone for coming and introduced Brian Madigan. Brian Madigan of Barton & Loguidice will be the facilitator.

Mr. Madigan gave a brief over view of the task at hand. The purpose of this session is to gather information to get a feel for the personal preferences of those present. Brian will present a series of pictures in a power point presentation depicting certain types of development. This particular session will deal exclusively with the St Rt 5 & 20 corridor and what you would like it to look like 20 years down the road.

Brain Madigan explained the various functions and purposes of a highway, arterials and connector streets.

It must be understood that the St Rt 5 & 20 Corridor is an Arterial, it's primary function is moving traffic, access to adjoining land use is limited, it's purpose is to move high volumes of traffic at higher speeds, there are really no pedestrian links and few stop lights. Access to adjacent land should be minimized. The State DOT has strict guidelines in preserving the integrity of their Highways, an Arterial's purpose is to provide inter-community traffic. Going quickly and safely from point A to point B with few interruptions in-between.

He handed out surveys to those present requesting people list their preferences from the slide presentation.

See attached power point flyer.

Overview

Highway Function

Arterial Function

Collector Function

Trends in Transportation

(Linking with Land Use) not necessary at this time

Highway Corridor Management

Highway Access Management

Identifying Potential Impacts - The reason why we need to update our Comprehensive Plan, our last plan was in 1970, Plans generally have a life span of 20 -30 years max. As development occurs you need to have long range goals to control spin-off and unplanned development. For instance, development can lead to non-definable road cuts, parking that necessitates backing into traffic, increased traffic forcing the DOT to widen existing roadways. (This scenario can be expensive, Rt 31 in Clay, NY has been widened twice in the last 3 years, and the cost of this becomes a burden on the taxpayers.)

The pictures explain the different types of development and their potential impact on traffic and the community. The presentation asks for those present to choose their visual preference. All pictures are from areas in NYS, Brian explains the type of business and residences along with the impact that can happen. The idea here is to from a plan, develop guidelines and implement the plan and guidelines to

prevent unnecessary hardship upon the community with regards to tax dollars and living conditions. Discourage bad design, since we have a reasonable clean slate as a rural community, we can dictate where we want to encourage development and where we want to maintain the rural/agricultural nature of our Town.

A current Zoning Map was displayed and much discussion as to where we should concentrate development and where we should maintain the status quo. The primary purpose of this session is to gather opinions and preferences and begin the process of developing a Master Plan for our Community.

Next meeting for the Ad Hoc Committee will be Tuesday January 4<sup>th</sup> to review the results of the preferences.

Respectfully submitted by Debbie Pinckney

**Motion to adjourn by Mary Gratton**

**Second by Mark Harris**

**Approved by everyone present**

Meeting adjourned at 9:10pm.

Next meeting will be Thursday December 7, 2004 at 7:00pm at the meeting room in the Fire Station.

Respectfully submitted; Debbie Pinckney, Town Clerk

Town of Aurelius Route 5/20 Clark Street Rd. Study  
Visual Preference Workshop No. 1  
Public Statements for Consideration  
December 7, 2004 - Town of Aurelius Fire Department  
7:00 P.M. to 9:00 P.M.

On December 7, 2004 the Town of Aurelius Ad-Hoc Committee (Ad-Hoc Committee) held a Visual Preference Session. The purpose of this session was to reach consensus among residents as to the preferred appearance of the Route 5/20 as commercial development takes place.

The meeting began with introductions by Ted Herrling Chair of the Ad-Hoc Steering Committee. He welcomed Brian Madigan from Barton and Loguidice who kicked off the session with a slide presentation. The presentation began with a discussion of highway function as an introduction to the Visual Preference Survey. The first part addressed the difference between arterial and collector roads; illustrated potential development scenarios for Route 5/20; and provided a conceptual overview corridor planning.

The presentation touched upon current trends with respect to highway and transportation planning. Trends identified that will be addressed in the Corridor Study include:

- Linking Transportation planning with Land Use
- Highway Corridor Management
- Highway Access Management
- Multi-modal Transportation approach
- Making Bicycle and pedestrian connections

The discussion turned to potential for spin-off development that can result from venues in the area. Attendees were asked to rate slides showing the types of development that normally occurs in today's commercial areas. Respondents rated the comparative photographs based upon their visual preference alone. The survey accomplished the task of determining many of the visual preferences of local residents. The summary results of the survey are as follows:

33 surveys were returned at the end of the session  
30 surveys provided a complete assessment of the slides as intended.

There were no major surprises to the results however, the review of the surveys revealed:

- Those surveyed preferred a higher degree of naturalized landscaping to screen commercial buildings than normally be expected in a suburban community.

- Those surveyed preferred dense screening of parking areas from the road line as compared to highly manicured landscaping.
- Those surveyed preferred parking areas that are set back from the street line and screened with vegetation to a landscaped berm with parking in close proximity to the road.
- Those surveyed overwhelmingly preferred concentrated entrances to commercial/retail development with integrated landscaping.
- Those surveyed preferred screening the view to front yard parking.
- Those surveyed overwhelmingly preferred concentrated commercial shopping areas to a continuous strip of commercial properties. Single lot strip commercial development was not acceptable to the majority of survey respondents.
- Those surveyed overwhelmingly preferred large scale shopping/retail centers to be set back from the road line and preferred designed landscaping to screen large shopping centers.
- Those surveyed preferred manicured parking islands within retail parking areas to screening with deciduous shrubs. However they preferred evergreen landscaping to screen internal parking to either manicured parking islands or plantings that lose foliage in the winter.
- Those surveyed overwhelmingly preferred municipal / institutional buildings to be set back from the road line and preferred carefully designed landscaping.
- Those surveyed overwhelmingly preferred organized parking lots and driveways to unorganized impromptu parking areas and backing into the street.
- Those surveyed preferred human scale, concentrated signage in a traditional motif to typical large scale commercial signs. However, about half of the group surprisingly preferred high style (contemporary) signage at a smaller scale.

The final part of the presentation involved reviewing comparative slides of poor commercial site planning and good site development techniques. This discussion was intended to reveal some of the concepts that were being surveyed in the previous part of the presentation. A few of the slides from the Visual Preference Survey were revisited and a general dialogue began among the group.

At the end of the session, the discussion began to turn to more general planning issues which were welcomed due to the large turnout. There was a fair amount of public interaction during the last portion of the session and several individuals made statements after the meeting that were included in the survey summary comments (see attached survey results)

Some of the recommendations that should be considered by the AD-Hoc committee in the wake of the presentation and the results of the survey include the following:

- The Town Planning Board should make new commercial applicants aware of the preferences of local citizens and should ask them to consider these preferences during the process of developing an application for Site Plan Review. These preferences and standards should be included as a component of the Comprehensive Plan update.
- The Town will establish driveway standards for development through the Corridor Study but could potentially *adopt by reference* the standards developed by the Cayuga County Department of Planning (Guidelines for Project Proposals and Referrals) as an interim measure to amending the Towns current Zoning Ordinance. This may be accomplished by specifically referencing county guidelines in the current Site Plan Review and PDD review language of the Town Zoning Law.

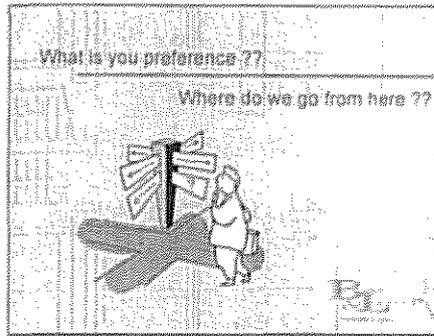
An preferred alternative to this is to revise the local Site Plan Review process with respect to commercial development. A draft Site Plan Review procedure will be presented to the Ad-Hoc Committee on January 4, 2005.

- The Town should review and strengthen current buffering standards if necessary and encourage the incorporation of good site design as part of the Site Plan Review process. The buffer requirement between commercial and residential interests was raised by several individuals after the closing of the meeting. This issue should be revisited particularly where commercial properties are developed adjacent to residential areas.

- Land use, site design and building aesthetics are minimally controlled by the Town and are currently inadequate to ensure that the visual quality of the Town is protected. The location, scale, arrangement and appearance of future commercial / industrial land use should be clearly established so that the desired character of the Town is maintained.
- The Town should consider limiting commercial development to an area located between Half Acre Road and the Auburn City Line (according to the sketch plan presented at the Visual Preference meeting) and should promote a master plan approach to a reconfigured Commercial / Industrial Zone.
- The Ad-Hoc Committee should engage in a dialogue with the local community to encourage a gateway concept to the Town's new commercial district. This effort will ensure that commercial properties develop as a visually cohesive commercial center and establish a sense of place that is identifiable to residents and visitors. It is recommended that the proposed gateway is identified by a name (such as Town of Aurelius Shopping District or Commercial Center).
- The Town should include strengthening the zoning law to better address the types of signs and the method of displaying commercial information within the corridor. Commercial signs should not overwhelmingly detract from highway signs designed to provide for traffic safety. The Town should also work closely with NYSDOT Region 3 when reviewing commercial signs along the corridor and should discourage the placement of any commercial signs within the State right of way.

Ultimately, the results of this session were successful in gaining consensus regarding the visual issues to address commercial development in the Corridor. The Ad-Hoc Committee should consider the preferences highlighted by the survey process and begin a discussion regarding incorporation of some of the recommendations into the Comprehensive Plan update.

Slide 1



General Survey Comments:

"Maintain ecological viewsheds – designate an area near the City of Auburn for economic development."

"I prefer planned development, design guidelines and land use management that is integrated, cluster development and green space requirements."

"I prefer Clustering."

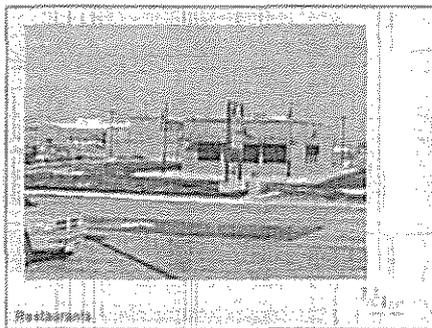
"Excellent meeting, The Town needs to move forward. It needs controlled growth but it needs to forget the nay sayers."

Nice presentation – Town needs to move forward with this plan."

"Develop slowly. Traffic around Fingerlakes Mall is increasing quickly and will soon make my daily trips on Route 5/20 time consuming and a burden."

"I stongly support limiting commercial development to east of half acre road."

Slide 2



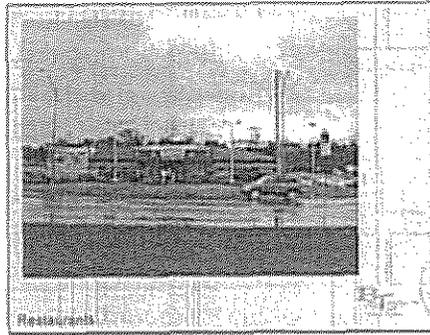
"Limit the size and style of the sign."

"Terrible: impermeable surfaces (to much in area)."

"No" !!

"Not very appealing. Would hope this would be a NO vote."

Slide 3



"Zone Half Acre and East as Commercial."

"West of Half Acre should be agricultural and residential."

"No commercial development west of half acre."

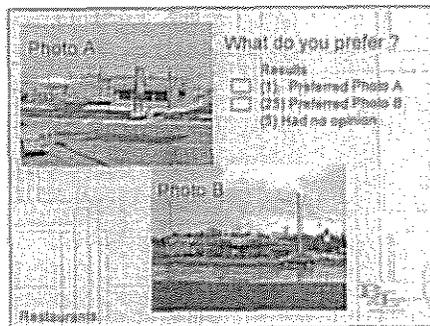
"Yes" I [to this picture over the previous].

"Prefer."

"Prefer as long as it is near the mall and not out west of Half Acre."

"I prefer this type best. It is a little classier"[ than the first photo]

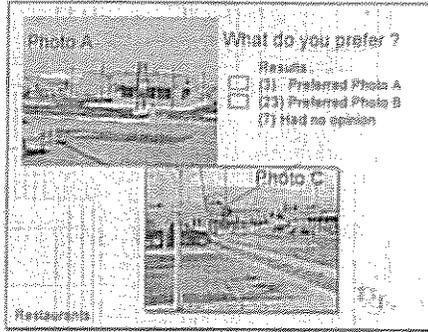
Slide 4



"I prefer neither. I would want limited development."

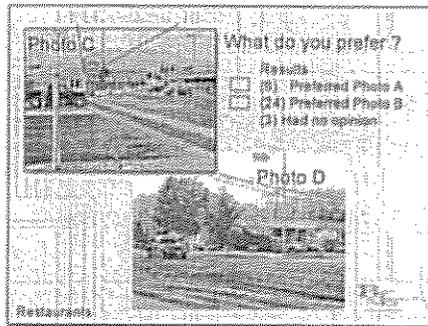
"A is a cleaner building than B"

Slide 5



"C parking is more organized."

Slide 6



"If development has to happen I prefer D."

"Can't see the sign in D"

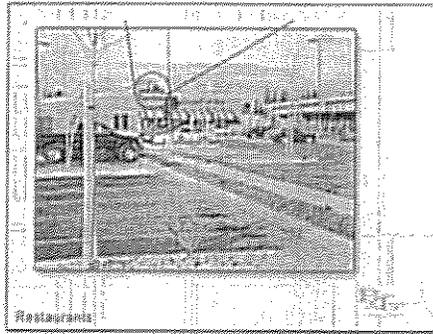
Slide 7



"No"

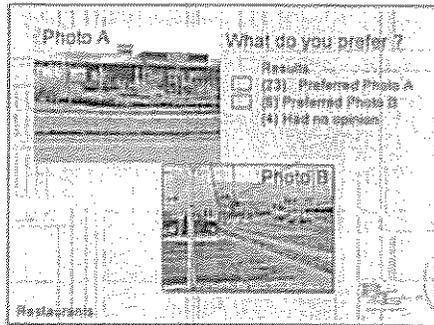
"Nice landscaping / neat."

Slide 8



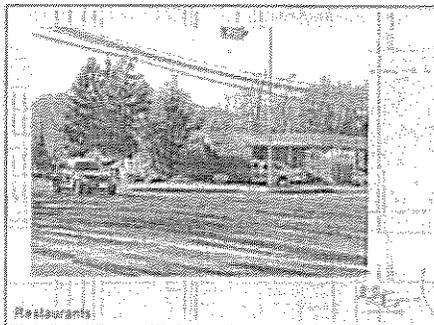
No comments

Slide 9



"Can't see how to park."

Slide 10



No Comments

Slide 11



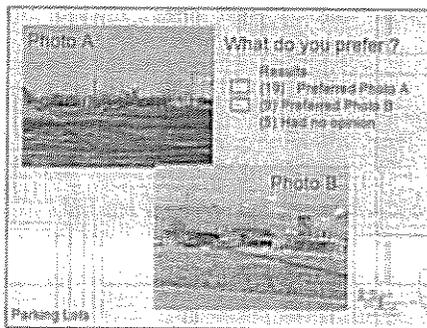
"Buffer is important  
(permeability.)"  
"No"  
"I prefer landscaping around  
parking lots."

Slide 12

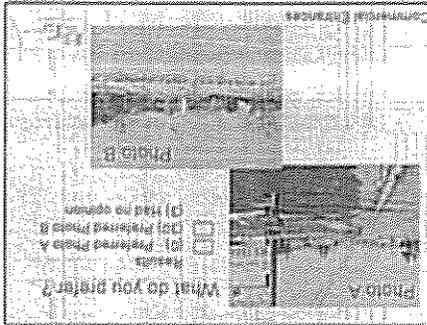


No Comments

Slide 13

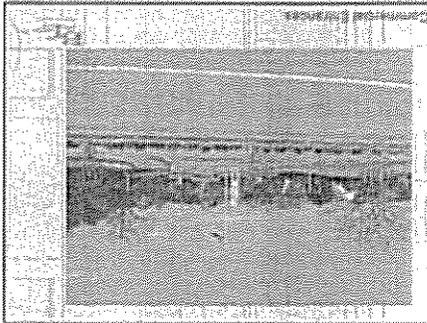


No Comments



No Comments

Slide 16



"Looks Good."

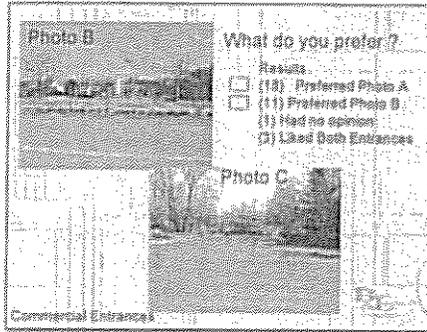
Slide 15



"Several driveways - No!"

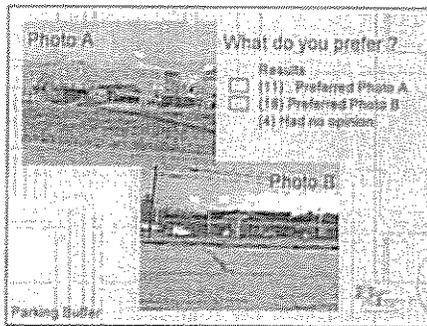
Slide 14

Slide 17



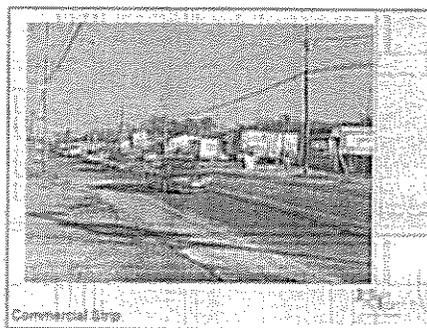
"C has a better view shed, better than commercial strip."  
"I am concerned about views and wildlife corridors."  
"These types of development appear to be a great distance from the road."

Slide 18



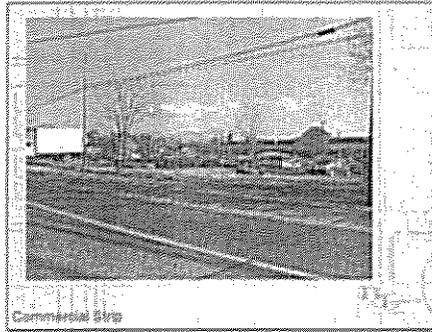
"As long as it is landscaped and neat I have no preference."

Slide 19



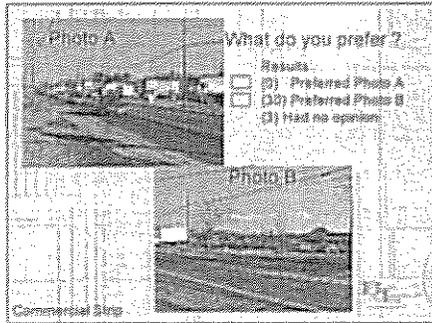
"No No"!!  
"No."

Slide 20



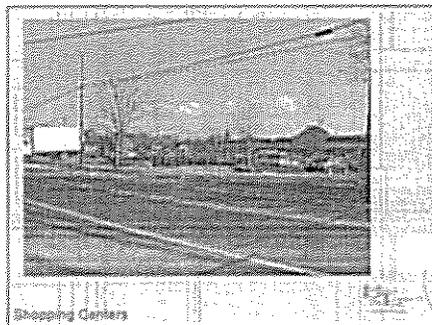
"Yes, but close to the City of Auburn."  
"O.K."

Slide 21



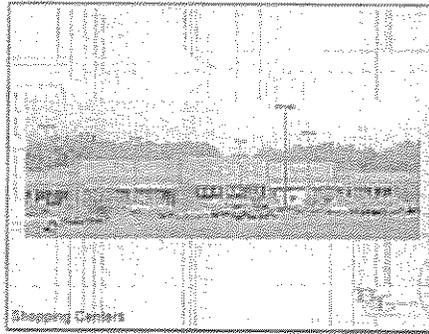
"Concentrate commercial development near the City."  
"B is more organized."

Slide 22



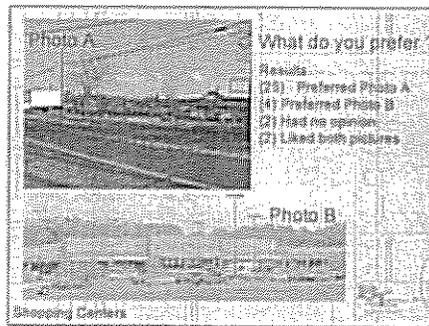
No Comment

Slide 23



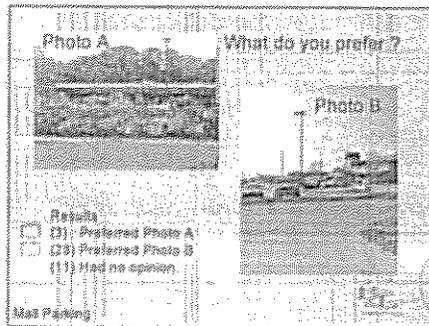
No Comment

Slide 24



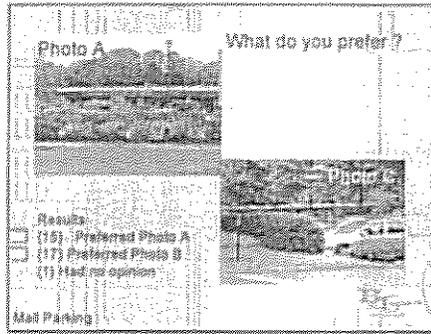
"Both are satisfactory."  
"Both look very neat."  
"Either is good."

Slide 25



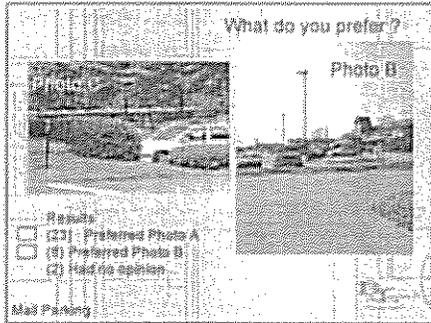
"Buffer and reduce runoff."  
"A has shrubs for creeps to hide behind."  
"B has a larger parking area and is neater."

Slide 26



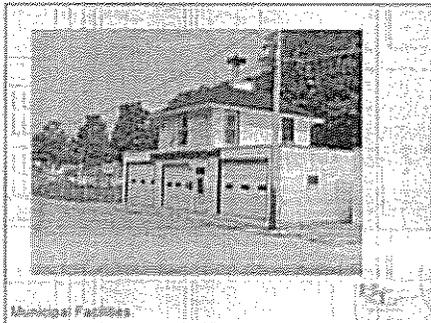
"Shrubs are nice but have risks."  
"Prefer C, better bushes and berms."

Slide 27



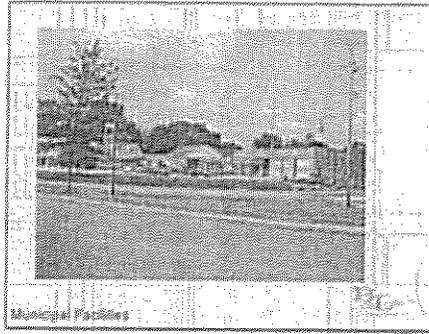
"Shrubs are nice but have risk."

Slide 28



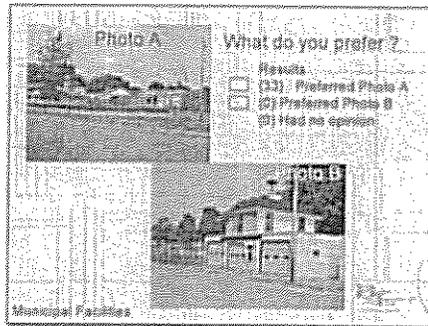
No Comment

Slide 29



No Comment

Slide 30

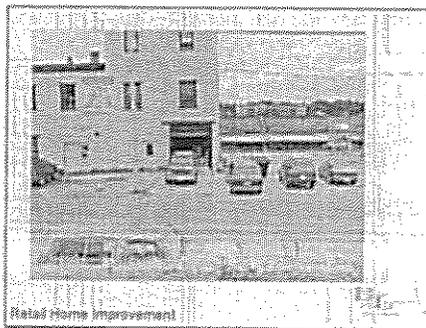


"Prefer A with limited damage to wildlife" [ more natural landscaping].

"Prefer A but too much grass green space."

"A has a better design"

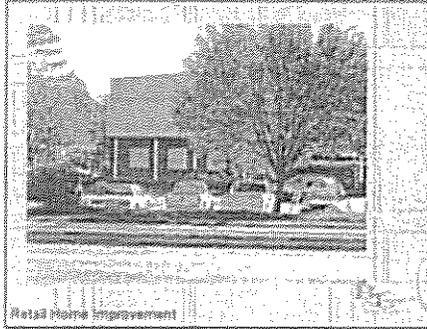
Slide 31



"No."

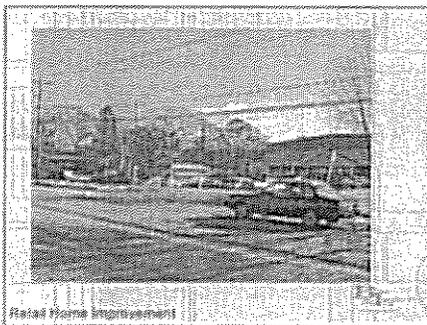
"No."

Slide 32



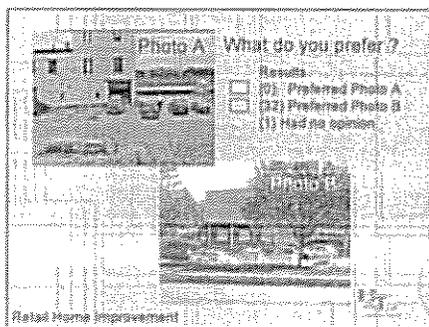
"O.K."  
"No – Cars are too visible."

Slide 33



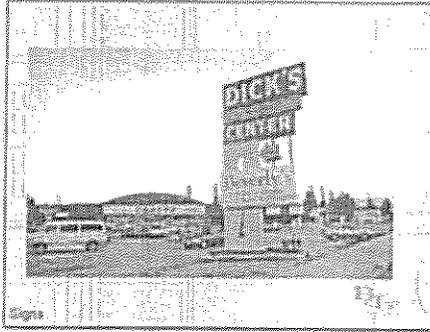
"Better than any of the above.  
Smaller sign would be preferred."  
"YES."

Slide 34



"B – Better design."  
"Trees are a good thing always."

Slide 35



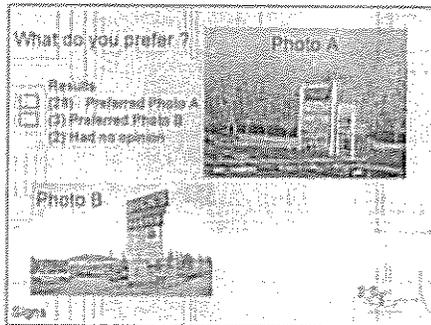
"No" !  
"No"  
"More personalized"

Slide 36



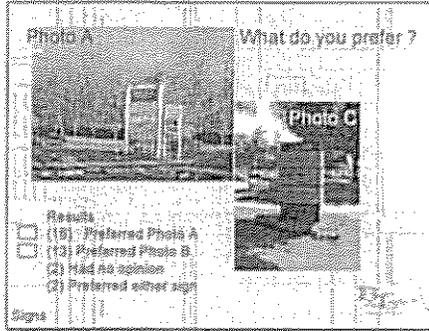
"Yes" [larger sign] "No" [smaller sign]  
"yes"  
"Good for offices"

Slide 37



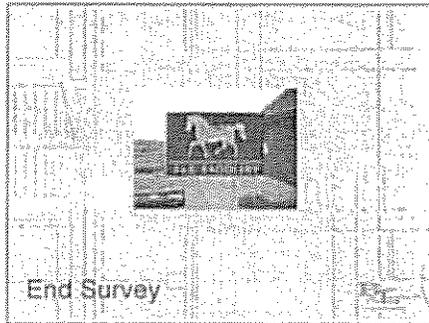
"No gym sign type."  
"B is more effective for business."  
"Depends upon application."

Slide 38



"A has clearer definition of business within."

Slide 39



Comment entered on first page.

Town of Aurelius Comprehensive Plan

Agenda

Tuesday January 11, 2005 7:00 p.m.

Town of Aurelius Fire Department

Transportation and Infrastructure Visioning Session

The purpose of this session is to solicit public participation and gain public input with respect to the current and future infrastructure issues in the Route 5/20 and Clark Street Road Corridor.

I. Introduction

A. Introductory Presentation

a. Highway Function

B. Introduction of Panel Guests

Guest Panelists:

Steven Vetter - New York State Department of Transportation

David Miller - Cayuga County Department of Planning and Development

Kent Walters - Town of Aurelius

II. Interactive Panel Discussion and Public Visioning (open forum)

A. Transportation Issues

B. Water and Wastewater Issues

C. Power and Communications Issues

III. Closing

(Please read the reverse side)



**Ad/Hoc Committee Visioning Session  
January 11, 2005**

Ad/Hoc present: Ted Herrling, Mark Harris, Stephanie Church, Chad Hayden, John Lawler, Mary Gratton, Don Huber, Stephanie Church, Lori Bodoh, Paul Pinckney, John Greer, Bernard Watkins and Jerry Scouten  
Staff: Barton & Loguidice Engineers: Brian Madigan and Matt Schooley, Recording Secretary, Debbie Pinckney

Audience: see attached sign in sheet please

Ted Herrling opened the meeting at 7:00pm by introducing guest speakers DOT representatives Steve Vetter and Bill Eggsloff, and County Planner Dave Miller along with facilitator Brian Madigan.

Presentation was given. Overview of highway function: to carry traffic safely and efficiently, to provide access to adjacent areas, to provide access from adjacent land to the transportation network.

Highway function of the town is broken down into a classification system according to number of vehicles and capacity, and is compromised of Functional Class System: Local streets (access / inter), Collector ( traffic from neighborhoods to arterials), Arterial 5&20 (primary function move traffic at higher speed, pedestrian links are severed, access to land minimized).

Limited access - carry traffic only function, context within region. Look at the big picture. Transportation trends are linking transportation within land use, prefer highway corridor management, and prefer highway access management, multi – modal transportation, bikes – pedestrian, and energy conservation.

Panel discussion: Steve Vetter and Bill Eggsloff, Dave Miller, Walter, Ad-Hoc. Intro their role:

Steve Vetter – Owns the road, transportation planning needs to get highway work permit and SEQR process. We need to look into the future to work with potential development down the road how to get people, busses, and bikes safely using our roads. It is not what kind of traffic drives assume different for emotions depending on the type of road. Safety includes not a sign by driveway.

Bill Eggsloff – I coordinate reviews of private development thru the site plan and map report process, looking toward better management.

Dave Miller w/County Planning - We own and maintain some of the roads. County IDA owns property on West Genesee to 5 & 20, couple 100 acres. Promoting future development (the way we develop internal road there) will impact the area. County Planning comments on any development based on quality of life / safety and highway issues. We are on the same page as Steve of DOT. We get site Plan Review we make suggestions such as possibly sharing driveways.

Brian – Open up discussion to public with Transportation Issues.

Mark Harris – Since Bass Pro is there a difference in traffic?

Matt – No study since they came in. I live on 5 & 20 and there is a difference. 2 minutes out of our driveway could be a 5 minute wait, especially on a weekend. We are getting some info from developers but we're talking long term and spin off development.

Brian – Spin off. We're getting some nibbles.

Nancy Delaney – What is the issue?

Brian – We've been hired to do a study on 5 & 20 from town line to town line, we need to.

Nancy – But what are you looking for? Stopping business?

Matt – If 5 & 20 becomes like the East side (Grant Ave) does it bother anyone?

Nancy – But I'd like to see it slower.

Brian – Are you looking to create curb cuts?

Nancy – Yes. I'd like to see business. BOCES will be impacting. I own land and it was zoned commercial. I want to that way. Wouldn't it be better to slow down lower speed limits, put in more lights? We have NYS Thruway – I don't want to see commercial stifled.

Brian – So you think development should happen? Without a ...

Nancy – Of course.

Mary M. – My background is rehabilitation and there are many accidents, as you plan this road, address the safety.

Nancy – You've got farmers in summer, it's not a high speed road.

Dave – It's not a high speed highway, you cannot pass all the way to Waterloo.

Steph – What about explaining additional curb cuts?

Brian – We're looking at planning approaches that would limit curb cuts and planning. The other type is unlimited development and where. We are looking to mitigate the number of people accessing the highway.

Bernard – It's not a high speed highway. Look at Grant Ave and have the same black top city. We need to plan.

Brian – Use Rt. 31 in Clay. They have to widen the road every 5 years. Looking at long term issues – how to control driveways – landscaping – cul de sac.

Steve – The DOT is not saying. This is a 55 mph high speed highway in my book. It's a major road when you go on it, it's not a one block go home, it's a 5-7 mile ride. You may have a destination on the roadway, but probably not – you use it to travel. Our region: Cayuga/ Onondaga/ Seneca/ Madison?

Rt 5 5x – Auburn; Rt 13 Cortland – 81; Rt 104 – 81 Rochester; Rt 34 Auburn – Thruway. When you're looking to move people along a highway you really have to maintain what we have and keep them safe. To keep whole we need \$400,000,000 per year annually. My budget is \$95,000,000 per year. Much less put in the entire new infrastructure too. Rt 11 is screwed up so badly, they have done such a poor job of planning land use transportation management and the advantage here is you're not at that point – you are working toward safe design standards which are what you and we want. Diversity development is coming back. Small bus, large bus, residential – we were segregating, which left no alternative but to get in a car to drive. Looking at overall land use is very important and I'm only taking about highway then you have to look at water and sewer.

Bonnie G. – You did a nice job but I want to see what your suggestions are. Right now Clark Street Road is a mess – East and West .

Brian – One of the preliminary discussions with Ad Hoc was a possibility of developing alternative routes around the mall (points to yellow high-lighted area showing water and sewer and commercial zone). Or increase road frontage, or driveway distances. What we want is the public's opinion on what they want to see.

Ron Bench – What about what is happening on 5 & 20 with the 'for sale' signs?

Nancy Delaney – You take pieces, choices, away if you change the zoning. If you don't want to live on 5 & 20 move so you're saying no developing, keep it green.

Brian – The way it is laid out now, the type of zoning could cause strip development.

Nancy – No. We don't want 'no' development, we want control of how it occurs.

Dave – Why would you take the zone away?

Brian – That is only one option.

Jim Burlingame – What would it take to make road one way?

Steve – 5 million dollars a mile, not affordable.

Nancy – What precipitated the DOT to move in?

Brian – This is not a DOT Plan. The Town wanted a corridor study based on potential long term development.

Matt – This is long term. We want to look into what ...

Brian – We're not trying to stop commercial development, we're looking at a long term vision for town, how do we prevent Rt 11?

Chad – Is it true zoning ordinance prohibits Ag use?

Dave – Goes on side bar – could be right.

Chad – Looks like Ag and Residential if it stops.

Stan – Our Fire Chief mentioned we've had to respond to over 100 calls due to 5 & 20 corridor accidents, so I'm willing to hitch my cart to DOT. It all is on the mind set, on how you want to have our town look in 20 years. If there is something better out there, I want to see it. The town gave Commercial zone as a gift - could take it away.

Chad – Any plans for reorganize 5 & 20 / Half Acre intersection?

Steve – Right now going thru 5 year capital program. Looking at it, not committed yet.

Nancy – I'm not opposed to, I'm concerned at my gift being taken away.

Mary – Is it fair to take away? My Corp brought in Walmart. They pay city of Auburn \$2,000,000 in taxes. You could get developers to come in and buy out.

John Lawler – To DOT question, ask him.

D and W – I have business on 5 & 20 and I believe limited access is needed.

Bernard – The Firefighters (emergency service) already have problems because of uncontrolled growth and sprawl.

Brian – You need to look at long term issues an uncontrolled growth and sprawl can effect tax base, looking at the best place to develop.

Chad – I disagree with the State's DOT high speed highway. It would be better economically if there was a stop light every 1500 feet. If the Town's objective is to increase tax base and school (businesses don't have kids so down on school expense). Maybe make 5 & 20 a local road.

Steph – I agree with some things but we want it to be easy to go from one place to another. Grand Ave is not easy. That's what I want to see, I'd like to see what people think about more local roads.

Janine – Last meeting we talked about what was the response on visual preference.

Brain – There was more of a naturalized look to landscaping around commercial development. Like developing commercial area in a park like setting. The most successful communities have cluster commercial, not sprawl.

Kevin Foster, Aurelius Fire Department Chief – I have lived on 5 & 20 all my life. Now we have bottlenecks. I need a more practical approach when we have the plan.

Bernard – I have no problem with posted speed limits but people don't follow it and we need better law enforcement.

Brian – Open up to water and sewer.

Nancy – We don't have any!

Chad – Interested in concentrating it all in one place, but why doesn't it work for Auburn?

Dave Miller – Wherever you go you'll find a new concentration – commuting/ parking/ shopping centers. 70% of county works out of county and they stop on way home where generations ago the stay at home mom shopped local. How about this scenario: What if Bass Pro had wanted to build in a residential area. What Brian is getting at? An attractive visual, inviting (take Dunkin Donut on Grant Ave, put in on a ½ acre defined curb cuts entrance).

Bonnie – You are right, the meeting is not about here is, what it is we want to see, what you want. You like the idea and concept but how's it going to happen? Maybe there is another nodes – we don't want to see a blank check. We're living in a word where there is no money and we are not a growing community. We have to work more efficiently with what we have. Sennett and Auburn are still working to correct the poor planning. You have an opportunity to get everything and more that they have – and avoid the problems.

John Lawler – He remembers Neal Webster thought 10,000 cars going back then 20 years ago.

Steve – Historically no, back at the office we have that number. As Dave says 1 ½ and 3% traffic growth per years traffic increases but tax base doesn't. State says we have to decrease energy by 20%, so we're not outh here to tell you what to do, we're looking at land use development. Atlanta – Sprawl too much; Portland – better development. We want a plan to manage uncontrolled development. When I started in engineer school my environmental professor said “solution to pollution is dilution”. Now we need to utilize what we have. Where have we built a local road lately? Never - we need to use what we have, by interconnecting.

Brian – As we get into Phase II which looks at the whole town we are focusing on the corridor. Anything on water and sewer should we expand it anymore?

Chad – I need to understand, as our infrastructure is based on special districts, so what's wrong with the model of asking the new users to pay for it?

Brian – The problem is uncontrolled extensions, generates long term costs.

Dave – Like Springport, or Victory Rt 370 wants water - \$9,000,000 of taxpayer money and grants. A ½ million in 0% grants. What about the Monday meeting? Wasn't the first words from engineer – we'll fund with grants? So when we get that money, we think it's great but it's our tax money funding that grant. If we go with the plan to concentrate in certain area, driven by your own out of pocket costs, but ultimately it's part of tax base increases.

Brian – Need to identify the areas and accommodate fire.

Ron – Question about Springport waterline – Ag District won't allow you to run laterals.

Dave – What ever is there now you service.

Next meeting will be the public input session on January 18, 2005 6:30pm.

Respectfully submitted  
Debbie Pinckney  
Planning Board Secretary

**Ad/Hoc Committee**  
**Follow Up to January 11, 2005 Visioning**  
**January 18, 2005**

Ad/Hoc present: Ted Herrling, Jim Taber, Mark Harris, Chad Hayden, John Lawler, Mary Gratton, Don Huber, Bernard Watkins, Don Huber and Jerry Scouten

Excused: Stephanie Church

Staff: Barton & Loguidice Engineers: Brian Madigan, Recording Secretary, Debbie Pinckney

Audience: see attached sign in sheet

Ted Herrling opened the meeting at 6:30, this is the Ad Hoc Committee meeting to engage in a follow up of the January 11, 2005 Visioning Session on transportation and infrastructure.

First topic: General Discussion of the Transportation and Infrastructure Session turned over to Brian Madigan to summarize. see attached

Brain spoke of his summary, the minutes will be forthcoming to fill in the gaps. People who had purchased land on 5 & 20 west of Half Acre had done so because it was commercial and were not in favor of rezoning that land as was suggested at the last meeting. There were concerns about the various impacts when making needed improvements to the existing infrastructure. People had concerns about the costs associated with these infrastructure improvements. Brain was surprised there wasn't more discussion about water and sewer.

Ted asked for input from the audience.

Mark Harris commented the time constraints made it difficult to talk about the water and sewer issues. After almost 2 hours of being given so much information about the DOT and Planning respective it was hard to absorb that info and ask for more on sewer and water.

Brain Madigan: Some of the water and sewer issues were covered in the pervious meeting, but there was no time to have Kent Walter answer questions relative to the existing infrastructure and what we would like to envision 20 years from now in Aurelius.

Ted Herrling: I myself was surprised about the comments about keeping 5 & 20 commercial 500 feet on either side. I can understand big box stores being located in a concentrated area where there is water and sewer and once that area has been filled expanding by sections. I was also surprised that the NYS Ag Districts can have water and sewer running through their land but to keep the designated "Ag District" you cannot hook up any laterals.

Brain Madigan explained, once an Ag District collapses, that law becomes null and void. State Ag steps in and the district is no more.

Jim Taber: Asked for clarification

Mark Harris: I am on the Village of Cayuga Planning Board and part of the County Planning. Ag Districts are reviewed every eight years. At the time the water and/or sewer line is laid you can hook a lateral on to any structure but if a building is built after that, you cannot hook on.

FYI: To petition out of the district, it can be done every 8 years. If you are a farmer not currently in an Ag district, every March you can petition to be added through the County Planning and the County Legislature and finally to the State. This was revised from 2003, where before you had to wait and only apply once every 8 years.

Jim Taber: He was not at the visioning session but he had read in the paper the possibility of a support road extending Cranebrook to Half Acre?

Jerry Scouten: There is talk of a local road to run west on the IDA property to Eagle Lane with the possibility of extending it to Half Acre should development continue. At this time, the DOT has stated there are no additional funds available to reconstruct Half Acre intersection and until that is taken care of, talk of dumping more traffic onto Half Acre is poor planning.

Ted Herrling: Does anyone else have comments about the January 11, 2005 meeting?

Mrs. Delaney: I just want to say, our main interest at this time is not to lose the commercial status of our land. I understand the need for guidelines on development, I just can't see changing the zoning, and removing our choice to develop that land.

Ted Herrling: Brain, we could extend the zone say 5000 north and south deep up to Half Acre and keep the existing zone at 500 feet correct?

Brian Madigan: You can have a zoning highway overlay. Choose to keep access drives a certain length from the highway

Respectfully submitted  
Debbie Pinckney  
Planning Board Secretary

Town of Aurelius Route 5/20 Clark Street Rd. Study  
Transportation and Infrastructure Planning  
Summary of Potential Issues for Visioning Session No. 2  
January 11, 2004 - Town of Aurelius Fire Department  
7:00 P.M. to 9:00 P.M.

On January 11, 2005, the Town of Aurelius Ad-Hoc Committee will hold the second in a series of Visioning Sessions. This Visioning Session will focus upon:

- Transportation Infrastructure
- Water and Wastewater Infrastructure
- Power and Communication Infrastructure

In response to some of the issues raised at the Visual Preference Session and discussions to date with local officials it is likely that the public will raise several concerns. It will be important for the Ad-Hoc Committee to be aware of them prior to the Session. While other issues may surface on January 4, a short list of potential discussion items is as follows:

**Transportation and Highway Issues:**

The largest public issue will be the traffic impacts resulting from the Bass Pro Shop and new commercial development proposals. Many of the preliminary comments by residents and officials include:

- Concern regarding the impact of commercial development on traffic along Route 5/20 and Clark Street Road (safety).
- Desire to avoid the linear strip pattern that normally occurs along commercial corridors.

- Concern regarding local truck traffic and service/delivery vehicles accessing commercial properties through residential neighborhoods
- The potential for high-speed traffic and increased volume along the Route 20 Corridor.
- Congestion and reduced traffic safety due to an increase in driveway access to Route 5/20.
- Costs associated with traffic signals and future highway upgrades to accommodate growth. At least two residents have voiced concern with respect to "tail-wagging-the-dog" growth.
- Concern regarding pedestrian safety and school bus safety in residential areas and along Route 5/20 (i.e. some children are required to wait for the school bus along Route 5/20).
- The preference for an internal system of local roads in proximity of Fingerlakes Mall to offset traffic impacts along Route 5/20.

#### **Water and Sewer Infrastructure Issues:**

There is a local school of thought that municipal water supply should be installed along all roads in the Town. This runs counter to appropriate planning measures for the following reasons:

1. While the cost of extending water service the entire length of the corridor would prove to benefit a few landowners, the expense associated with this approach is likely have a substantial impact upon local taxpayers. This

may result in fees and taxes associated with long-term infrastructure maintenance.

2. The extension of municipal water to properties with on-site wastewater treatment (septic systems and leach fields) may increase water use by residents beyond the capacity of their current wastewater system. The result may be septic system failure and impacts to local groundwater. The majority of the residents outside of the current service area rely on groundwater resources. Therefore, it may benefit landowners who are initially serviced by extensions and become a detriment to others who cannot be readily connected to the system.
3. The further extension of sewer lines to accommodate properties outside of a reasonable area is likely to be extremely costly and will impact the local tax base.

The results obtained using a water model developed for the current water system reveals that there is additional development potential at all locations between the Town Line and Clark Street with the exception of Mullen drive and the section between the Town Line and the Fingerlakes Mall complex. Additional commercial development will require upgrades to the water and wastewater system.

This leads to a concern likely to be raised with respect to upgrading and improving water and sewer infrastructure to service new commercial development. Based upon discussions to date with the Ad-Hoc Committee, the consensus is that need for commercial infrastructure improvements should not be borne by the local taxpayers. Costs associated with infrastructure improvements should be borne by new

development coming into the area. This is a standard method of controlling legal fees and other costs to the Town in reviewing development proposals and expanding infrastructure services. This approach will ensure that the Town is providing the infrastructure necessary to accommodate future growth and prosperity while protecting the interests of current residents.

Lastly, several residents raised concern regarding the impact of new development on drainage infrastructure, streams and creeks. Therefore, an increase in storm water runoff caused by new development is likely to be discussed at the session.

#### **Other Infrastructure Issues:**

Residents may voice any concerns with respect to local infrastructure (cable, electricity and communications systems). While it is not likely that any hot-button issues will be discussed at that time, the public frequently raises cell tower issues during visioning sessions.

Cell Towers are normally of concern to residents due to their visual impact. While no discussion has taken place as of this time, it should be discussed at this meeting so that we can gauge public opinion.

Please consider these potential issues likely to be raised during our January 11, Visioning Session prior to the January 4 Ad-Hoc Committee meeting. If you can identify any additional issues, please bring them to the Ad-Hoc Meeting. It will be useful to identify any further potential issues prior to the January 11 session.

Town of Aurelius Comprehensive Plan

Agenda

Tuesday February 8, 2005 7:00 p.m.

Town of Aurelius Fire Department

Commercial and Industrial Development Planning Visioning Session

The purpose of this session is to solicit public participation and gain public input with respect to future Commercial and Industrial needs of the community.

I. Introduction

A. Introductory Presentation

- a. Brief Review of Previous Meetings
- b. Planning Trends in Commercial and Industrial Development

B. Introduction of Panel Guests

Bill Carpenter - Supervisor, Town of Pittsford (Confirmed)  
Steven Munson - NYSDOT Corridor Management Unit (Tentative)  
Gina Speno - General Manager, Fingerlakes Mall (Confirmed)

II. Interactive Panel Discussion and Public Visioning (open forum)

III. Closing

(Please read the reverse side)

1241 West Genesee Street Road  
Auburn, NY 13021  
Phone: 315-255-1894  
Fax: 315-253-5827

**Aurelius Town Clerk**

# Fax

**To:** The Citizen **From:** Debbie Pinckney

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**Attn:** Kathy Weldon

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**Fax:** 315-255-3847 **Date:** 02/01/2005

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**Phone:** **Pages:** \_\_\_\_ including cover

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**Re:** Legal Notice **CC:**

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**Urgent**     **For Review**     **Please Comment**     **Please Reply**     **Please Recycle**

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The Town of Aurelius Ad Hoc Committee will hold their third visioning session Tuesday, February 8, 2005 at 7:00pm at the Aurelius Fire House, Half Acre Rd with regards to the Future Commercial and Industrial needs of the community. The public is welcome.

This ad is for Heather and needs to be in on Saturday and Sunday, Feb 5<sup>th</sup> & 6<sup>th</sup>.

Use the same format except change the...

**What?** A Visioning Session with the Town of Aurelius Comprehensive Plan Committee to solicit public participation and gain public input with respect to future commercial and industrial needs of the community.

**When?** Tuesday, February 8, 2005 at 7:00pm.

**Town of Aurelius  
Ad Hoc / Visioning  
February 8, 2005**

Ted Herrling introduced the panel guests.

Brian Madigan gave power point presentation highlighting previous sessions (pgs 2-6).

Why Plan? Pgs (7-9). If the Town's poor planning creates a transportation problem DOT may no longer take fiscal responsibility for correcting the problem.

How to Plan - pgs (11-13). Strategically. Use clustering no strip. Link with pedestrian walkways. Town Center vs. suburban shopping center.

Interactive Discussion:

Gina – Mall Manager

Bengy – What works in CNY Regional Planning Board?

Bill – Pittsford Town Supervisor

Ted Herrling – Gina what is your vision for the Mall and out parcel?

Gina – Thank you. 5 Years ago we went to you for help in a time of need, now we are experiencing a growth. Littman Jewelers, Gelato Café gave donations. Any growth around us is welcome – competition to us is good – Cameron group has our support even if we may loose some tenants. As this end of town develops it helps us.

Brian – How much development is appropriate?

Jim Taber - #1 demographics and infrastructures (lack of) is an important factor. Starlight will suffer with wide road.

Brian – Do you think retail will drive?

Jim – Unless we open a sewer district, I can't see that happening.

Bill – Corp – It's not what people want to do or the concepts. You need to envision in 1994, we only had a half empty strip mall, and now we have a community. 3.4 billion tax base – only way it fits if all property owners find an increase in their property. We had the first non-conforming MacDonald design. We tell people if you have products, people want, you don't need garish designs. 9/10's mile has 67 million dollars in commercial business. We are very successful with developers. It not about architecture it's about ...

Bill Hecht – How does Pittsford handle signs? Counted Nice and Easy signs on 90, 5 & 20, and counted Sunoco in Union Springs. Our design guidelines handle all the details.

Bill Hecht – Talk about overall concept, no just Aurelius and Cayuga County. We are fortunate to have an untouched corridor from Seneca to Half Acre that is beautiful but we have a big worm of commercially zoned 500 ft. How can you justify corridors that has a classic planning error?

Bengy – Demographics drive growth. Demos tell you the Town is not growing. Since 1980 growth has been less than 1/2 %. There is change but no growth. The change is that worm. As you create you'll end up with a bunch of empty dis-investment. What you are doing in encouraging a shift from one place to another – a change not growth. You need to take a step back and think what you want. Look at other communities and try to replicate, i.e.: Skaneateles and Cazenovia, no worm effect. Cluster business – pedestrian friendly. The entire CNY region is not growing, it is shifting.

Bill Carpenter – When we did comp plan in 1994 we have a number of economic development that isn't commercial or industrial – nursing – adults homes. Dis-investment occurs when a community doesn't pay attention to what is going on – communities have to go back and change your zoning when you see dis-investment. Need to continually work with zoning. We have an anchor of Barnes and Noble that helped change the Plaza around in Monroe. Also has a 30,000 people per day road. Need to work at keeping u with zoning. Our commercial area is localized, primary we are residential.

Bengy- You do have a lot of agricultural industry. If you take action you can loose Ag.

Bill – What does that do to the value of land already zoned residential?

Bengy – The developer comes in and asked for zoning change. Land becomes cheap. Unique in America in that zoning can be changed so easily. In Europe it is much harder as zoning is firm. The constancy remains 300-400 years.

Bill – We have constancy here. I believe zoning is strong if you all come up with a specific plan. Need context in what the community wants – the thought is you put water and sewer in and they will come. You are in control with extension. I believe in the American right of property owners. Zoning is always development, doesn't end Ag – there are ways to keep in balance. It's hard to take away but more importantly are answerable to the community. Communities are the ones affected and they are the ones that must have the vision control.

Brian – Ask crowd what type of commercial development do you want to see? Do you want it concentrated in an area or do you want the trip?

Red Jacket – Once commercial moves in, residents move out.

Brian – And?

Red Jacket – Some people will sell high. Grant Ave was mostly residential. The ones that are left are waiting for the big dollars.

Bengy- Could use a mixed use, residential over retail.

Red Jacket – Look at potential hotel, people will move.

Matt – The residential over retail might not work here.

Bengy – Well you think of the town center concept. 1 or 2 bedroom place above a retail where they don't have to worry about lawn care, etc. In Syracuse some commercial area are housing residential.

Bill – The more you think of mixed use you need to walk a fine line and make the zoning fit your vision. You put a stake in ground – support it. The stronger your vision the closer it is to what the finished product will look like.

Brian – Suburban areas are growing 5-10% more. Never talked about residential development and the mall.

Gina – A lot of trade publications talk of life style centers, a mix of retail and services. Demographics are #1 with retail. Take for example Bass Pro and the Hotel. Our demographic is not an easy sell. Even though the population isn't growing, people still need services. Michael Wax has done a nice job over there, landscaping curbing – I don't see us losing tenants to Grant Ave or vice versa. People are coming to our area when opportunity knocks. Aurelius doesn't have to deal with old and vacant. What is coming is new. We are zoning every time we have a new tenant. This is a policing policy and we are enforcing.

John Lawler – How is Grant Ave doing?

Gina – Walmart is doing great.

John – Had talked to fast food, they said were down. Citizen showed the number of people moving to suburban areas from the cities. It is important we have a type of plan that takes that trend into consideration.

Bengy – One of the consequences with each move, you have to recreate the infrastructure to the new area and deal with the infrastructure in the areas left behind. We pay one of the highest tax rates in the nation. Excess capacity in old place, create new in new place.

Bill – If property values decrease, schooling is poor, infrastructure nonexistent. We see the migration to rural, but they might see it's too difficult with travel.

What makes Aurelius a place you want to live?

Why do I want to stay here?

How do I get it to stay as is?

State burdens us with a lot of unnecessary costs, but for those that move to lower taxed areas they are putting kids in private schools.

Bengy – Madison County, Rt 12B to Colgate, they're getting a tremendous amount of change. Population change is under 1% but the arterial has increased 16-22%. What does it mean? Arterial is not flowing, stop and go, accidents, difficult left turns – all because of strip development. Traffic impact from land use change is tremendous.

Bill Hecht – Back to strip (we have hubs) need County Planning and Auburn to the table.

Mark – Looking for personal preference. My opinion – I am not opposed to commercial area in concentrated area. I like the rural-ness. What do you want to see?

Brian – Dave Miller was at the last meeting and he is anxious for 239 process. We will have the count and Steve Lynch involved.

Bernie – I don't think we want the City; we want to do our own planning. Pittsford is a great area. We need to think, what do we need in Aurelius? Look at Columbian rope moving from Seneca, where they paid taxes, to here, where they have a 20 year tax break.

Brian – Walmart – Big box.

Bengy – Question about red worm – you can change it any time. Presumably you want to reinforce the Ag district with Ag zoning?

Bill – I live in Pittsford. Front porches and detached garage. TDR is difficult. Corridor strip development, transfer development rights – sending and receiving zones. Maybe there is a way to move it off the corridor.

John Lawler – I heard you speak on Pittsford.

Bill – You can wait till your property is affluent, but you need to get in front of it – Vision. In 1980 Agriculture wasn't even recognized as land use. Property values have increased. 2,000 acres of open space, 7 farms, 2 colleges. It is about quality usage.

Debbie – How many variances do you give? Use not many, Area a few?

Ron Bench – Decision process.

Rill – If you want to fight you can. There is a lot of ways to discourage.

Ron – It seems if we had discouraged Bass Pro we wouldn't be here.

Man in back – Most people have moved here for the rural-ness.

Bengy – A lot of communities need to mark their amounts of land zoned for a particular use and plot where you want to put it.

Bill Hecht – I contend it's not what we want.

Steph – It is. That's why we are here, to get input. What's what we want.

Bill – You need to take a look at what you want. I'm pro planning. Development needs to occur for a reason. You have the true power – if they want the red worm and agree it's not wrong.

Mark – That is our whole purpose.

Wayne – I believe we need to move the red worm back, and I live where we are talking about concentrating the area.

Brian – How do you feel about gateway concept?

Red Jacket – Good concept but are you talking move back the red worm?

Brian – Show of hands – Most don't want the existing red worm. Interesting, we touched on water. If a certain company moved to Oneida right now they could save \$1,000,000.00

Bill – Question. Are you a good representative of show of hands?

Jim Taber – One thing a lot of old small businesses were there. We need to look at the corridor.

Bengy – But need to get the knowledge out.

Bernie – Need to take a look at existing businesses from past to protect them. We have two different developments happening before we are ready.

Bengy – Nothing to prevent a moratorium on future development.

Gina – We're not looking to move forward before you change your zoning. It's a good time to market the property, that is all.

Matt – Two different situations. The PDD and already zoned commercial so we do have control.

Steph – Last visioning core group did not want to change zoning. Mostly property owners in that commercial zone.

Brian – Community wide survey, compiling all visioning sessions, will take place after sessions are over.

Red Jacket – Reiterating reigning back commercial zone.

Brian – TDR – Way of exchanging values in zoning so that no one person loses.

Central Planning Man – 1) Community to grow. 2) Proper planning increases land value. Individuals fear loss of value when zoning changes.

Pittsford – 20-30% land value growth in Pittsford since planned growth enforced.

Stan – Do we extend the commercial zone to Genesee?

Brian – Looking at Half Acre, West to Town limit, East to railroad tracks, North to Genesee Street (correction South) – Concentrating on a 1,500 ft. swath, on both sides of 5 & 20. 1970 plan discouraged commercial strip plan. 1973 was first zoning in Aurelius.

Red Jacket – Caution on geology.

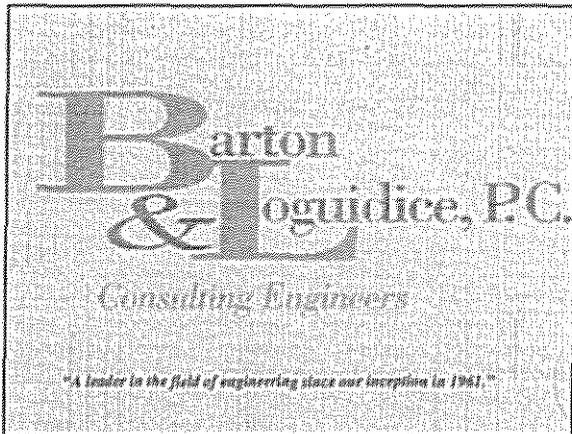
Man next to him – Ground water is contaminated in some areas. Planning should take this into consideration.

County Planning – What land is suitable for developing? What land has limitations? Zone accordingly. If agriculture is what you want, then residential zones limited to say 40 acres – use zoning to create what your vision is for the community.

Pittsford man – Bottom line, must decide what you want the land used for. Be careful making decisions, some limitations don't work.

Red Jacket – Retirement age, Boston, NYC, etc. are moving here. Property values increase and we'll get blown out of the water. Property values will be out of our scope.

Meeting ends.



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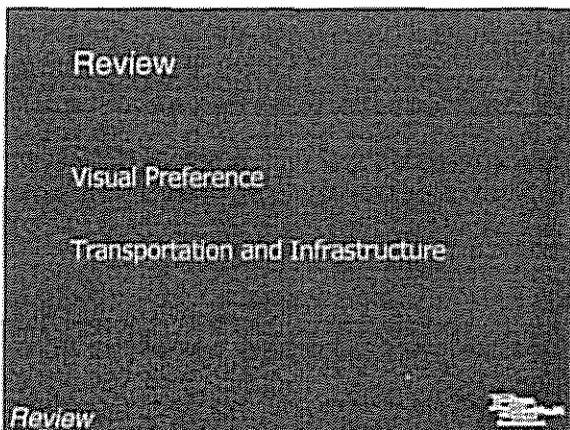
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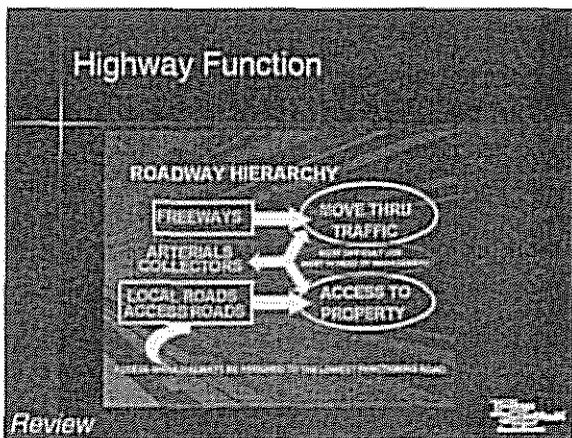
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### Infrastructure

Expanding Infrastructure in an unplanned manner is costly to taxpayers

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### "Spin - Off" Development

- Bass Pro Shop
- Out Parcel Development
- Fingerlakes Crossing
- Motel/Conference Facility
- Regional Attraction



*Review*

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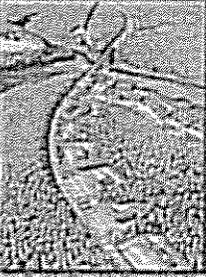
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### Commercial Impacts

#### Rural Road After Unplanned Commercial Growth

- Visual Aesthetics
- Visual Distractions
- Increased Stopping
- Increased Turning
- More Lane Changes
- High Volume
- Disrupted Flow
- Multiple Signals



"Reduction in quality of life occurs one step at a time"

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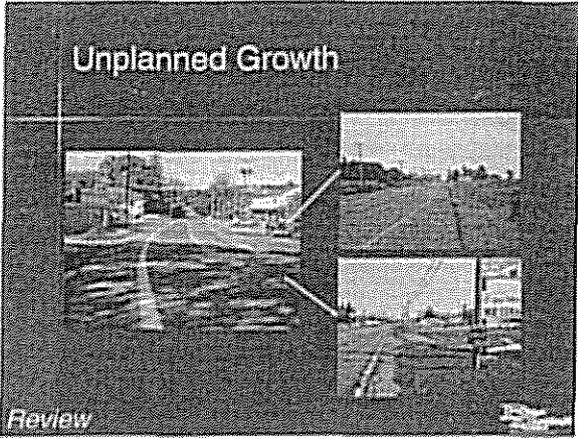
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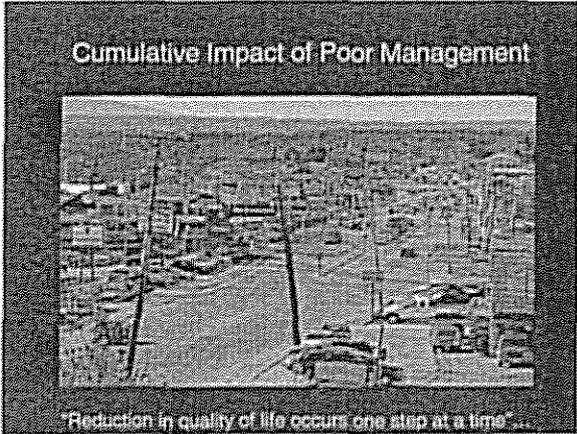
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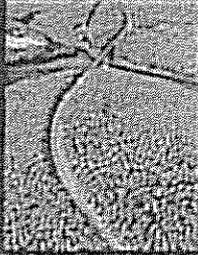
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### Commercial Impacts

Rural Road Before Commercial Development



- Rural Setting
- Few Distractions
- Few Stops
- No Turns
- Few Lane Changes
- Design Volume
- Design Flow
- No need for signals

"Reduction in quality of life occurs one step at a time"

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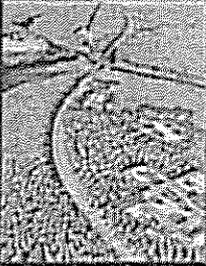
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### Community Planning

Rural Road After Planned Commercial Development



Mitigating Factors:

- Maintain Aesthetics
- Minimize Distractions
- Limit Stopping
- Reduce Turning
- Minimize Access
- Maximize Volume
- Maintain Flow & Function
- Minimal Signals Warranted

"Reduction in quality of life occurs one step at a time"....

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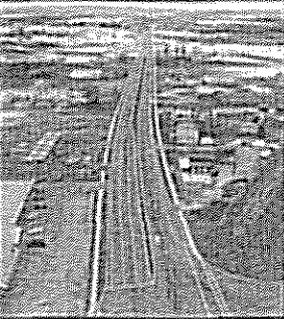
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### Corridor Trends for Success




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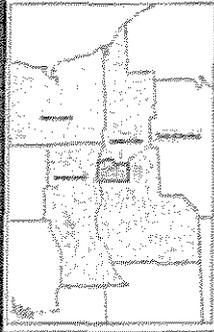
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## Context within the Region

### Look at the Big Picture

Your highway system is part of a larger highway system that includes all modes of transportation ranging from pedestrian routes to railroad and bus transportation



*Review*

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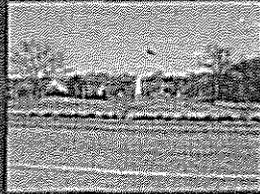
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## Encourage Good Design



Discourage this...

...Encourage this



*Review*

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Discourage this...

...Encourage this



*Review*

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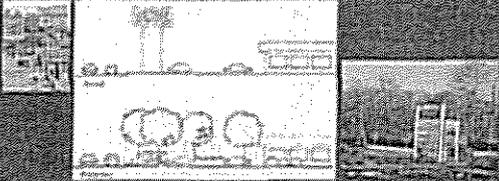
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### Encourage Good Design

Discourage this...



...Encourage this

Review

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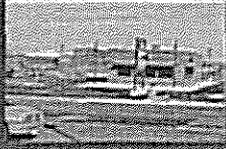
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### Implement the Intent of Your Plan

Do you want this?



...or this?



The Big Picture

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### Why Plan?

Why should you...

Concentrate Commercial Development?

The Big Picture

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### Factoids – Cost of Poor Planning

↔ Economic Benefit

11%	100%
10%	87%
25%	62%
40%	43%
50%	30%

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### Factoids – Cost of Poor Planning

Retail sales consistently perform higher in managed corridors

Iowa Access Management Projects

*The Big Picture*

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### Factoids – Cost of Poor Planning

- Retail Businesses on commercial strips LOSE most of the left hand turn CUSTOMERS as volume increases (Manlius).
- If you are not at a light you are out of luck.

*The Big Picture*

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### Factoids – Cost of Poor Planning

- Retail market share is lost as safety of the road decreases (Manlius).
- A 3 minute delay can increase shipping costs by up to 5 % (Major impact to Agriculture).

*The Big Picture*

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### Factoids – Cost of Poor Planning

- Unsafe conditions can force the State to buy or condemn property
- Your community may have to rely on others to treat waste and provide water
- WE ALL PAY FOR THAT

and keep in mind...

*The Big Picture*

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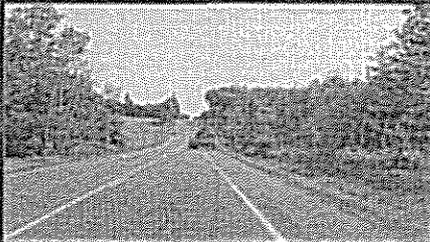
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### Impacts to Agriculture?



In many rural areas agricultural uses contend with heavy, high speed traffic. (There are some 50-60 vehicles lined up behind the photographer.)

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## What about Farming?

Based upon tax dollars, for every \$1.00 of service costs to taxpayers...

- Residential requires \$1.24
- Commercial requires .80
- Agriculture requires .30

Remember... Farming is business too!

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## Factoids – Cost of Poor Planning

- If you have created a transportation problem DOT may no longer take fiscal responsibility for correcting the problem.
- Could Towns be next?
- Town of Clay may be responsible for 30-60% of cost of Route 31 corrections.

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## Addressing Intersections



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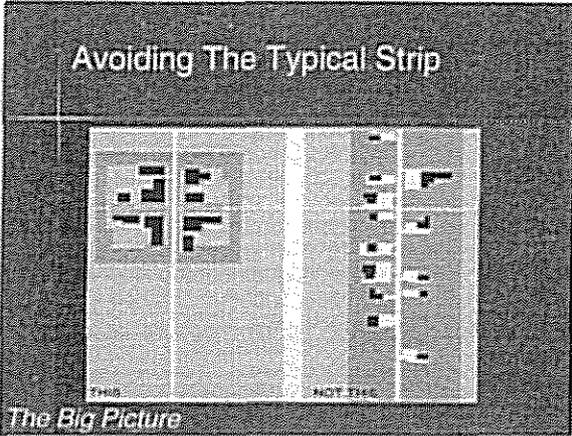
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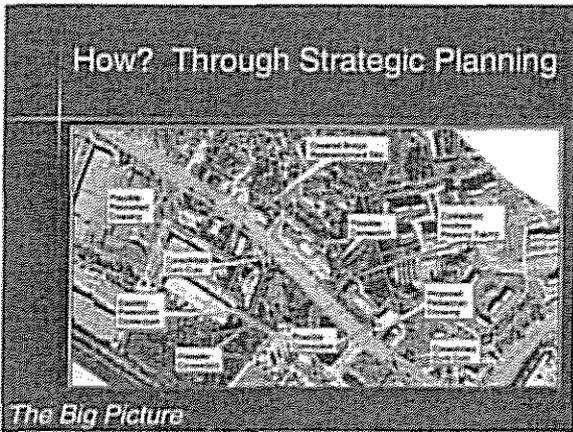
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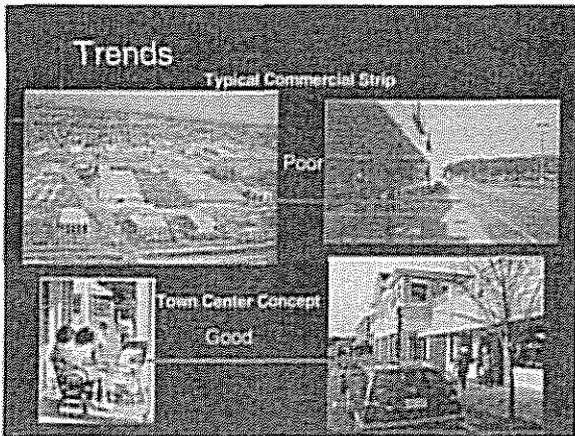
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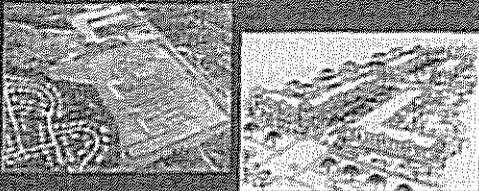
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### Mixed Use

Typical Suburban Shopping Center



Town Center / Gateway Concept

*The Big Picture*

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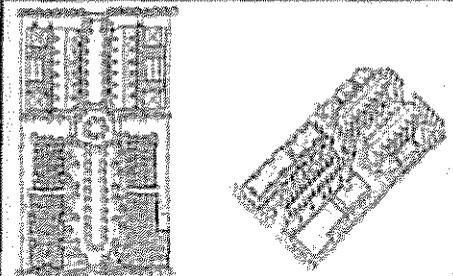
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### Human Scale



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### Quality Site Design



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### Pedestrianization

**Commercial Strip**  
 Nobody is going to voluntarily walk across this road.

**Town Center Concept**

Pedestrian environments invite people to walk and stay a while instead of getting back into the car and going home.

*The Big Picture*

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### Assimilated Parking and Retrofit

**Shopping Center surrounding by large expansive parking lot.**

**Existing shopping center with parking behind Future Out Parcel development along the road.**

*The Big Picture*

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### Buffering Parking and Pavement

**For Safety and Water Quality**

**Typical Parking lot**

**Landscaped Parking lot with Storm Water Control**

*The Big Picture*

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## The 3 C's of Success



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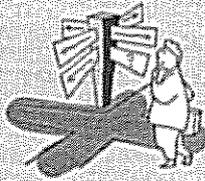
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## Interactive Discussion ?



We want your input....



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The experience to

# listen.

The power to

# solve.



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February 7, 2005

Dear Farmland Protection Supporter,

American Farmland Trust (AFT) needs your help in reaching out to members of the NYS Legislature to increase funding for New York's Farmland Protection (or Purchase of Development Rights) Program (FPP). The program was established in 1996 to protect viable farmland under threat from nonfarm development. Since then, it has distributed over \$68 million to towns and counties to protect farms across New York.

### **Current Budget Situation**

Last year, with the help of many individuals and organizations, we were able to convince the state legislature to increase FPP's funding from the \$8.5 million proposed by Governor Pataki to \$12.6 million in the final state budget. This year, Governor Pataki has proposed allocating \$15 million from the state's Environmental Protection Fund (EPF) for FPP.

Unfortunately, while the proposed funding is a substantial increase from last year's proposal by the governor and the final budget allocation, it is still significantly below the \$86 million in applications received by the program last year. As the enclosed map indicates, last year's applications included 121 farms covering 18,367 acres in 24 counties. This pool of applicants is the largest ever submitted to FPP and is consistent with the trend of growing interest in FPP around New York.

### **How You Can Help**

State legislators need to hear from farmers, land trusts, town supervisors, county governments, county farm bureaus, soil and water conservation districts, county agricultural and farmland protection boards and others that want to support New York farms and protect our state's critical agricultural resources.

Please consider calling or writing a letter to your state Assembly and Senate representatives urging them to increase FPP funding this year to \$20 million. Enclosed are a model letter as well as background information about FPP. You can find additional information by visiting AFT's webpage at: [http://www.farmland.org/northeast/newyork\\_policy.htm](http://www.farmland.org/northeast/newyork_policy.htm). There you can find:

- A Model Letter to State Legislators
- 2004 Farmland Protection Program Factsheet
- Map of 2004 FPP Applications
- A Graph Comparing FPP Requests vs. FPP Funding from 1996-2004

To find the name and contact information for your State Senator, go to: [www.senate.state.ny.us/sdl.html](http://www.senate.state.ny.us/sdl.html)

To find the name and contact information for your State Assemblymember, go to: [www.assembly.state.ny.us/mem/](http://www.assembly.state.ny.us/mem/)

**\*\*If you do send letters or emails, please send a copy to AFT so we can reiterate your message at our meetings with state legislators.**

*American Farmland Trust  
6 Franklin Square, Suite E  
Saratoga Springs, NY 12806*

Date

Name

Address

City, State Zip

Dear (Senator or Assemblymember)

I am writing to request your support in increasing funding for the state's Farmland Protection Program (FPP) to \$20 million. FPP provides grants to towns and counties interested in maintaining their quality of life and supporting local farms by permanently protecting farmland from development. Since 1996, FPP has provided roughly \$63 million in grants to communities across New York to help protect over 28,000 acres of productive farmland across the state.

FPP is increasingly attractive to New York farmers as it provides a financially competitive alternative to selling their farms for development. Farms can reinvest these funds in their farm businesses and create retirement funds among other alternatives. At the same time, New York communities benefit from the protection of scenic working farms that can provide fresh local food and wildlife habitat while protecting water quality and other natural resources. Farms also help support New York's rural economy and maintain lower property taxes by demanding fewer public services.

FPP is important to (the Town of \_\_\_\_\_, \_\_\_\_\_ County, etc.) because \_\_\_\_\_.

- Include local references about the importance of farms to your community.
- How can New York's Farmland Protection Program help you locally?
- Cite previous applications, proposed projects, local issues, etc.

While FPP offers tremendous benefits to New York farms and communities, the program is challenged by limited funding. Last year, FPP received over \$86 million in requests but had only \$12.6 million available in funding. The proposed 2005 Executive Budget would increase FPP funding to \$15 million. I encourage you to support increasing FPP funding to \$20 million and make an important investment in New York's farms and communities.

Thank you for your consideration.

Sincerely,



## NEW YORK'S FARMLAND PROTECTION PROGRAM 2004 Fact Sheet

### FARMLAND LOSS IN NEW YORK

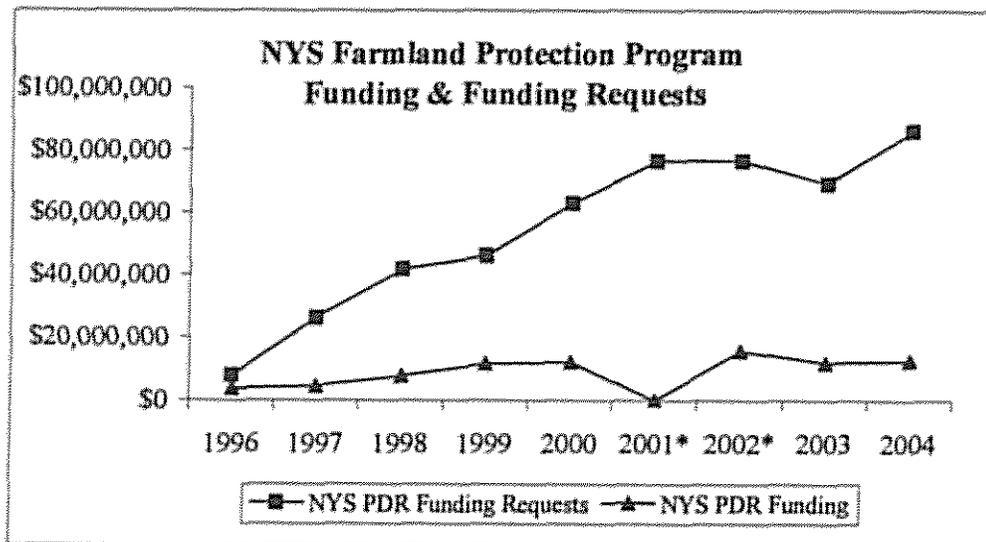
New York farmland is being developed at an alarming rate. According to the United States Department of Agriculture, almost 90,000 acres of prime farmland were developed in New York between 1992 and 1997. During that period, New York state ranked 13<sup>th</sup> in the nation in the amount of farmland developed.

### NEW YORK'S FARMLAND PROTECTION PROGRAM

In 1996, New York officials responded by establishing the state's Farmland Protection Program; which provides grants for eligible municipalities to purchase development rights on farmland. Purchase of development rights (PDR) is a voluntary farmland protection technique that pays farmland owners to permanently conserve their land for agriculture. Purchase of development rights places a deed restriction—known as a conservation easement—on the property. When farmland owners sell their development rights, they retain all other ownership rights and can continue to farm as they did before.

### GRANTS VS. REQUESTS

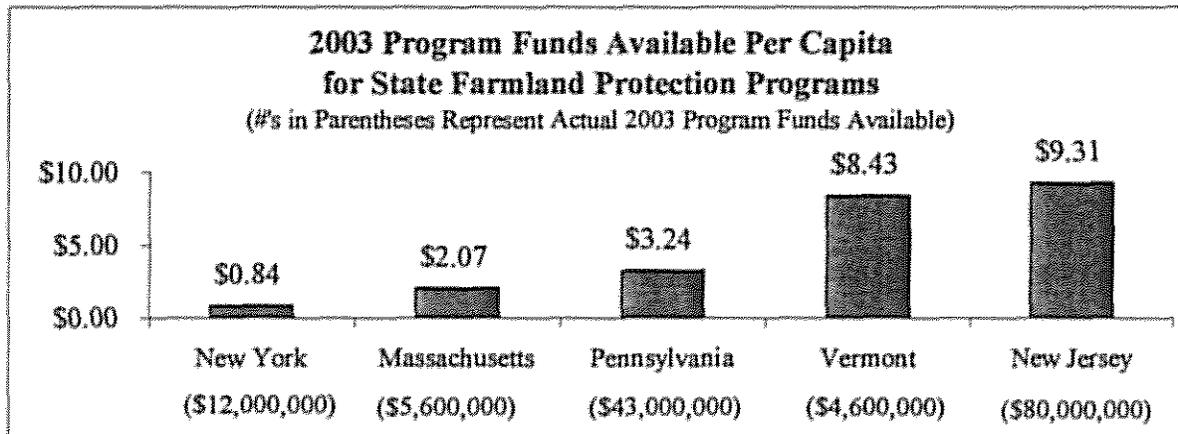
Between 1996 and 2003, seven rounds of farmland protection grants were awarded to counties and towns throughout New York, totaling \$68 million. Since the Farmland Protection Program's inception, competition for the state's limited funds has been intense. For example, in 2004 approximately \$12.6 million in grants were available, while requests exceeded \$86 million.



\*There was no funding for New York's Farmland Protection Program in 2001 causing 2001 grant requests to be carried over to 2002. In 2002, \$8 million was allocated for the Farmland Protection Program's annual budget with an additional \$8 million to offset the lack of 2001 funding.

## COMPARATIVE SPENDING LEVELS

When compared to the farmland protection spending of surrounding states, New York lags behind. As illustrated below, the 2003 per capita spending on purchase of development rights programs by New York and some of its neighbors.



## COMPLETING FUNDED PROJECTS

While funds allocated by state programs are important, the ultimate measure of success is in the number of farm properties and acres protected. Underneath is a comparison of actual state farmland protection program accomplishments as of January 2004.

State	Conservation Easements Acquired	Acres Protected
Massachusetts	602	52,716
New Jersey	1,044	119,136
New York	72	13,500
Pennsylvania	2,370	275,594
Vermont	352	105,000

New York's Farmland Protection Program is less mature than neighboring state programs, and it works in partnership with local governments—two differences that may account for some of the disparity. In order to make better progress in protecting New York farmland, the state will have to increase funding for projects as well as improve the program's capacity to complete funded projects.

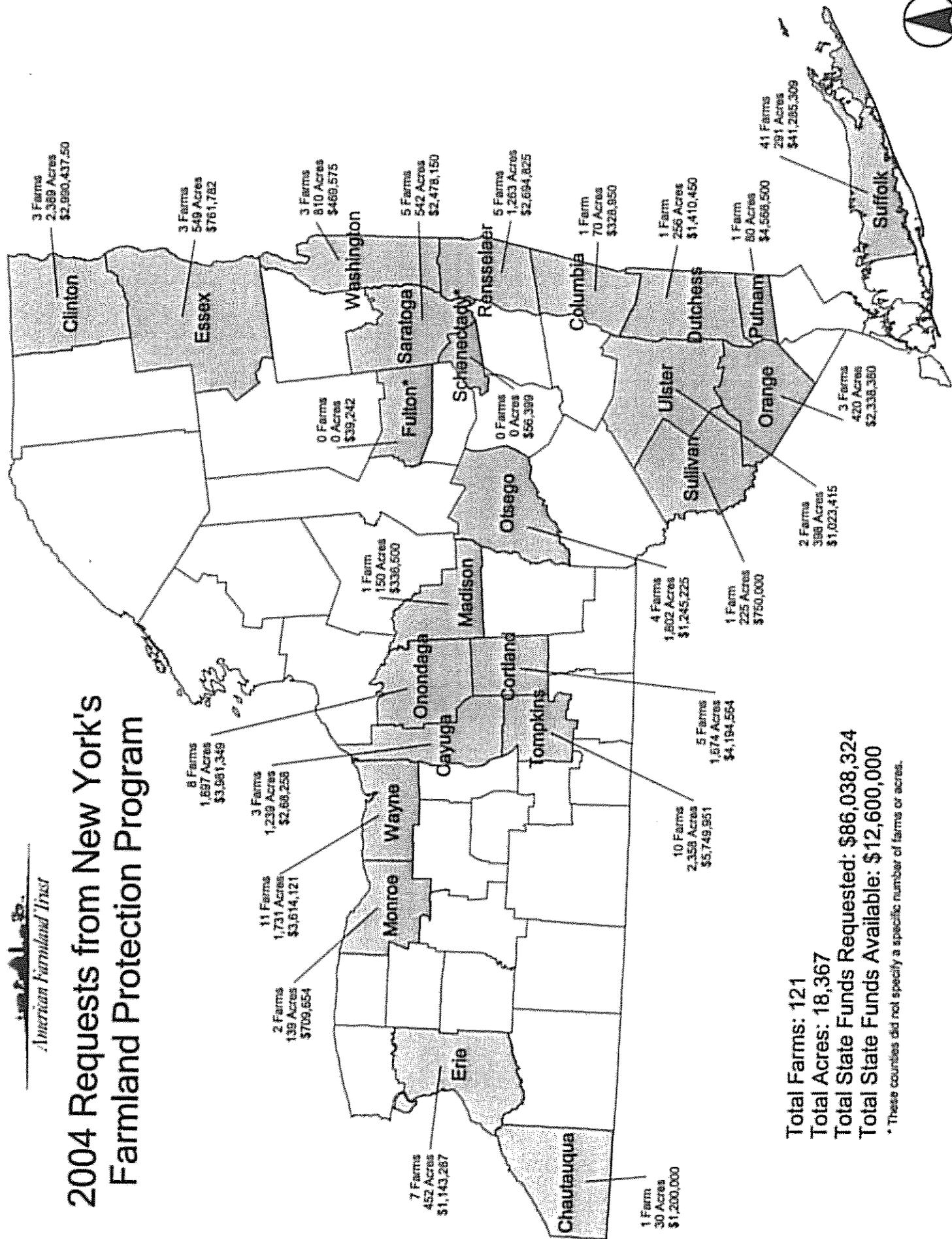
## CONCLUSION

Since its creation, New York's Farmland Protection Program has helped New York farmers and residents by:

- Protecting more than 28,000 acres of farmland across New York
- Leveraging over \$24 million of public and private money for farmland protection
- Increasing the viability of participating farm operations throughout the state
- Preserving important scenic, environmental and cultural resources

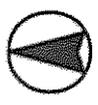
For New York to adequately address the growing threat that farms face from development, the state will have to make significant investments in the Farmland Protection Program. Such investments will leverage local and federal dollars to protect the state's productive farmland—insuring that farming remains an important part of New York's future.

# 2004 Requests from New York's Farmland Protection Program



**Total Farms: 121**  
**Total Acres: 18,367**  
**Total State Funds Requested: \$86,038,324**  
**Total State Funds Available: \$12,600,000**

\* These counties did not specify a specific number of farms or acres.





# County of Cayuga

Chairman of the Legislature  
Herbert D. Marshall

February 22, 2005

The Office of Local Government & Community Service  
NY State Department of State  
41 State Street, 9<sup>th</sup> Floor  
Albany, New York 12231-0001

Dear Officials:

The Town of Aurelius, New York is submitting a Quality Communities Grant application for \$50,000.00 to assist with funding for a Corridor Study and Comprehensive Plan. The Corridor Study is designed to address potential impacts to the Route 5/20 Clark Street Road Corridor due to spin-off growth resulting from a new Bass Pro Shop and improvements to the Fingerlakes Mall.

The Corridor Study is the catalyst for an update of the Town's 1970 Comprehensive Plan and improvements to the Town's approach to local planning. This is important to local residents in their effort to ensure that the future of agriculture and the quality of life for local residents is maintained for future generations.

The Town's Ad-Hoc Steering Committee is instrumental to the success of this project. The Committee is sponsoring ongoing public Visioning Sessions to maximize public input in formulating the future vision of the community. These sessions involve panel discussions with experts and agency officials in each of the planning categories. Panel guests include representatives from State and County agencies and officials from surrounding communities. To date, the committee has sponsored three public visioning sessions focusing on the Route 5/20 and Clark Street Road Corridor with two additional meetings scheduled for March and April of 2005 before moving on to the phase two Comprehensive Plan update.

This interaction between the public, State and local agencies and residents from the Town of Aurelius and the Village of Cayuga is an important component of the Quality Communities Program. This approach to establishing a long-range vision and developing strategic planning solutions is critical to providing quality of life to the community. This project clearly fits with the intent of the New York State Quality Community Initiative.

I applaud the Town's efforts to develop a Corridor Study and Comprehensive Plan. This worthy project will not only benefit the residents of the Town and Village, it will have a regional significance for the City of Auburn and the entire Fingerlakes Region.

It is with great pleasure that I support this Quality Communities grant application and the efforts of the Town of Aurelius and the Village of Cayuga to address these quality of life issues for the future of the community.

Sincerely,

  
Herbert Marshall, Chairman  
Cayuga County Legislature



## County of Cayuga

County Legislator, District #5  
Raymond E. Lockwood

February 22, 2005

To Whom It May Concern:

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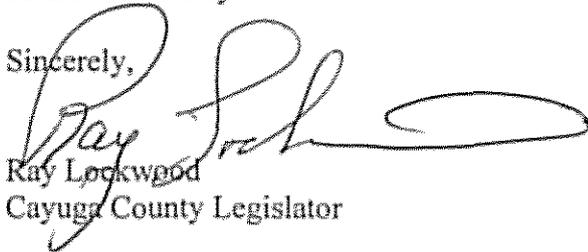
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It is with great pleasure that I support this Quality Communities grant application and the efforts of the Town of Aurelius and the Village of Cayuga to address these quality of life issues for the future of the community.

Sincerely,

  
Ray Lockwood  
Cayuga County Legislator

THE ASSEMBLY  
STATE OF NEW YORK  
ALBANY

CHAIRMAN  
Minority Program Committee  
RANKING MINORITY MEMBER  
Energy Committee

COMMITTEES  
Higher Education  
Tourism, Arts, and Sports Development  
Labor



BRIAN M. KOLB  
Assemblyman 129<sup>th</sup> District  
Cayuga, Cortland, Onondaga,  
Ontario and Seneca Counties

February 22, 2005

Deputy Secretary Dottie Harris  
The Office of Local Government & Community Service  
NY State Department of State  
41 State St - 9th Floor  
Albany, NY 12231-0001

Dear Deputy Secretary Harris:

I am writing to you today to express my support for the Town of Aurelius in their grant application for \$ 50,000 through Quality Communities Grant to assist with funding for a Corridor Study and Comprehensive Plan. The Corridor Study is designed to address potential impacts to the Route 5/20 Clark Street Road Corridor due to spin-off growth resulting from a new Bass Pro Shop and improvements to the Finger Lakes Mall.

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I applaud the Town's efforts to develop a Corridor Study and Comprehensive Plan. This worthy project will not only benefit the residents of the Town and Village, it will have a regional significance for the City of Auburn and the entire Finger Lakes Region.

It is with great pleasure that I support this Quality Communities grant application and the efforts of the Town of Aurelius and the Village of Cayuga to address these quality of life issues for the future of the community.

This is definitely a worthwhile endeavor and I give it my wholehearted support. If I can be of any further assistance, please do not hesitate to contact my district office in Geneva.

Sincerely,



**Brian M. Kolb**  
**Member of Assembly**  
**129<sup>th</sup> Assembly District**

BMK/def

Town of Aurelius - Ad Hoc Committee Workshop  
Follow-up to February 8, 2005 Visioning Session

Agenda  
Tuesday February 22, 2005  
7:00 p.m.  
Town of Aurelius Municipal Building

*The purpose of this meeting is to review the February Visioning Session; to formulate some consensus as to our future direction and to discuss the format of next session.*

7:00-7:15 p.m. Review of public comment from the February 8, 2005 meeting

A brief overview of the 2/8/05, meeting will take place.

7:15 - 8:15 p.m. Working Session

Based upon comments and recommendations provided to the Committee, a discussion leading to project will take place.

8:15 - 8:30 p.m. March 8, 2005 Visioning Session

Format of the March 8, Visioning Session

**Town of Aurelius**  
**February 22, 2005**  
**Ad Hoc Committee Workshop**  
**Follow up to 2/8/05 Visioning Session**

Present: Jim Taber, Mark Harris, John Greer, Jerry Scouten, Don Huber, Brian Madigan, Chad Hayden, Bernard Watkins. Co-chair: Mark Harris and Jim Taber

Excused: Stephanie Church, Ted Herrling, Mary Gratton, John Lawler

Part One – Open to the public (none present)

Part Two – Working Session, try to come up with corridor

Summary: Bill Carpenter (Pittsford Supervisor), Bengie Matten (Regional Planning) and Gina Speno (Fingerlakes Mall).

Jim Taber – My biggest concern is red snake and traffic flow patterns. My question? To change red snake, we'd have to amend zoning law.

John Greer – We have to change our zoning laws because we don't allow for manufacturing.

Mark – What do you think John?

John Greer – What I think for all the commercial development that is in that red snake area, it will always be pre-existing, non-conforming so if we made a mistake we should pull it back.

Jim – But I see both sides.

Brian – What we now have is suburban growth not population growth. Used Lysander as an example – they decided not to grant zoning changes unless the developer paid for it.

John Greer – Talked about value of 5 & 20 red snake, the Town of Owasco – similar to us with lake front, and Ag, and hardly any commercial. 38% of their budget is from sales tax and we get 21%.

Chad – What does that mean? It's not a sustainable model.

Brian – As they get more residential growth, compare – the Town of Onondaga – short term spurt in tax base.

John Greer – Our school district. It cost \$11,000 to educate a child if the average house has 2 kids. \$22,000 picked up by the rest of the state.

Don Huber – The presentation was great but the information from Bengie and Bill opened my eyes. I thought we were growing.

Brain – Basically most of the towns surrounding cities are being choked, demographics are changing. Supply and demand – if you zone too much commercial that is bad. Keep zone attractive and compact to attract developers. You have households with 3 plus cars, 2 plus kids, Mom and kids in one place.

Mark – Common themes – want to see rural characteristics preserved – does that deter growth? If the vision is to remain rural - than no growth is a good thing.

Don – So we need to have something to go on.

John – Build out? What is feasible for commercial growth right now?

Brian – Has a map.

Jerry – DOT will not touch the road past Half Acre.

Brian – Flare it out at intersection, no long term plans.

Jerry – Long term 5 years out.

Chad – Can we ask for a new traffic count?

Brian – Some of the info received from the Traffic Study will be provided at the next session.

Chad – Pre Bass Pro?

Brian – DOT knows it has increased and hoping future developers will provide. Slight increase in traffic growth in last 10 years.

Chad – What would the impact be on Ag if we continue out 5 & 20?

Brian – 5 % increase in transportation costs – for a small time farmer, would be hurt ( a 3 minute delay would increase costs by 5%). Strip growth to manage growth areas. Marginal access, rear access, cross access roads.

Barnard – If you start getting an increase in traffic it might be detrimental to farmers, they could be ticketed.

Mark – Echo Don – use of flip chart was good overall more public input.

Don – Unfortunately the least amount of people, too bad, a lot of good input.

Mark – Very good input, although I think some was over my head!

Brian – People tend to go to the first few, and then they loose interest.

Don – Possibly modify the ad to explain more.

Mark – Any other comments?

Part Two:

Brian – Want to focus on draft goal and overlay – takes existing zonings and adds additional requirements.

Jerry – Cleanest way to do it.

Brian – From planning standpoint, take it East to Half Acre.

Jerry – If we eliminate commercial zoning out there can we still have an overlay>

Brian – DOT would jump for joy – you kind of have a residential unit so you can have traffic impact, encourage developers to build their own secondary road system.

Mark – Where are we heading?

- 1) Limit curb cuts.
- 2) What do we do with red worm?
  - a) – Reel it in.
  - b) Leave it alone – put in aggressive overlays.
  - c) No action alternative under SEQR – not recommended.

Jim – Some bought property looking to develop commercial, Bill Carpenter said Town Boards are not in the business to make people make money. It's to protect the health and safety of the public.

Brian – Showed the Ag districts.

Mark – Are we in a position to make a recommendation?

Jerry – How about putting it to an informal agreement? ( Don - #2-b, Jim - #2-b ) It will limit design, set back and curb cuts – not use. Question. Do you see the impact of potential commercial development and loss of Ag?

John – First, I think we said not to have another Grant Ave.

Mark and M. – DOT has no intention of doing anything and if they do we might have to foot the bill.

Jerry – What happens if they don't have 400 ft. of frontage?

Mark – Arguments to support:

- #1 to move back would preserve rural characteristics
- #2 will maintain the function of the arterial
- #3 reduce long term costs of water and sewer

John – PDD should be gone.

Brian – PDD has its advantages because you have residential areas by the Mall that need to be looked at.

Don – Move forward.

Straw Vote:

- #1 contain commercial East of Half Acre and keep overlay
- #2 allow overlay to control physical design West of Half Acre – leave as is
- #3 do nothing, no action, thru SEQR not recommended

Discussion about measles effect (?) – piece meal effect.

Brian – Town has to amend the zoning eventually. Go to summary Recommended Objectives.

Chad – Are we inventing the problems?

Brian – Are we developing land use strategies? The inventory of traffic and land use is being done.

Chad – The study will identify the problems.

Mark – I imagine we'll get recommendations to deal with problems.

Brian – Looking to put together a guide book for site plan. DOT mandating planned energy reduction and pedestrian safety. Discussion. Next session March 8, 2005, similar in layout. More talk on Ag, residential and cluster residential development, open space planning. Looking for someone of SCS, Ag and Markets. First half hour is corridor related, and open to whole town.

Mark – Need to clarify in ads.

Questions about changing zoning. We are considering reeling it in but no definites yet. This is a recommendation only.

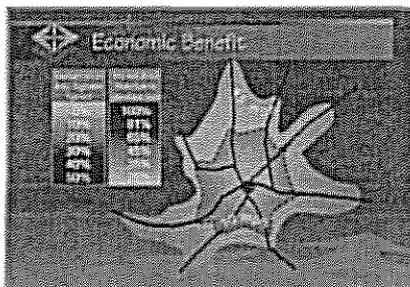
Meeting ended at 8:55 pm.

Town of Aurelius Route 5/20 Clark Street Rd. Study  
Commercial and Industrial Planning Visioning Session No. 3  
Public Statements for Consideration  
February 8, 2005 - Town of Aurelius Fire Department  
7:00 P.M. to 9:00 P.M.

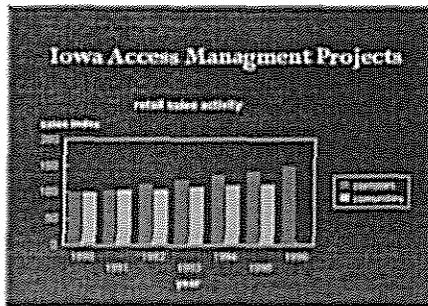
On February 8, 2005, the Town of Aurelius Ad-Hoc Committee (Ad-Hoc Committee) held a Visioning Session. The purpose of this session was to solicit public participation and gain public input with respect to Commercial and Industrial development adjacent to the Route 5/20 and Clark Street Road Corridor.

The meeting began with an introduction by Ted Herrling Chair of the Ad-Hoc Steering Committee. He welcomed three panel guests and Brian Madigan from Barton and Loguidice, P.C. Brian began the session with a brief slide presentation. The presentation provided a short review of the previous Visioning Sessions.

Following the review, Brian stated that a discussion at the follow-up session revolved around the costs associated with poor planning. Brian had the opportunity to discuss the groups concerns with Steven Munson of New York State Department of Transportation (NYSDOT) who is known as an expert in Transportation Corridor studies. Mr. Munson provided information with respect to the long-term costs associated with strip development (Commercial and Industrial). These facts are in addition to the highway function, safety and aesthetic considerations discussed at the January Visioning Session. Some of the facts include:



- Market area is lost as the average speed of the highway system is reduced by loss in highway function.

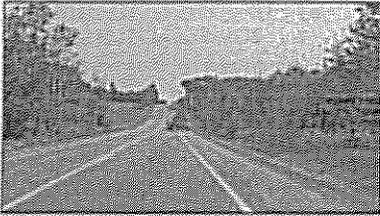


- According to research performed by the State of Iowa Department of Transportation, retail sales in managed highway corridors consistently outperform sales in unmanaged corridors.



- According to a corridor study performed by NYSDOT in the Village of Manlius (a typical commercial strip), businesses requiring left hand turns that are blocked by the constant stacking up of traffic lost a large portion of their market as volume exceeds the capacity of the highway. In fact, business dropped during periods when the greatest numbers of potential customers were exposed to their stores. Motorists were found to have a short level of tolerance for waiting to make a left hand turn and would continue past their stores rather than wait for traffic.
- NYSDOT found that retail market share is lost as the perceived safety of the road increases. Many people will opt to shop somewhere else rather than take a perceived risk and some age groups are more likely to avoid potentially unsafe highway conditions.
- A three-minute delay can increase shipping and transportation costs for delivery and distribution of up to three percent. For example, if a trucking business has 10 vehicles that make daily trips per day this would amount to a total of 60 minutes per day (10 vehicles x Trip and return = 6 minutes per vehicle = 60 minutes per day). Over the course of a week, this amounts to a delay of 5 hours

per week or 260 hours in a given year. These costs are particularly hard on farmers who produce crops or dairy because of their relatively low profit margins



- An increase in driveways and strip development can interrupt farming operations by segmenting a farmer's access to cropland.
- Unsafe conditions can force the NYSDOT (i.e.State taxpayers) to purchase land or condemn property to take corrective action.

Finally yet importantly, NYSDOT is beginning to consider a policy requiring communities to share in the cost of correcting highway problems caused by poor planning. For example, NYSDOT estimates that the Town of Clay is responsible for 30% to 60% of the costs associated with corrective actions taken on Route 31. This policy, once adopted, could require local municipalities to share the cost of correcting safety problems due to poor planning (or lack of planning).

Brian's presentation went on to discuss some of the current trends relevant to commercial and industrial development. These trends include:

- Associating commercial and industrial development with marginal access, reverse access and cross access, (local road systems).
- Addressing intersections so that pedestrians can cross the street safely.
- Clustering commercial areas rather than locating them along a strip.
- Strategic planning within the context of surrounding environs and neighborhoods.
- Developing a Town Center or Gateway Concept to commercial areas.
- Providing for a mix of uses and diversity within commercial areas (including residential and service oriented business within retail complexes).

- Developing to human scale so that people can relate to the size and design of buildings and spaces.
- Utilizing quality design to attract more successful types of commercial development (i.e. medical, high tech. etc.).
- Developing commercial areas that are pedestrian friendly so that people can get out of their cars and walk instead of driving from store to store.
- Assimilating out parcels and retrofitting older outdated styles of development including malls and vast shopping areas.
- Buffering parking and developing in a way that minimizes pollutants to surface and groundwater.
- Developing a sense of place by addressing the context of the development, compatibility within the surrounding area and connectivity to other businesses, neighborhoods and communities.

The presentation was followed by a lengthy discussion between panel guests and the public. Three panel guests were present to provide insight based upon their background and experience. The guests included:

- Bill Carpenter, Supervisor of the Town of Pittsford
- Benjy Manton, Central New York Regional Planning Board
- Gina Speno, General Manager of Fingerlakes Mall

The summary of public issues and comments are as follows:

- This new growth is positive and we need new business in the area.
- (Benjy) It is important to look at your demographics and the limitations of the water and sewer infrastructure.

- (Bill) Your planning must begin with your vision. What does your community want and how can the planning process achieve your vision?
- You want to have a mix of commercial development, even consider mixing in some residential so that there is a local population base that will frequent the businesses and services.
- How do you handle signs? (Bill) We established design guidelines for Pittsford and we enforce them. It is hard to control some things like ads in windows, but you can control signs along roads and on buildings.
- This Town has many rural assets that we want to keep. The rural quality is important to me.
- (Benjy) You have to look at demographics too. Since 1980, the Town the population has decrease by 1%. Your population is stagnant.
- How can we reel in the strip that our zoning has created, how can we avoid it? (Bill) You have to have a Vision for how you want the community to look and feel and then tailor your plan and zoning to achieve the vision.
- Disinvestment occurs in a community when you do not pay attention to your zoning and just let things happen.
- Pittsford has a PDR program. Does that run along your corridors? (Bill) No, we looked at the most important farmland. We wanted to protect open space and our highways were a secondary consideration.
- (Benjy) Your current zoning will affect agriculture. You do not want to undermine your agriculture and rural assets. This can lower your property values in the end.
- (Bill) Your plans' strength must come from your vision. It is your community vision that will drive the planning process and ultimately your success.
- (Benjy) You must be careful with your water and sewer because you can expose areas to development that you do not want to develop and create a long-term problem. Once you open the door, it is hard to close it.
- The problem with commercial is that once it comes in people move out. They will move further west to get away from it. (Brian) As residential moves away, it creates a situation where the commercial will follow it. These businesses are highly mobile and will move if it meets their profitability.

- What about mixed uses, we could have mixed uses in the commercial area. We have a hotel proposed, that is a residential use.
- (Gina Speno) Retail is moving toward more of the downtown concept. In fact, we actually have a form of zoning in our mall. When businesses come in, they have guidelines that they must follow. The new trend is lifestyle centers where people work, shop and live including places for seniors.
- (Gina Speno) We are under a lot of stress to convince businesses to locate here. In past years, they have not been convinced that it will be a good move. Demographics are number one in the retail business and it is a hard sell to companies especially when they are from places like Atlanta. This is an opportunity to bring them in. We have not had this opportunity in a long time and we need to look at it.
- Nevertheless, people are tending to move away from the commercial area.
- (Benjy) Remember your vision. You have to determine how much commercial and industrial development you need. How much land do you need for commercial and industrial development?
- (Bill) You have to have a plan for that. How much you want is based upon your vision and your plan follows your vision.
- How can we move the "red worm" back (referring to the linear portion of the commercial district).
- We want to move the red line back and keep that portion of the Town rural. I feel that we should concentrate the commercial development.
- However, we have to have jobs too.
- (Bill) What you are really talking about here is Quality of Life. Where do you want to live, raise your children, send them to school, provide for recreation and rural quality.
- One of the things we have to consider is that we have a few small businesses west of Half Acre Road. These are our friends and we do not want to hurt people that we know.
- (Benjy and Bill) Those businesses would be grandfathered and there are ways to allow them to continue as a non-conforming use either through size, land use etc.

- There is a vocal group that feels that the zoning should not be changed.
- Is there any way to explore "like-kind" exchanges to balance the value to the landowners who may lose commercial viability.
- (Bill) You would have to know if they are really benefiting from owning land in the commercial district. Is it as valuable as they think it is? Without water and sewer?
- You must be in keeping with the VISION.
- (Gina) What we have to realize is that this opportunity at the mall is here and now and the demand may not exist two years from now. Right now, people are interested and Bass Pro has helped pique interest but it may not last.
- (Gina) The opportunity is there and you need to take a good look at it.
- (Benjy) It is important to have a plan to maintain the shift to the suburbs. What happens is; as people move out of the city and older suburbs they create demand for infrastructure. The old areas have excess capacity while the new areas do not have enough. You want to be efficient with your infrastructure.
- (Brian) In many areas, suburban development is outpacing the rate of population growth by five-15 times, as people move from cities and older suburbs to rural areas on the fringe.
- I like the rural aspects of the Town and we should preserve the rural nature of the Town.
- I think we should concentrate the commercial development around the mall.
- Can we rezone commercial to Residential / Agricultural.
- (Bill) In Pittsford, the major difference between the Village and Town is the front porch and the separate garage. With an attached garage people drive their car into that hole and disappear. This reduces community interaction.
- (Bill) Tax differences and tax base are always discussed. People perceive that the more you develop the more land value increases. I have had people come in and tell me how much their convenience store is going to improve my tax base. I tell them that they are going to cost me money because of their location. They will be affecting the people around them and their quality of life. When I think of a convenience store, I think of a store that is convenient, not a stop and go.

- (Bill Benji) Sound planning not only attracts people it increases land values. I have people who want to come in and want to live here.
- Agriculture also helps land values because people want open space.
- (Brian) Actually, we find that when people locate near agriculture, the properties that are developed next to farmland become the most valuable properties. This is called the golf course effect.
- As you continue to plan for commercial and industrial development, you have to be careful of geology and groundwater.
- You have to talk about groundwater. One quart of oil can pollute a large area of groundwater.
- (Benjy) You will have to start to look at suitability for development in the Town. This is something that is part of your natural resource assessment. What areas are suitable for development? What areas are not? Where are the soils poor for septic systems or too steep for housing?
- (Benjy) Some towns will zone for a 5 acre lot size in agricultural areas because they think that 5 acres is out of reach for most people, but we are finding that this is not the case and five acre lots will not protect agriculture.
- (Brian) My experience with agricultural practice and TDR reveals that you really need at least 15 acres for a parcel to be viable for farmland.
- We should consider our retirement population, what about housing close to commercial areas for people who cannot keep up a home or piece of property. Can that be provided in this commercial area?
- (Brian) what about the potential for condominiums or apartments. These can provide affordable living accommodations.

Brian asked if there were any final comments or if anyone has any further ideas about the vision for the community for the next 20-30 or even 50 years. There was one final comment. "I want the Hoskins Farm to be there."

Based upon the results of Visioning Session # 3 and our discussions to date, the following potential planning objectives are set forth as follows:

Recommended Commercial and Industrial Planning Goal:

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high density  
residential,

The Town of Aurelius will encourage the development of a concentrated and cohesive commercial and industrial core adjacent to the corridor near the City of Auburn that provides a mix of land uses and economic opportunity in close proximity to existing community infrastructure.

Recommended Objectives:

Encourage the development of a Town Center and Gateway Concept within an internal circulation system using the Route 5/20 arterial as the primary access to the center.

Encourage development that fits in with the context of surrounding environs, is compatible with adjoining land use and provides connectivity with the surrounding community.

Establish and pursue an internal road system at a schedule matching the rate of future development including multimodal connectivity within the commercial and industrial area east of Half Acre Road.

Plan for and establish a system of connecting multi-modal routes to the surrounding community and the City of Auburn.

buses, bikes, cars, trucks  
ice tea?

Promote commercial development in a manner that does not conflict with the pursuit of farming or interrupt agricultural infrastructure.

Work with Fingerlakes Mall complex to establish a central anchor to existing and proposed commercial interests in the area.

Work with management of the Fingerlakes Mall and local business interests to ensure that the sustained viability and vitality of the Towns commercial core continues to the project horizon.

Work with management of local businesses to identify and actively recruit needed services and businesses that will enhance the commercial core as a unique location to work, shop and recreate.

Work with development interests to ensure that the Towns commercial core contains a mix of retail, commercial and service oriented businesses and incorporates the life center concept into the physical planning of future projects.

Recommendations for Commercial and Industrial Planning Strategy:

*Based on feedback from town meeting*

- The Ad Hoc Committee should make a determination of the nature and extent of the future commercial and industrial district of the Town for the next 20 to 50 years.
- A conceptual master plan for the concentration of the commercial should be adopted as general policy based upon the sketch plan provided to the committee. This master plan shows the conceptual layout of future roads as time allows for future cycles of growth.
- The town should adopt design guidelines that ensure that new commercial and industrial projects are developed in harmony with the best of existing commercial businesses.
- Require developers to solve the interrelationships between sites through the PDD process by evaluating:
  - Traffic patterns
  - Open space connections
  - Routes for bicyclists and pedestrians
  - Transit
  - Visual and aesthetic impacts
  - Links to housing and recreation for employees, clients, tourists and the resident population and the connectivity to the City of Auburn

- Enforce environmental protection requirements, parking, circulation, accepted pedestrian access standards.
- Encourage new development to take place in a manner that preserves and takes advantage of natural features.
- Require new development to conceal, break up and buffer parking areas within the context of a Town Center.
- Provide for flexibility in parking requirements to ensure that lots are not oversized or undersized to accommodate the intended use.
- Require architectural quality and compatibility that fits the community and reject the "anywhere USA" style of architecture.
- Require that buildings in high density be placed closest to the street rather than front yard parking.
- Require walkways linked to parking lots, transit stops, buildings and adjacent properties and coordinate with busing and transit.
- Require landscaping and street tree standards for commercial and industrial areas.
- Require human scale and amenities with respect to architectural and site design.
- Encourage commercial and industrial sites to be designed as, and connect to, public spaces and include benches walkways courtyards, etc.
- Develop sign standards that limit and concentrate signs and coordinate styles and materials to reflect a cohesive appearance.
- Incorporate all of these objectives into an illustrated "*Design Guidebook*" tailored to the appearance preferences and vision of the community.

- Build in flexibility to meet the needs of specific projects while requiring them to be compatible with community vision.
- Make the proposed *Design Guidebook* widely available to local residents, potential developers and design professionals throughout the region.

Based upon this session we have compiled the goal for Commercial and Industrial development in the Corridor Study area and associated objectives for consideration by the Ad-Hoc Committee in draft form. The recommendations should be considered among committee members as we move forward in the planning process.

These recommendations should be confidential until we have gained consensus among the group as to how to proceed.



**Please sign your name, address**  
**and phone number.**

**Aurelius Ad Hoc Visioning**  
**Session**  
**March 8, 2005**

NAME	ADDRESS	PHONE
<i>Greg Leaf</i>	6525 Basswood Rd	252 6600
<i>Walt H</i>	6379 Basswood Rd	258-0066
JOAN & SUSZANNE LAMASTER	1276 Clark St Road	255-1329
JOE FOSTER	Limekiln Rd	255-1329
Ron Christen	6369 Nat'l Ave Rd	252-7561
Fred & Judy Coll	<sup>techyes@interact.us</sup> 6505 Beechtree Rd	258-0522
Thon Erickson	208 HANFORD RD CUYUGA	253-2827
DICK STARK	1952 W. GENESSEE ST RD	252-1801
Hany Cunningham	987 Chamberlain rd	315 251 8969
Bernice Cunningham	989 Chamberlain Rd	252 8969
Dale Ottosen	1538 Clark St Rd 545 Turnpike Rd	252-0536
Key Ottosa	1290 CHAMBERLAIN RD Aurora NY 13021	252-0652
Robert Church	6415 Short Rd.	252-6182
Pete Chappell	170 Turnpike Rd EN	772 0667
Mark Harris	6317 Tawna Rd Cuyuga	253-5326
Stephanie Church	6415 Short Rd	252-6182

NAME	ADDRESS	PHONE
Tom Furbur	39 E. Buckhead Cir	
Barb Quinn	6765 Beaumont Rd	
Mark Bond	6876 Bosswold Rd	
John Green	6194 Lake St Cayuga NY 13024	
Barbara	6704 Birch Tree Road	
Michael Burdless	1415 W. Genesee St. Rd	
Avery & Kim Rodak	1512 Clark St Rd.	
Stanley Fobanus	1288 Clark St Rd	
Bill Healy	PO Box 86 Union Springs	
Dan Gellard	Clark St Rd	

## Visual Preference Meeting

Draft  
594.012  
BKM  
12/08/04

Name	Address	E-Mail
Don Huber	39 Elmerest Cir.	Cengrading.com
Judy S. Coll	6505 Beech Tree Rd Auburn	
Fred Coll	6505 Beech Tree Rd Auburn	
Doug Wayne	1501 Clark St. Rd.	
✓ Michael Montagna	1678 Clark St. Rd. Miertool	Mmontagna@miertoo.com 253-3412
Christy Bass	6460 Cayuga Rd.	
G. Judith Brown	2092 W. Genesee St. Rd.	
Larry Brown	2092 W. Genesee St. Rd.	
Ken Portus	5173 Plaster Pain Cayuga	
Mike Dautrich	480 Turnpike Rd. Cayuga	
John Lawler	1063 Clark St. Rd. Auburn	lawler@baldcom.net
✓ Ron Chretien	6369 Half Acre Rd. Auburn	252-7561
Bob Church	6415 Short Rd. Auburn NY	Robert.Church@???.com
Ted O'Hara	1290 Chambelari Rd. Auburn	

✓ Mike Burtless

252-7048

Town of Aurelius Comprehensive Plan

Agenda

Tuesday March 8, 2005 7:00 p.m.

Town of Aurelius Fire Department

Agricultural, Residential and Open Space Planning Visioning Session

The purpose of this session is to solicit public participation and gain public input with respect to the future of agriculture and residential development in the community.

I. Introduction

A. Introductory Presentation

- a. Brief Review of Previous Meetings (three slides)
- b. Trends in Residential Development
- c. Conflict between unplanned growth, agriculture and open space

B. Introduction of Panel Guests

Dan Conable - New York State Department of Agriculture and Markets  
(Tentative)

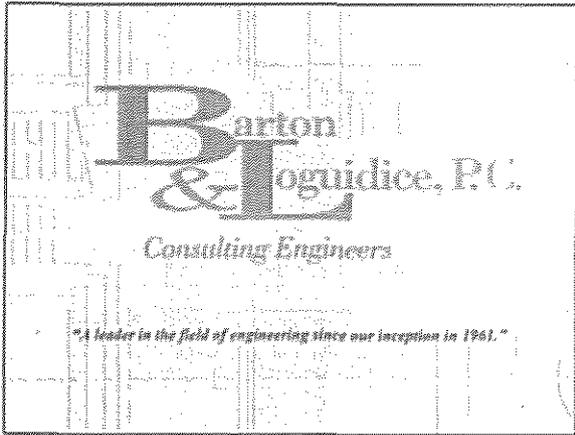
Judy Wright - American Farmland Trust  
(Confirmed)

Maria Rudzinski - Ontario County Department of Planning  
(Tentative)

II. Interactive Panel Discussion and Public Visioning (open forum)

III. Closing





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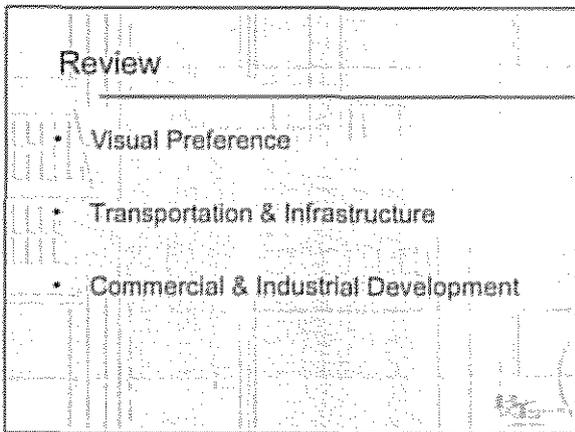
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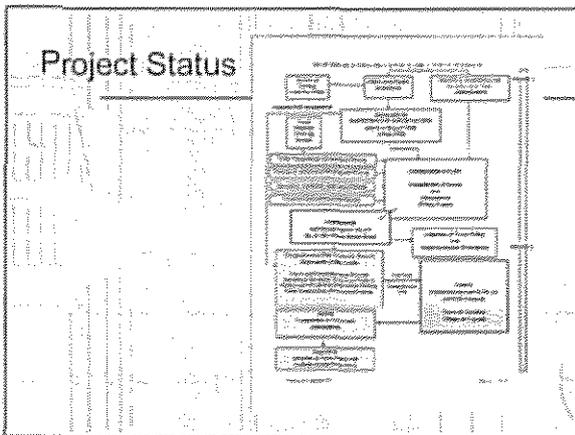
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**Overview**

- Residential Development
- Planning Trends
- Preserving Agriculture
- Open Space Planning

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**Arterial / Major Collector Clutter**

Maintain Your Intent

*What to Avoid*

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**Implement the Intent of Your Plan**

Maintain Your Intent

*What to Encourage*

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**Residential Development**

- Land Intensive
- Costly to Services
- Can Impact all Planning Elements
- Can be less intensive but not always

*Trends*

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**Suburban & Ex-urban Growth**

- Historically Low Mortgage Interest Rates
- Loss of Stocks – Safe Investment
- Larger More Expensive Homes
- Further out in the Country
- Vacation Homes

*Trends*

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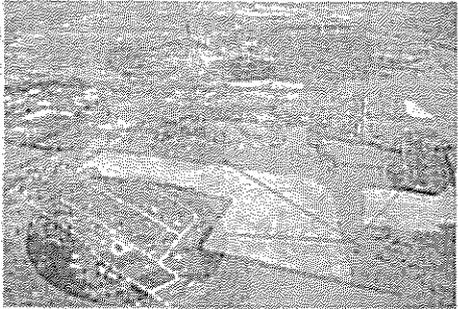
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**Suburban & Ex-urban Growth**



*Trends*

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## Trends in Residential Development

- Out Migration from Urban Areas
- Out Migration from Older Suburbs
- Ex-urban Quality of Life
- Waterfront and Open Space

Trends

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## Cost of Residential Services

Based upon tax dollars, for every  
\$1.00 of service costs to taxpayers...

- Residential requires \$1.24
- Commercial requires .80
- Agriculture requires .30

Trends

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## Residential Facts

- Residential Growth is 5 to 15 x Population Growth
- Many Suburban & Ex-urban Areas are Growing when Local Population is Declining
- Rural Communities Struggling to Provide Services
- Agriculture is a Major Victim (Natural Resources)

Trends

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### Residential vs. Agriculture

- Homes and Farms Compete for the Same Land
- Good Soil Bearing Capacity
- Better for On-Site Waste Disposal
- Better Drained
- Flatter Topography (Slopes < 15%)

*Trends*

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### Residential vs. Agriculture

- Lure of Old Farms and Open Space
- Loss of Agricultural Infrastructure
- Suburbs bring Suburbs to the County
- Cayuga is Losing Agriculture at a Fast Pace
- Farming Requires more Land to be Profitable

*Trends*

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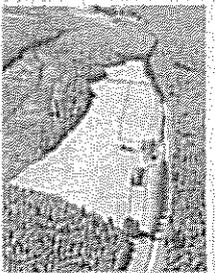
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### Residential Impacts

Rural Road Before Residential Development



- Rural Setting
- Open Farmland
- Local Traffic
- Low Traffic Volume
- Low Human Impacts

Source: Changing with Change in the Residential Road (1996)

"Reduction in quality of life occurs one step at a time"

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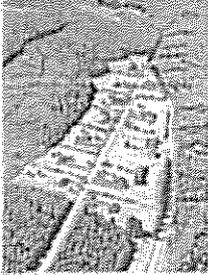
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## Residential Impacts

### Rural Road After Typical Residential Development



#### Impacts:

- Suburban Setting
- Loss of Farmland
- Increased Traffic
- Impact to Highway Function
- Increase in Driveways
- Open Space Consumption

Source: Drawing with Changes in the Connecticut State Water  
"Reduction in quality of life occurs one step at a time"

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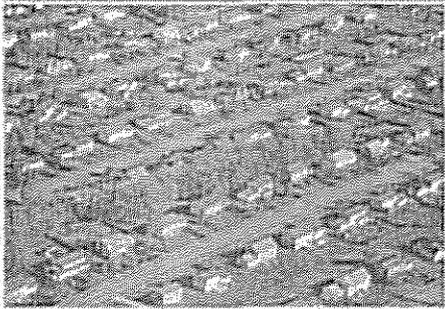
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## Residential Impacts



Source: Drawing with Changes in the Connecticut State Water

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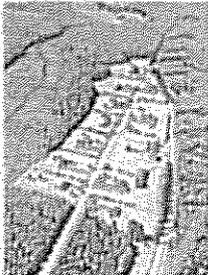
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## Residential Impacts

### Rural Road After Typical Residential Development



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- Impact to Highway Function
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- Open Space Consumption

Source: Drawing with Changes in the Connecticut State Water  
"Reduction in quality of life occurs one step at a time"

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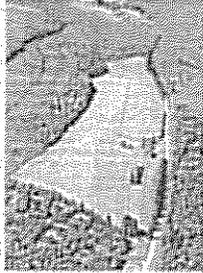
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## Open Space Planning

### Rural Road After Open Space Planning



#### Mitigating Factors:

- Maintain Rural Setting.
- Maintain Viable Farmland.
- Maintain Highway Function.
- Maintain Setbacks.
- Limited Access to Collector.
- Limit Turning Movements
- Limit Impacts to Services

Source: *Shaping with Change in the Connecticut River Valley*

"Reduction in quality of life occurs one step at a time"....

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## Residential Impacts



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## Residential Impacts



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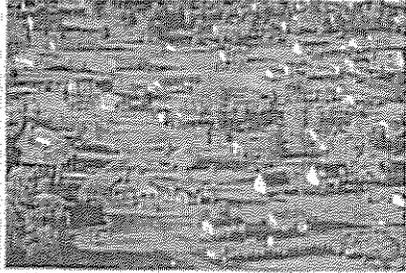
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Residential Impacts



Source: Jones and Stinson - 2006, California

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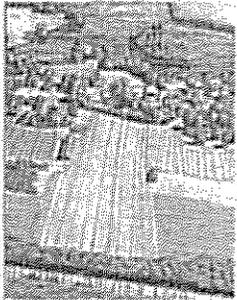
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Open Space Planning



Source: Jones and Stinson - 2006, California

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Residential Impacts



Source: Jones and Stinson - 2006, California

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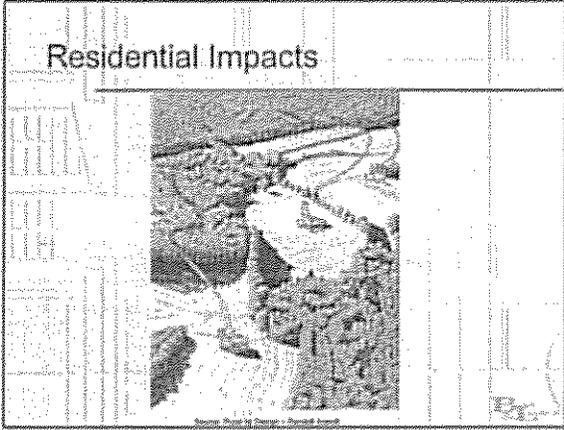
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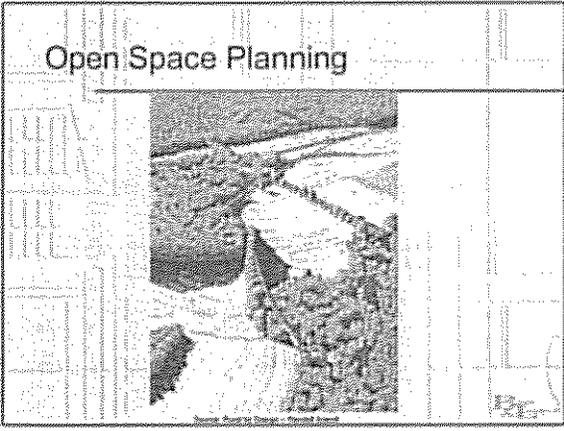
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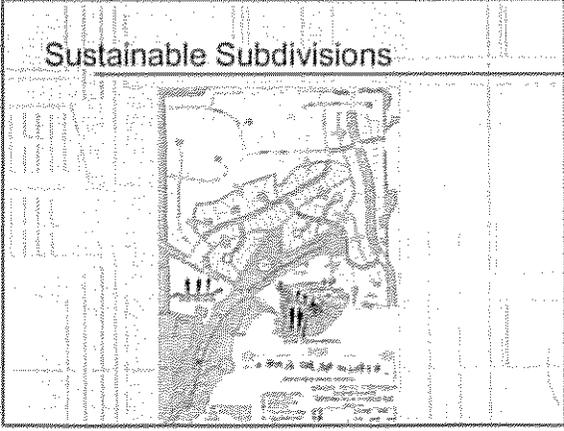
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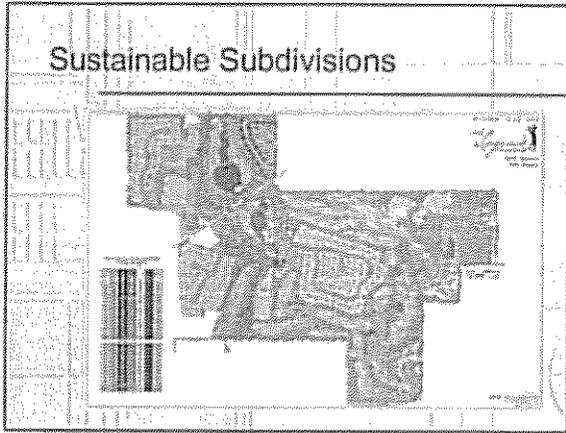
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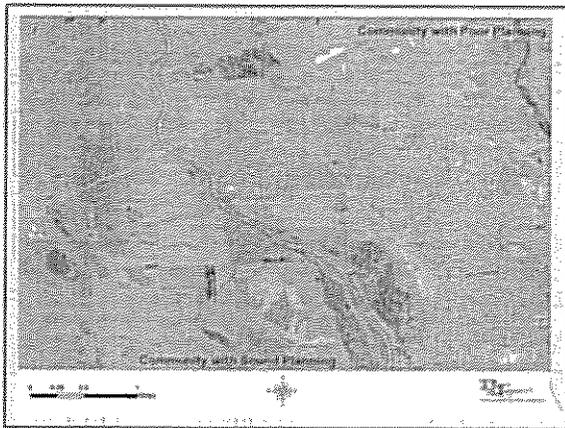
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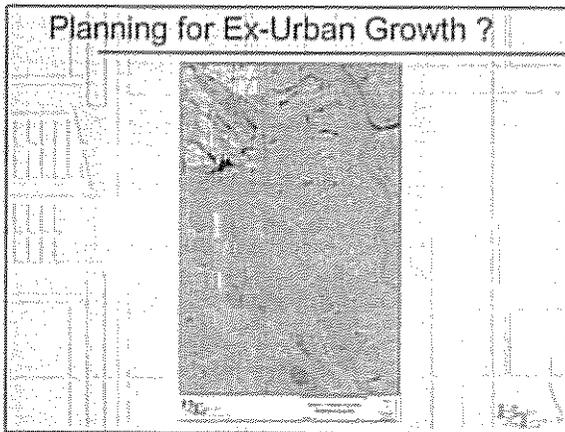
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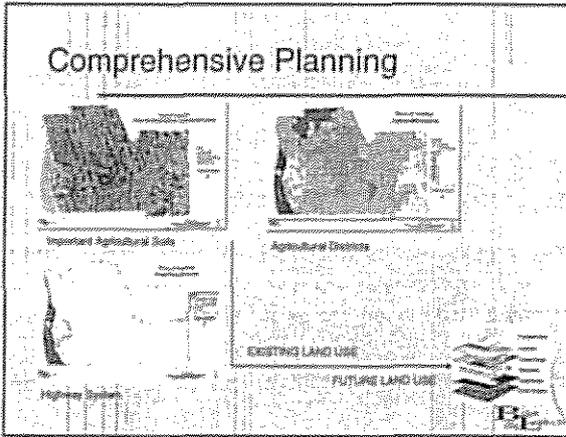
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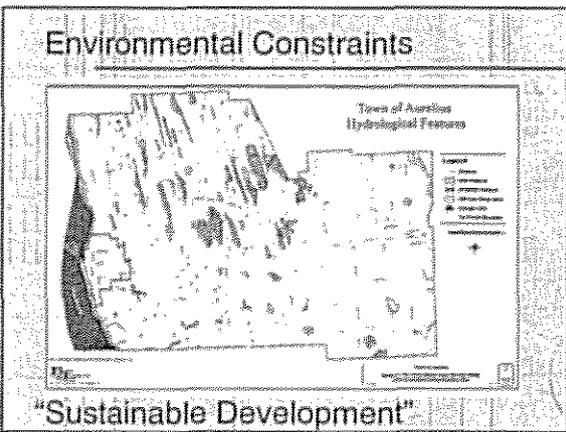
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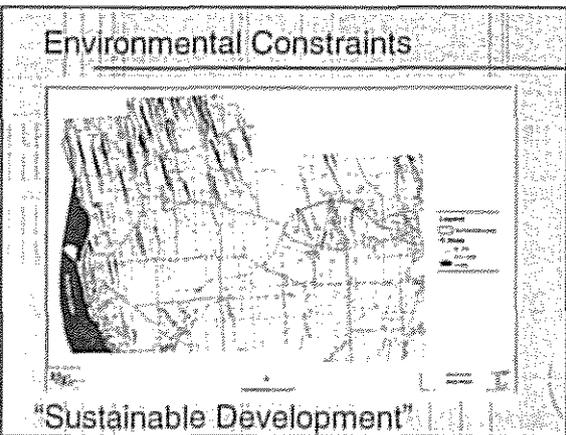
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### Residential Highway Overlay

- Highway overlays are an effective method of managing development along a corridor.
- Land affected by an overlay retains the requirements of the underlying zoning district.
- Highway overlays enable a community to tailor standards to the unique circumstances of a highway corridor.
- An overlay adds special requirements to land within existing zoning districts.



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### Clustering and Subdivision Review

- Cooperate with permitting agencies & developers.
- Use the SEQOR process to avoid sensitive areas
- Encourage the use of clustering.
- Implement Subdivision Review.
- Incorporated PDR or TDR
- Require primary access on secondary collectors



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### Make the Best of the Review Process

- Encourage Quality Design, Landscaping, Screening and signs.
- Address the Big Picture (i.e. not just this project but adjoining land).
- Adopt a Comprehensive Plan and Take Measures to Implement the Plan when reviewing Projects
- REMEMBER YOUR "VISION!"



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### Consider Affordable Housing

- Concentrate Density near Local Services
- Provide for Affordable Housing
- Apartments of Multi-unit Housing
- Senior Housing, Assisted Living
- Require new development that is driving the need for services to carry the ball

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### Consider PDR

- PDR is the Purchase of Development Rights
- Usually for Farmland Protection
- Development Rights are Extracted
- Farmer still Owns the Land
- May Exercise Remaining rights

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### Consider TDR

- TDR is the Transfer of Development Rights
- From Environmentally Sensitive Land or Farmland
- Development Rights are Extracted and Transferred for more suitable location
- Sending and Receiving Areas
- Farmer still Owns the Land -- Exercise Rights
- Developer can Increase Density

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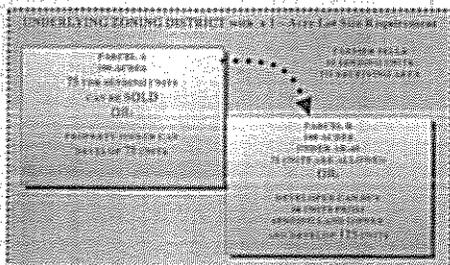
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## TDR Concept



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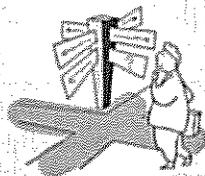
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Questions....?



We want your input....



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The experience to  
**listen.**

The power to  
**solve.**



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## *American Farmland Trust*

### Guiding Principles

The focus of AFT is the protection and stewardship of farmland – to protect it from conversion to urban uses and promote its stewardship consistent with a healthy environment.

AFT represents farmland as a non-renewable resource that provides multiple economic and environmental benefits to our society. Our foremost interest is the protection of this resource for farming purposes.

AFT recognizes that the future use of farmland depends on the current and future economic state of the agricultural industry and the individual landowner and/or operator. AFT's involvement in the economic aspects of agriculture is based on the long term sustainability of the resource itself.

AFT believes that private ownership of farmland is in the best interest of the land and therefore our society over the long term. We understand the difficult tradeoffs between current economic pressures and conservation goals and seek to find tools by which they can be resolved.

AFT generally supports incentive based programs; however, we recognize the need for a regulatory framework that distributes the cost of protection appropriately between the public and private sectors.

While AFT is sympathetic to the needs of small and mid-sized farmers, the plight of minority farmers and other social issues related to the agricultural industry, our interest is in the long term use and availability of the land.

#### AFT Is:

- a national non-profit farmland conservation organization
- an advocate for farmland: its protection, conservation and sustainable use
- flexible and open-minded in the selection of tools and techniques to advance our mission
- a moderate voice between farmers and other public interests
- an enterprising organization, deriving support for its work from its many members, foundations, federal, state and local contracts, and a number of corporations that share its values

AFT Is Not:

- an environmental organization
- a farm, agricultural industry, trade or commodity-specific organization

AFT Does:

- conduct public policy research and public education
- conduct land projects to demonstrate conservation real estate transactions and environmentally sensitive, economically viable farming practices
- provide information, technical assistance and training to state and local leaders seeking to conserve farmland in their own communities

AFT Does Not:

- engage in litigation
- operate projects in every state
- hold title to farmland for longer than necessary to accomplish our conservation goal

*American Farmland Trust* is the only private, nonprofit conservation organization dedicated to protecting the nation's strategic agricultural resources. Founded in 1980, AFT works to stop the loss of productive farmland and to promote farming practices that lead to a healthy environment. AFT has 75 staff members with a wide range of academic and professional backgrounds and about 43,000 members and donors nationwide.

## **WHY SAVE FARMLAND:**

The heart of AFT's work is saving American farmland. With 945 million acres in production, agriculture is the nation's dominant land use. We need high quality farmland to grow food and fiber and to support the world's most productive food and farming system. While agriculture is crucial to our balance of trade, it also supports local economic stability. Privately owned open lands generate more in tax revenues than they require back in municipal services. Pastoral landscapes attract tourists. Agriculture contributes to state economies directly through jobs, sales and support services, and by supplying lucrative secondary markets such as food processing. Saving farmland is an investment in community infrastructure.

Well-managed agricultural land protects soil and water quality and can sustain wildlife habitat. It maintains scenic and historic landscapes, preserves beautiful views and retains recreational opportunities such as hunting, fishing and horseback riding. Farming is integral to our heritage and identity as a people. American democracy is rooted in a connection to the land. Our ongoing relationship with the agrarian landscape connects us to our history and to the natural world. Our land is our legacy, both as we look back to the past and as we consider what we have of value to pass on to future generations.

## **AMERICAN FARMLAND IS THREATENED:**

America's best and most productive farmland is being needlessly destroyed. Every state is converting irreplaceable agricultural resources to sprawling development. Each day we lose 3,000 acres, about 1 million acres a year. This seriously threatens the future of American agriculture and the quality of life in our communities.

Suburban sprawl is consuming our best quality natural resources, especially near ever-expanding metropolitan areas where 79 percent of our fruits, 69 percent of our vegetables, and 52 percent of our milk are produced. The extent of the new development far exceeds population pressure. The destruction of our best farmland by haphazard development reduces agricultural efficiency, increases tensions between farmers and suburban neighbors, leads to higher property taxes and places greater pressure on less productive, more environmentally sensitive lands here and around the world.

## HOW AFT SAVES FARMLAND:

AFT works on several fronts to save our best farmland. Our activities include public education and technical assistance, policy research and development, and direct land protection projects. We provide a variety of products and services to individuals, communities, state and local governments, and public and private organizations that share our commitment to the land. Some of these include publications, customized information products, workshops and seminars on farmland protection, estate planning and farm transfer; policy research, development and evaluation; program design and implementation; and collaborative land protection projects and conservation real estate consulting.

For example, to help people understand how to protect farmland, we recently published *Saving American Farmland: What Works*, a 334-page guidebook on the state of farmland protection today, and a series of technical reports and fact sheets on specific farmland protection techniques. We have worked with state and local governments to create farmland protection programs from the ground up, analyzed the impact of alternative development scenarios and mapped strategic farmland loss. We developed a method to evaluate the cost of community services for farmland versus development, which has been used to analyze local budgets in 60 municipalities. We hold an annual Purchase of Development Right conference, and conduct estate planning and farm transfer workshops for farmers, land trusts and agricultural organizations. We also evaluate specific farmland protection programs to make policy recommendations, and conduct community and farmer surveys. (See list of AFT projects)

## FOR MORE INFORMATION:

Our National Office and Mid-Atlantic field office are located in Washington, D.C. Three of our national divisions are in Northampton, Massachusetts. AFT has additional field offices in California, Colorado, New York, Ohio, Texas and Wisconsin. Our policy research arm, the Center for Agriculture in the Environment, is located in Dekalb, Illinois, and we have a demonstration farm in Mercersburg, Pennsylvania. We have worked with land trusts and other organizations around the country to protect hundreds of thousands of acres of farm and ranch land.

To find out more about our professional services, or to order publications or merchandise, call (800) 370-4879. For technical assistance on farmland protection, call (413) 586-4593. For membership information or general information about AFT, contact our National Office at 1200 18<sup>TH</sup> St., NW, Suite 800, Washington D.C. 20036. Call us at 202-331-7300 or connect to our homepage at <http://www.farmland.org>.

**Help us save American farmland: Join AFT Today! Contributions are tax deductible.**

## AGRICULTURAL CONSERVATION EASEMENTS

*For additional information on agricultural conservation easements and farmland protection, the Farmland Information Center offers publications, an on-line library and technical assistance. To order AFT publications, call (800) 370-4879. The farmland information library is a searchable database of literature, abstracts, statutes, maps, legislative updates and other useful resources. It can be reached at <http://www.farmlandinfo.org>. For additional assistance on specific topics, call the technical assistance service at (413) 586-4593.*

rather than its "highest and best" use, which is generally for residential, commercial or industrial development.

The donation or sale of an agricultural conservation easement usually reduces the value of land for estate tax purposes. To the extent that the restricted value is lower than fair market value, the estate will be subject to a lower tax. In some cases, an easement can reduce the value of an estate below the level that is taxable, effectively eliminating any estate tax liability. However, as exemption levels increase, there may be less incentive from an estate tax perspective.

Recent changes to federal estate tax law, enacted as part of the Economic Growth and Tax Relief Reconciliation Act of 2001, expanded an estate tax incentive for landowners to grant conservation easements. The new law removes geographic limitations for donated conservation easements eligible for estate tax benefits under Section 2031(c) of the tax code.

Executors can elect to exclude 40 percent of the value of land subject to a donated qualified conservation easement from the taxable estate. This exclusion will be \$500,000 in 2002 and thereafter. The full benefit offered by the new law is available for easements that reduce the fair market value of a property by at least 30 percent. Smaller deductions are available for easements that reduce property value by less than 30 percent.

### HISTORY

Every state has a law pertaining to conservation easements. The National Conference of Commissioners on Uniform State Laws adopted the Uniform Conservation Easement Act in 1981. The Act served as a model for state legislation allowing qualified public agencies and private conservation organizations to accept, acquire and hold less-than-fee simple interests in land for the purposes of conservation and preservation. Since the Uniform Conservation Easement Act was approved, 21 states have adopted conservation easement enabling laws based on this model and 23 states have drafted and enacted their own enabling laws.

Accepting donated conservation easements is one of the major activities of land trusts. Land trusts exist in all 50 states. They monitor and

enforce the terms of easements. Some also purchase conservation easements.

### BENEFITS

- Conservation easements permanently protect important farmland while keeping the land in private ownership and on local tax rolls.
- Conservation easements are flexible, and can be tailored to meet the needs of individual farmers and ranchers and unique properties.
- Conservation easements can provide farmers with several tax benefits including income, estate and property tax reductions.
- By reducing nonfarm development land values, conservation easements help farmers and ranchers transfer their operations to the next generation.

### DRAWBACKS

- While conservation easements can prevent development of agricultural land, they do not ensure that the land will continue to be farmed.
- Agricultural conservation easements must be carefully drafted to ensure that the terms allow farmers and ranchers to adapt and expand their operations and farming practices to adjust to changing economic conditions.
- Donating an easement is not always a financially viable option for landowners.
- Monitoring and enforcing conservation easements requires a serious commitment on the part of the easement holder.
- Subsequent landowners are not always interested in upholding easement terms.
- Conservation easements do not offer protection from eminent domain. If land under easement is taken through eminent domain, both the landowner and the easement holder must be compensated.



# FACT SHEET

## AGRICULTURAL CONSERVATION EASEMENTS

### DESCRIPTION

A conservation easement is a deed restriction landowners voluntarily place on their property to protect resources such as productive agricultural land, ground and surface water, wildlife habitat, historic sites or scenic views. They are used by landowners ("grantors") to authorize a qualified conservation organization or public agency ("grantee") to monitor and enforce the restrictions set forth in the agreement. Conservation easements are flexible documents tailored to each property and the needs of individual landowners. They may cover an entire parcel or portions of a property. The landowner usually works with the prospective grantee to decide which activities should be limited to protect specific resources. Agricultural conservation easements are designed to keep land available for farming.

### RESTRICTIONS

In general, agricultural conservation easements limit subdivision, non-farm development and other uses that are inconsistent with commercial agriculture. Some easements allow lots to be reserved for family members. Typically, these lots must be small—one to two acres is common—and located on the least productive soils. Agricultural conservation easements often permit commercial development related to the farm operation and the construction of farm buildings. Most do not restrict farming practices, although some grantees ask landowners to implement soil and water conservation plans. Landowners who receive federal funds for farm easements must implement conservation plans developed by the USDA Natural Resources Conservation Service.

### TERM OF THE RESTRICTIONS

Most agricultural conservation easements are permanent. Term easements impose restrictions for a specified number of years. Regardless of the duration of the easement, the agreement is legally binding on future landowners for the agreed-upon time period. An agricultural conservation easement can be modified or terminated by a court of law if the land or the neighborhood changes and the conservation objectives of the easement become impossible to achieve. Easements may

also be terminated by eminent domain proceedings.

### RETAINED RIGHTS

After granting an agricultural conservation easement, landowners retain title to their property and can still restrict public access, farm, use the land as collateral for a loan or sell their property. Land subject to an easement remains on the local tax rolls. Landowners continue to be eligible for state and federal farm programs.

### VALUATION

Landowners can sell or donate an agricultural conservation easement to a qualified conservation organization or government body. In either case, it is important to determine the value of the easement to establish a price or to calculate tax benefits that may be available under federal and state law. The value of an agricultural conservation easement is generally the fair market value of the property minus its restricted value, as determined by a qualified appraiser. In general, more restrictive agreements and intense development pressure result in higher easement values.

### TAX BENEFITS

Grantors can receive several tax advantages. Donated agricultural conservation easements that meet Internal Revenue Code section 170 (h) criteria are treated as charitable gifts. Term easements do not qualify. Donors can deduct an amount equal to up to 30 percent of their adjusted gross income in the year of the gift. Corporations are limited to a 10-percent deduction. Easement donations in excess of the annual limit can be applied toward federal income taxes for the next five years, subject to the same stipulations. Most state income tax laws provide similar benefits.

Some state tax codes direct local tax assessors to consider the restrictions imposed by a conservation easement. This provision generally lowers property taxes on restricted parcels if the land is not already enrolled in a differential assessment program. Differential assessment programs direct local tax assessors to assess land at its value for agriculture or forestry.



TECHNICAL ASSISTANCE  
Herrick Mill, One Short Street  
Northampton, MA 01060  
Tel: (413) 586-4593  
Fax: (413) 586-9332  
Web: [www.farmlandinfo.org](http://www.farmlandinfo.org)

NATIONAL OFFICE  
1200 18th Street, NW, Suite 800  
Washington, DC 20036  
Tel: (202) 331-7300  
Fax: (202) 659-8339  
Web: [www.farmland.org](http://www.farmland.org)

November 2001

*The Farmland Information Center is a public/private partnership between American Farmland Trust and the USDA Natural Resources Conservation Service that provides technical information about farmland protection.*



# FACT SHEET

## TRANSFER OF

## DEVELOPMENT

## RIGHTS

### DESCRIPTION

Transfer of development rights programs allow landowners to transfer the right to develop one parcel of land to a different parcel of land. Generally, TDR programs are established by local zoning ordinances. In the context of farmland protection, TDR is used to shift development from agricultural areas to designated growth zones closer to municipal services. The parcel of land where the rights originate is called the "sending" parcel. When the rights are transferred from a sending parcel, the land is restricted with a permanent conservation easement. The parcel of land to which the rights are transferred is called the "receiving" parcel. Buying these rights generally allows the owner to build at a higher density than ordinarily permitted by the base zoning. TDR is known as transfer of development credits (TDC) in California and in some regions of New Jersey.

TDR programs are based on the concept that property owners have a bundle of different rights, including the right to use land, lease, sell and bequeath it, borrow money using it as security, construct buildings on it and mine it, subject to reasonable local land use regulations. Some or all of these rights can be transferred or sold to another person. When a landowner sells property, generally all the rights are transferred to the buyer. TDR programs enable landowners to separate and sell the right to develop land from their other property rights.

TDR is most suitable in places where large blocks of land remain in farm use. In communities with a fragmented agricultural land base, it is difficult to find a viable sending area. Jurisdictions also must be able to identify receiving areas that can accommodate the development to be transferred out of the farming area. The receiving areas must have the physical capacity to absorb new units, and residents of those areas must be willing to accept higher density development. Often, residents of potential receiving areas must be persuaded that the benefits of protecting farmland outweigh the costs of living in a more compact neighborhood.

TDR programs are distinct from purchase of agricultural conservation easement (PACE) programs because they involve the private market. Most TDR transactions are between private landowners and developers. Local governments generally do not have to raise taxes or borrow funds to implement TDR. A few jurisdictions have experimented with public purchase and "banking" of development rights. A TDR bank buys development rights with public funds and sells the rights to private landowners.

### HISTORY

TDR is used predominantly by counties, towns and townships. The 1981 National Agricultural Lands Study reported that 12 jurisdictions had enacted TDR programs to protect farmland and open space, but very few of these programs had been implemented. In the 1980s and 1990s, many local governments adopted TDR ordinances. A survey in the spring of 2000 identified 50 jurisdictions with TDR ordinances on the books. Three programs had been revoked. Despite the widespread adoption of TDR, only fifteen programs have protected more than 100 acres of farmland and only eight programs have protected more than 1,000 acres of farmland. Twenty-two programs, or 44 percent, have not protected *any* agricultural land. Since 1980, Montgomery County, Maryland, has protected 40,583 acres using TDR, or 60 percent of the national total (67,707 acres).

### FUNCTIONS & PURPOSES

TDR programs can be designed to accomplish multiple goals including farmland protection, conservation of environmentally sensitive areas and preservation of historic landmarks. In the context of farmland protection, TDR programs prevent non-agricultural development of farmland, reduce the market value of protected farms and provide farmland owners with liquid capital that can be used to enhance farm viability.

TDR programs also offer a potential solution to the political and legal problems that many communities face when they try to restrict devel-



TECHNICAL ASSISTANCE  
One Short Street, Suite 2  
Northampton, MA 01060  
Tel: (800) 370-4879  
Fax: (413) 586-9332  
Web: [www.farmlandinfo.org](http://www.farmlandinfo.org)

NATIONAL OFFICE  
1200 18th Street, NW, Suite 800  
Washington, DC 20036  
Tel: (202) 331-7300  
Fax: (202) 659-8339  
Web: [www.farmland.org](http://www.farmland.org)

January 2001

## TRANSFER OF DEVELOPMENT RIGHTS

*For additional information on transfer of development rights and other farmland protection programs, the Farmland Information Center offers publications, an online library and technical assistance.*

*The farmland information library is a searchable database of literature, abstracts, statutes, maps, legislative updates and other useful resources.*

*It can be reached at <http://www.farmlandinfo.org>.*

*For additional assistance on specific topics, call the technical assistance service at (800) 370-4879.*

opment of farmland. Landowners often oppose agricultural protection zoning (APZ) and other land use regulations because they can reduce equity. APZ can benefit farmers by preventing urbanization, but it may also reduce the fair market value of their land. When downzoning is combined with a TDR program, however, landowners can retain their equity by selling development rights.

### ISSUES TO ADDRESS

In developing a TDR program, planners must address a variety of technical issues. These issues include:

- Which agricultural areas should be protected?
- What type of transfers should be permitted?
- How should development rights be allocated?
- Where should development be transferred, and at what densities?
- Should the zoning in the sending area be changed to create more of an incentive for landowners to sell development rights?
- Should the zoning in the receiving area be changed to create more of an incentive for developers to buy development rights?
- Should the local government buy and sell development rights through a TDR bank?

One of the most difficult aspects of implementing TDR is developing the right mix of incentives. Farmers must have incentives to sell development rights instead of building lots. Developers must benefit from buying development rights instead of building houses according to the existing standards. Thus, local governments must predict the likely supply of and demand for development rights in the real estate market, which determines the price. TDR programs are sometimes created in conjunction with APZ: New construction is restricted in the agricultural zone, and farmers are compensated with the opportunity to sell development rights.

Because the issues are so complex, TDR programs are usually the result of a comprehensive

planning process. Comprehensive planning helps a community envision its future and generally involves extensive public participation. The process of developing a community vision may help build understanding of TDR and support for farmland protection.

### BENEFITS OF TDR

- TDR protects farmland permanently, while keeping it in private ownership.
- Participation in TDR programs is voluntary—landowners are never required to sell their development rights.
- TDR promotes orderly growth by concentrating development in areas with adequate public services.
- TDR programs allow landowners in agricultural protection zones to retain their equity without developing their land.
- TDR programs are market-driven—private parties pay to protect farmland, and more land is protected when development pressure is high.
- TDR programs can accomplish multiple goals, including farmland protection, protection of environmentally sensitive areas, the development of compact urban areas, the promotion of downtown commercial growth and the preservation of historic landmarks.

### DRAWBACKS OF TDR

- TDR programs are technically complicated and require a significant investment of time and staff resources to implement.
- TDR is an unfamiliar concept. A lengthy and extensive public education campaign is generally required to explain TDR to citizens.
- The pace of transactions depends on the private market for development rights. If the real estate market is depressed, few rights will be sold, and little land will be protected.

Source: American Farmland Trust, *Saving American Farmland: What Works* (Northampton, MA 1997)

## LOCAL GOVERNMENTS WITH TDR PROGRAMS FOR FARMLAND, 2000

State/County	Date Ordinance Enacted	Acres of Farmland Protected	Total Acres Protected	Notes
<b>California</b>				
Marin County	1981	670	670	Multi-purpose program
*San Mateo County	1986	40	40	Bonus rights awarded for development of agricultural water storage
San Luis Obispo County	1996	0	0	Multi-purpose program, appraisals used to allocate development rights
<b>Colorado</b>				
Boulder County	1995	-2,800	-3,200	Multi-purpose program, mandatory program, bonus development rights awarded for available agricultural water rights
<b>Connecticut</b>				
Windsor	1993	0	0	Multi-purpose program
<b>Florida</b>				
Hillsborough County	1985	0	0	Multi-purpose program
Palm Beach County	1992	0	6,573	Multi-purpose program, original program created in 1980, substantially revised in 1992
<b>Idaho</b>				
Fremont County	1991	0	200	Multi-purpose program
<b>Maine</b>				
Cape Elizabeth	1982	0	0	Multi-purpose program
<b>Maryland</b>				
Calvert County	1978	8,000	8,000	
Caroline County	1989	NA	NA	
Charles County	1992	1,183	1,183	
Harford County	1992	NA	NA	Sending and receiving areas must be within 500 feet of each other
Howard County	1992	1,438	NA	Multi-purpose program, county purchases and retires development rights
Montgomery County	1980	40,583	40,583	Mandatory program
Queen Anne's County	1987	2,000	2,417	Multi-purpose program, rights can be used to increase residential density or to increase square footage or impervious surface area in non-residential applications
*St. Mary's County	1990	0	6	Multi-purpose program
Talbot County	1989	500	580	Multi-purpose program
<b>Massachusetts</b>				
Groton	1980	50	292	Multi-purpose program
Hadley	2000	0	0	Rights can be used to increase commercial and industrial square footage and reduce parking requirements. An alternate mechanism allows developers to make cash payments into a farmland protection fund in lieu of buying development rights to receive the density bonuses
Sunderland	1974	NR	NR	
Townsend	1989	0	0	Multi-purpose program
<b>Minnesota</b>				
Blue Earth County	1977	-3,000	-3,000	
<b>Montana</b>				
Springhill Community, Gallatin County	1992	200	200	Mandatory program
<b>New Jersey</b>				
Chesterfield Township, Burlington County	1998	0	0	Multi-purpose program
Hillsborough Township, Somerset County	1975	0	0	Multi-purpose program
Lumberton Township, Burlington County	1996	563	563	Multi-purpose program
New Jersey Pinelands	1981	5,722	19,238	Multi-purpose program, mandatory program

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State/County	Date Ordinance Enacted	Acres of Farmland Protected	Total Acres Protected	Notes
<b>New York</b>				
Eden	1977	31	38	Multi-purpose program
*Perinton	1993	56	82	Multi-purpose program
Central Pine Barrens (Long Island)	1995	NA	307	Multi-purpose program, mandatory program, rights can be used to increase residential density, commercial square footage or permitted sewage flow
*Southampton	1972	0	232	Multi-purpose program
<b>Pennsylvania</b>				
Birmingham Township, Chester County	1978	0	0	Multi-purpose program
*Buckingham Township, Bucks County	1975	280	280	
Chanceford Township, York County	1979	0	0	
Codorus Township, York County	1990	40	40	PROGRAM REVOKED
East Hopewell Township, York County	1984	NA	NA	
*East Nantmeal Township, Chester County	1994	0	0	
Hopewell Township, York County	1988	NR	NR	
London Grove Township, Chester County	1995	0	0	Point system used in allocation of development rights
*Lower Chanceford Township, York County	1990	200	200	Transfers between adjacent parcels in common ownership only
Manheim Township, Lancaster County	1991	190	190	PROGRAM REVOKED
Shrewsbury Township, York County	1991	NA	-100	TDR bank under discussion
Springfield Township, York County	1996	0	0	Multi-purpose program
*Warrington Township, Bucks County	1985	0	0	Rights can be used to increase commercial/industrial building coverage and impervious surface area
Washington Township, Berks County	1994	0	0	
<b>Utah</b>				
*Tooele	1995	0	0	
<b>Vermont</b>				
Jericho	1992	0	0	Multi-purpose program, mandatory program point system used for the allocation of development rights
South Burlington	1992	50	250	Multi-purpose program, mandatory program
Williston	1990	NA	NA	Multi-purpose program
<b>Virginia</b>				
Blacksburg	1996	23	23	Multi-purpose program
<b>Washington</b>				
Island County	1984	88	88	PROGRAM REVOKED
Thurston County	1995	0	0	Mandatory program
<b>TOTALS</b>		<b>67,707</b>	<b>88,575</b>	

\* Information from 1997 survey

"NA" means that the program's contact person reported that the data either was not available or was not tracked.  
 "NR" means that the program's contact person did not reply to the 1997 or the 2000 survey.

The terms "voluntary" and "mandatory" can be confusing when used in reference to TDR. For the purposes of this fact sheet we categorize TDR programs as "mandatory" if land use regulations (e.g., APZ) are adopted at the time the program is created to reduce the amount of development that can occur in the sending area. Under "mandatory" programs landowners who want to realize their full equity based on the old regulations must sell their development rights. For example, Thurston County, Wash., imposed APZ on more than 12,000 acres decreasing maximum residential density from one unit per five acres to one unit per 20 acres. Landowners in the agricultural zones can develop their land under the new zoning rules, or if they choose to participate in the TDR program, can sell one development right per five acres. TDR programs in Montgomery County, Md., and the Pine Barrens of New Jersey, use the same approach. Boulder County, Colorado, made the criteria for non-urban planned unit developments (NUPUDs) stricter at the time the TDR program was enacted. Previously, any landowner with 35 acres qualified for a NUPUD. Now, landowners are required to own 320 acres to qualify. NUPUDs allow development at the same rates as the TDR program.

Surveys were sent to programs identified by staff and profiled in farmland protection and planning publications, including *Saved By Development* by Rick Pruett, AICP. The table is meant to be comprehensive. If you are aware of other TDR programs that protect farmland, please contact AFT's technical assistance service.

# FACT SHEET

NEW YORK STATE

ASSISTANCE

PAYMENTS FOR

PURCHASE OF

DEVELOPMENT

RIGHTS

## DESCRIPTION

New York State's Agricultural and Farmland Protection Program, Article 25-AAA, was enacted in 1992 as part of the Agricultural Protection Act. The program encourages counties and towns to work with farmers to promote local initiatives that help maintain the economic viability of agriculture and protect the industry's land base.

Under this program, funds are available to develop county agricultural and farmland protection plans and implement farmland protection projects. Since the enactment of the Agricultural Protection Act, more than 40 counties have received planning grants through the state's Environmental Protection Fund to develop agricultural and farmland protection plans. In 1996, the state amended Article 25-AAA to provide counties that have approved plans, or eligible municipalities, with implementation grants to purchase development rights (PDR) to farmland. Funds for PDR are currently allocated from the state's Environmental Protection Fund.

Purchase of development rights (PDR) is a voluntary farmland protection technique that pays farmland owners for permanently protecting the land for agriculture.

In general, landowners possess a variety of rights to their property, including the rights to use water resources, harvest timber or build on the property consistent with local regulations. Each of these rights could be separated from the rest of the bundle of rights and sold or leased. When one right is restricted or removed from the land, all other rights and obligations of property ownership remain.

When farmland owners sell their development rights, they retain all other rights of ownership and can continue to farm their land as they did before. The land remains private and on the tax rolls; its taxable value should be based on the remaining rights.

The purchase of development rights to a piece of farmland places a deed restriction – known as a conservation easement – on the property, permanently protecting the land for agriculture. Conservation easements may be held only by a public body (the state or municipality) or a not-for-profit conservation organization under contract to the municipality. The holder is obligated to uphold and enforce the terms of the easement or development rights agreement.

## VALUATION

The value of an easement is the fair market value of the property minus its restricted value, as determined by a qualified appraiser. For example, if the market value of a parcel of farmland is \$200,000 when developable but worth only \$100,000 if used only for agriculture, then the farmer is paid the difference of \$100,000 for selling the development rights.

## AGRICULTURAL CONSERVATION EASEMENTS

Because agriculture is evolving, it needs a flexible conservation easement that is tailored to its ever-changing conditions. Agricultural conservation easements have been developed to meet these needs. Generally, they have the following features:

- Limit future uses of the land that are inconsistent with or damage the agricultural value or productivity of the land
- Specifically drafted to permit and encourage the business of farming
- Permit the construction of new farm buildings and farm employee housing
- Complement the right to farm provision in the Ag Districts Law (cont.)

  
American Farmland Trust

NORTHEAST REGIONAL OFFICE

5 Franklin Square, Suite E

Saratoga Springs, NY 12866

Tel: (518) 581-0078

(518) 581-0079

Web: [www.farmland.org](http://www.farmland.org)

E-mail: [neaft@farmland.org](mailto:neaft@farmland.org)

- Public access is not permitted unless agreed to
- Landowner retains full ownership of the farm subject to the easement restrictions

## HISTORY

Suffolk County first pioneered PDR in the mid-1970s. Maryland, Massachusetts and Connecticut followed Suffolk County's lead by establishing programs within one to two years later. Since then 20 states have established state or local PDR programs.

## NEW YORK STATE

## ASSISTANCE

## PAYMENTS FOR

In New York, PDR was first funded in 1996 under the Pataki administration. Between 1996 and 2000, the state has awarded nearly \$40 million to counties and towns for PDR on over 90 farms in 14 counties. In each round, grant requests far exceeded the available funding. For example, in the 1999 round grant requests totaling nearly \$63 million competed for \$12 million in funding. Based on widespread interest in this program around the state, funding requests are expected to continue to increase.

## PURCHASE OF

## DEVELOPMENT

In the 1996 Farm Bill, Congress created a federal Farmland Protection Program to provide matching grants to state and local farmland protection programs. New York State and several local municipalities received funding for farmland protection projects. The federal program pays 50 percent of the costs required to permanently protect threatened farmland. The next Farm Bill is likely to include between \$50 and \$500 million per year for the program.

## RIGHTS

### WHO CAN APPLY FOR PDR GRANTS

- A county Agricultural and Farmland Protection Board (AFPB) that has an approved county agricultural and farmland protection plan.
- A municipality that has adopted a local farmland protection plan (a comprehensive open space plan that considers agricultural uses and needs; the project must be endorsed by the county AFPB).
- Local land trusts and other non-profit conservation organizations interested in protecting agricultural land are not eligible to apply directly for implementation funds, but can work cooperatively with county or municipal governments in support of a project for which funding is requested. These organizations may provide funds to meet local matching requirements or may participate in a project's development at the discretion of the municipality.

*For more information about the process, or to request a copy of the most recent RFP, contact:*

*NYS Agriculture & Markets  
Agricultural Protection Unit*

*1 Winners Circle*

*Albany, New York 12235*

*Tel: (518) 457-2713.*

### PDR APPLICATION PROCESS

Each year since 1996 the NYS Department of Agriculture & Markets has issued a request for proposals (RFP) to seek applications from eligible municipalities or county AFPBs for purchase of development rights projects on selected farms.

Generally, municipalities interested in responding to the RFP solicit applications from farm landowners within their jurisdiction to create a pool of eligible farms. Many municipalities offer periodic sign-ups and attempt to attract interested farm owners through local newspapers, bulletins and word-of-mouth. Informational meetings are held to discuss the program, answer questions and request letters of interest. The municipal review body (AFPB, local planning board, or local farmland/open space committee) reviews letters of intent and gathers information on eligible farms. Once this information is collected, the review body may rank potential applicants based on a land evaluation and site assessment procedure and then submit an application to the state. Applications for funding must include a cover sheet, project summary, plan of work, list of key personnel and a budget identifying the source of the cash match.

Agriculture & Markets staff members perform on-site reviews of each of the eligible parcels submitted under the RFP. Farms are then scored and ranked using state criteria. Priority is given to

Projects that preserve viable agricultural land, are in areas facing significant development pressure and serve as buffers for a significant natural public resource. Additional criteria are the number of acres preserved, soil quality, percentage of total farm acreage available for agricultural production, proximity to other conserved farms, level of farm management demonstrated by current landowner and the likelihood of the property's succession as a farm if ownership changes.

Once a project is selected, the Department of Agriculture & Markets drafts a contract defining all project terms, conditions and responsibilities. An appraisal(s) must be conducted by a New York State Certified General Real Estate Appraiser to determine the easement value of the parcel. The farm family then decides whether to accept the terms of the contract. If they do, the easement is drafted, signed and recorded and the funds are transferred. The timeframe for the purchase of development rights is 14 to 24 months, depending on the complexity of the project and experience of the municipality or land trust in easement acquisitions.

### FUNDING CRITERIA

State funds to a municipality cannot exceed 75% of the total project cost; municipalities are required to provide a cash match equal to at least 25%. An in-kind administrative credit of up to 80% of the cash match or \$25,000 (whichever is less) is allowed. A landowner may also help satisfy all or part of the required local match through a bargain sale or other reduction in the sale price of development rights for their property. Project expenses eligible for state assistance include transaction costs such as surveys, legal fees, baseline reports, title abstracts and insurance as well as stewardship endowments to cover future monitoring and enforcement obligations.

### EXAMPLES OF SUCCESSFUL PDR APPLICATIONS

- *Town of Macedon* – Excellent working partnerships and community support have led to four successful applications submitted by the town of Macedon in Wayne County. A multi-faceted partnership between the town, Genesee Land Trust and county has resulted in grant awards from both state and federal programs that total nearly \$1.5 million to protect over 2,000 acres of farmland. A survey of residents, which demonstrated community support for farms and rural character, was instrumental in the success of Macedon's farmland protection efforts.
- *Long Island* – Suffolk County and several towns on eastern Long Island have recognized that farmland protection efforts on the island require a level of conservation, tax, and land planning expertise that few local governments possess. Instead, these municipalities have hired the Peconic Land Trust to manage all aspects of their farmland protection programs – from project selection and design to negotiation to stewardship obligations after the deal is done.
- *Orange County* – When Warwick farmer Tunis Sweetman inquired about the state's new farmland protection program, he was advised that a local match was required and that such local funds were not available. Undaunted, Sweetman asked whether he could provide the "local" match by offering a bargain sale of his development rights. He would agree to accept the state match (75%) as full payment, in effect making a donation of the remaining value. After review, the Department of Agriculture & Markets decided to accept the bargain sale as fulfilling the local match requirement. As a result, a total of four farms in Orange County were awarded funding in the first round using the bargain sale as the local match.

- *Town of Ancram* – Following Tunis Sweetman's example, the Columbia County Land Conservancy asked the Department of Agriculture & Markets if an owner of contiguous farmland could supply the local match by donating a conservation easement on her property. They answered in the affirmative, and one Ancram landowner was financially able and willing to donate a conservation easement on her land in order to provide the local match requirement for the purchase of development rights on neighboring farms.

NEW YORK STATE  
ASSISTANCE  
PAYMENTS FOR  
PURCHASE OF  
DEVELOPMENT  
RIGHTS

*For more information about the process, or to request a copy of the most recent RFP, contact:*

*NYS Agriculture & Markets  
Agricultural Protection Unit  
1 Winners Circle  
Albany, New York 12235  
Tel: (518) 457-2713.*

**Steps in Selling an Easement in New York**

- ⇒ Farmer finds out about the PDR program
- ⇒ Farmer informs AFPB and municipality of interest
- ⇒ Municipality /AFPB submits an application to Agriculture & Markets
- ⇒ Agriculture & Markets scores and ranks farms using state criteria
- ⇒ Farms are selected and Agriculture & Markets sends contracts to municipalities
- ⇒ Municipality/ land trust completes land planning and easement discussions with landowner
- ⇒ Municipality /land trust authorizes appraiser, title company, etc. to begin work
- ⇒ Easement is finalized and sent to Agriculture & Markets for review
- ⇒ Landowner signs easement, which is then recorded after closing
- ⇒ Copy of easement, approval and other documents are provided to Agriculture & Markets
- ⇒ Agriculture & Markets determines that all documentation is in order and requests that the comptroller issue payment to the municipality
- ⇒ Municipality pays landowner at closing

**Timeframe** – The process of selling an easement takes anywhere from 14 to 24 months, depending on the complexity of the project and the experience of the municipality or land trust in easement acquisitions.



*American Farmland Trust works to stop the loss of productive farmland and to promote farming practices that lead to a healthy environment.*

# Aurelius Farmers

Anthony, Richard	1969 St Rt 326, Auburn	315-253-4851
Bacon, Joe	955 A/S Townline Rd Cayuga	315-252-4916
Bench, Ron	1981 St Rt 326 Auburn	315-246-7414
Burtless, Mike	W Genesee St Rd Auburn	315-252-7048
Chappell, Peter	6616 St Rt 90, Cayuga	315-730-0667
Cunningham, Gary	989 Chamberlain Rd, Auburn	315-252-8969
Delaney, Dave	1241 Clark St Rd, Auburn	315-252-6873
Doody, Don	5545 Large Rd, Auburn	315-252-5096
Ford, Cregg	6659 Basswood Rd, Auburn	315-252-6600
Hoskins, Stanley	1288 Clark St Rd, Auburn	315-252-8949
Jirinec, Dale	6765 Basswood Rd, Auburn	315-255-0386
Juli, Don	6658 Webster Rd Auburn	315-253-3845
Lockwood, Ray III	2017 St Rt 326 Auburn	315-255-2632
Lockwood, Raymond Jr	2084 St Rt 326, Auburn	315-252-4975
Martin, Gerald	Basswood Rd, Auburn	
O'Hara, Ted	1245 Townline Rd Auburn	315-252-6383
Ottosen, Dale	1538 Clark St Rd Auburn	315-253-7871 (w)
Patterson, Connie	1131 A/S Townline Rd Cayuga	315-253-5966
Pearce, John	6721 Beech Tree Rd Auburn	315-252-2959
Perry, Mark	6876 Basswood Rd, Auburn	315-253-0857
Pinckney, Dave	6780 Rt 90 , Cayuga	315-252-0145
Pinckney, Paul	2035 Pinckney Rd, Auburn	315-730-1110
Pollard, Ken	5173 Plaster Pt Cayuga	315-889-5053
Quill, Louis		315-252-1928
Tratt, Edward	1813 St Rt 326 Auburn	315-252-9074
Witty, George	460 Turnpike Rd, Cayuga	315-

*Deborah  
Duff  
Peggy  
Mick  
Peggy  
Liz*

03/07/2005 10:47 #620 P.02

315 255 9874

From: THE CITIZEN

**Aurelius is growing!**  
As new development comes to our town,  
we want **you** to be part of the plan.

**What?** A Visioning Session with the Town of Aurelius Comprehensive Plan Committee about your preferences with respect to the future of agriculture, open spaces and residential development in the community.

**Where?** Aurelius East Fire House on Hall Acre Road.

**When?** Tuesday, March 8, 2005, at 7:00pm.

**Come** Be part of our future and help us to maintain the quality of life that we want for our community!

**Town of Aurelius Route 5/20 Clark Street Rd. Study**  
**Agriculture, Residential and Open Space Planning Visioning Session No. 3**  
**Public Statements for Consideration**  
**March 8, 2005 - Town of Aurelius Fire Department**  
**7:00 P.M. to 9:00 P.M.**

**1.0 Summary of Visioning Session:**

On March 8, 2005, the Town of Aurelius Ad-Hoc Committee (Ad-Hoc Committee) held a Visioning Session. The purpose of this session was to solicit public participation and gain public input with respect to the future of agriculture, open space and residential development in the community.

Brian Madigan (Senior Land use Planner for B&L) began by stating that Dan Conable and Judy Wright are in attendance to discuss agriculture and open space issues in the Town. Brian proceeded with a slide presentation addressing current trends in residential development and the impact of residential encroachment into agricultural areas. The presentation also illustrated planning approaches for residential development that can maintain farmland and open space.

The presentation was followed by an introduction of panel guests

- Dan Conable, NYS Department of Agriculture and Markets
- Judy Wright, American Farmland Trust

Following the introduction Brian opened the discussion by asking the group if their Vision for the Town includes agriculture and if they see agriculture and open space as an important component to the future Vision of the Town. An interactive discussion began between local residents, ad-hoc committee members and panel guests.

The summary of issues raised by the public is as follows:

- The Town is ripe for residential development and it will come, the question is when.
- We must do something to limit lot sizes so we do not eat up the farmland.

- Due to the residential potential of the land, farmers are forced to pay higher prices to buy additional farmland.
- The availability of land for purchase by farmers is becoming increasingly important for odor control and nutrient management. If residential demand drives the price up, we cannot buy additional land for that purpose.
- (Judy) Traffic impacts farming as well. It is harder to get around if traffic continues to increase.
- My question is for the man from Ag. and Markets. Are you in contact with other State agencies? We have a BOCES proposed on 44 acres of prime agricultural land. Because it is IDA property, they plan to build it on farmland when there could be other more appropriate places to build it. Is there anything that Ag. and Markets can do?
- (Dan) Is it in an Agricultural District
- No, it is outside of the agricultural district.
- (Dan) I can check on it but if it is not in an Ag. District our input may be limited. But I would like to follow up with you on that.
- You mentioned PDR and TDR but how do we protect those rights? We want to keep farming, but our land is the only asset we have. I am reluctant to give up those rights.
- (Brian) The PDR is voluntary and is purely up to the farmer. If he is interested in keeping the farm going for future generations then he can benefit financially now and continue to farm. You must have a farmer who is willing to leave a legacy for farming and not everyone is willing to do that.
- (Dan) What you have to keep in mind is your Vision. As Brian pointed out, you have to decide what areas make sense to develop and what areas you want to protect. That is why the planning process is important. It is up to you. This is a home rule state so you have to decide if farming is important to the community. Important enough to keep it going. If you decide it is not then you can decide to live on the other side of the river (referring to a slide).
- How does this work? Are we going to be able to vote on this?
- (Dan) Brian?
- (Brian) There is nothing like a referendum that is required. Adoption of the plan is spelled out for us (i.e. in Town law). What will happen is that we will draft the

document and complete a Generic Environmental Impact Statement. Once the committee gains consensus they will send it to the Town Board with their recommendation and there will be a public hearing.

- (Stephanie Church - Town Board Member) However, this is why we are doing this. We do not want to wait until the public hearing to hear what you have to say. This is our community and we are looking for your input.
- (Brian) The Town of Skaneateles just held a public hearing on their Comprehensive Plan about two weeks ago and a couple of ideas were raised that they may include. We do not have all of the answers and you know your community best.
- (Judy) The other thing to remember is that this plan is not dictated. It can change.
- (Stephanie Church - Town Board Member) One of the reasons we are here is that our Comprehensive Plan was completed in 1972 and amended in the early 1990's. It is out of date and we want to update the plan.
- (Brian) In fact, the community I showed you in the slide presentation? They are constantly updating and adjusting. Trends change and you have to adapt. For example, a Byrne Dairy store 15 years ago was a small store. Now they come with 16 gas pumps. Trends change. There were no wetland regulations in 1972 when the original plan was drafted.
- (Brian) Well, let's ask the question. How many people feel that Agriculture is an important part of the community? (hands). How many people feel it should be important for the future vision of the community? (hands). How many are concerned about impacts to their development rights? (hands).
- How many building permits were issued in the Town last year? Were there enough to make a difference?
- (Brian) We have addressed it in our inventory but I am not sure off the top of my head, maybe a dozen; Debbie?
- (Debbie Pinckney) The Code Enforcement Officer is in the back of the room.
- There were 10 last year.
- (Judy) I recently applied for Farmland Protection in Union Springs. They also had 10 building permits. The Board and the State thought it was enough to threaten the surrounding farmland. It does not take a great number of subdivisions to bring a farm down.

- I have been browsing the WEB and I have been looking at the Agricultural Enhancement Program in the western part of the State.
- (Dan) I don't know all of the details but what occurred is that the farmers (in Genesee County) got together and decided that planning should be linked to access to public water. If you want to develop the land, you have to meet certain criteria or you don't get water. If you don't get water your development will not be approved. The review process is geared around protecting Ag. You have to make the case if you want to build in the agricultural zoning district.
- (Judy) You should look at the Ag. and Markets guide for planning for agriculture.
- You mention clustering a lot but clustering is not a panacea.
- (Brian) This is true but if a 30 unit subdivision comes in, it would be better to located it near the village and include some open space rather than locate it in the middle of your farmland, with full buildout of the parcel(s).
- This group should be focusing on Goals and Objectives. The county will tell you that that does not matter legally but I can tell you that they are wrong. Goals are very important and they can be considered legal.
- (Dan) In my experience, no court has thrown out an ordinance or regulation if it is based on the planning process and included in the plan. But, you have to go through this process. You have to make sound decisions to support you plan and you local zoning.
- Our goal should be to preserve the rural character of the Town.
- (Dan) That is what this process is about. Like Brian said, which side of the river do you want to live on?
- Another goal may be to enhance or maintain a sustainable quality of life.
- I understand there is a new tax that can fund agricultural protection.
- (Dan and Judy) What you are discussing is a bill in Albany that authorizes local governments to enact a 2% transfer fee (not a tax). This is not something Albany is going to do, it is a home rule policy. The Town can set this fee on land sales and place it into a dedicated fund to purchase and protect important farmland. It gives the Town the authority through a public referendum to fund open space and agricultural protection.
- Is there any other way?

- (Dan) You could do a bond act but it is not popular to borrow money to do this. Pittsford did this but they have a lot more capital and they have a lot more demand because their farmland was in danger of disappearing.
- (Dan) One thing that Ag. and Markets would like to see is a zoning ordinance that calls agriculture a preferred use in the agricultural zoning district. This means agricultural uses are allowed as of right and all other uses require a special permit with additional requirements.
- I just wanted to let you know that the area north and west of the Mall is less viable for agriculture than the land further west. If development is going to occur, that is where it should be located.
- You state in your presentation that Residential returns less for every dollar contributed for services. You stated that it is \$1.24 but I heard it is much higher. More like \$1.43. The effect of all of this is that the taxes fall back on the farmer.
- (Brian) This was one of two studies done by Cornell a few years back. Based upon the type of homes that are being built and the number you may be right. The number is probably much higher for a home with 2.5 kids and 3.5 cars. Houses now are 3500-5000 square feet when they were about 1800-2400 square feet 10 or 15 years ago.
- (Judy) Yes, the numbers may vary from year to year but the big issue is that residential development uses more in services than it pays in and this creates a problem for taxpayers due to diminishing returns.
- (Judy) Dollar for Dollar, residential costs much more than agriculture in local services.
- (Judy) One thing you have to remember. When people move from the suburbs to the country, they bring the suburbs with them.
- (Judy) Agriculture doesn't demand the services because it requires a greater amount of land area and the density is much lower.
- What those numbers tell me is that agriculture and commercial is overcharged and residential is undercharged.
- I think that if you have a mix and locate it in the appropriate place, that is the best approach.
- One thing I would like to say is that agriculture is not valued like commercial. People are quick to give tax breaks to a factory or a manufacturer but they don't give farmers that type of incentive.

- The people who give out these tax breaks always react to a new mall or a new company but if a farm asked for it they would not even think of it.
- What I would like to know is, why can't farms get the same benefit as factories?
- (Judy) I have information for you to take with you. I will leave it here. Some of it explains TDR / PDR and there is some information about American farmland Trust.
- My question is, where do we go from here?
- (Brian) We have one more session on Natural and Cultural Resources and then we will finish the corridor study. As I explained, we are now stepping into the Comprehensive Plan while we are drafting the Corridor Study. We hope to have a final draft of the Corridor Study in June or July and hold our Comprehensive Plan Session in August or September but the Committee will be reviewing the recommendations between now and then. Once we hold the Comprehensive Plan Session we will update the Town Comprehensive Plan.
- (Brian) Do we have one more question? If not thank you for coming
- When is the next meeting
- (Brian) April 12. It is the second Tuesday of the month.

## **2.0 Summary of Agricultural, Residential and Open Space Issues**

Based upon the review of background information and the input received by local residents at this session a summary discussion of the Agricultural and Residential Planning issues facing the town are as follows:

Farming and residential development tend to compete for the same space. From the perspective of a developer, farmland provides an ideal location for development lots. Prime farmland soils are most suitable for residential development because they are well drained, have adequate soil bearing capacity and they are associated with rolling topography that provides the visual amenities homeowners prefer (i.e. views, streams, rolling woodlands and open space). As with any property, the agricultural land can sustain a higher yield in residential density with the availability adequate water and sewer infrastructure.

Homebuyers also perceive the presence of agriculture as an important component of rural living and quality of life that people generally prefer. Farming represents heritage value to people, even though they do not actively participate in an agricultural way of life. Farms and farm buildings also represent a strong community spirit and history. Americans in general tend to view local farms as a symbol of stability, freedom and strong ties to the landscape.

The unfortunate consequence of suburban development upon farmland is the resulting loss of viable farms. As land is subdivided, residential development slowly erodes the viability of farmland acreage and operations. Some of the ways in which this occurs includes:

- Loss of overall tillable acreage and prime farmland soils.
- Loss of large single parcels with adequate acreage or the proper physical characteristics (i.e. topography) to make agriculture economically viable.
- Fragmentation of acreage that creates remnant parcels and reduces efficiency for establishing maintaining field crops.
- Loss of agricultural infrastructure (i.e. drainage tiles, farming support, feed stores, equipment sale and repair, etc.).
- Disruption of access to farm operations (farm infrastructure) due to the increase in public roads, traffic and neighborhood development.

Agriculture is an area intensive land use. It requires substantial acreage to be profitable and the easier it is to till acreage, the more efficient the farming operation can be. Although there are numerous factors that determine the viability of an agricultural operation, soils and topography are very important. Obviously, level topography and gentle sloping land tend to have deeper, more productive soils. As slope increases, it becomes more difficult for a sufficient run parallel to the contours so that land can be tilled perpendicular to slope. This standard farming practice is important for efficiency and erosion control.

Residential development is also land intensive and the potential for large lot residential subdivisions west of the Mall is possible in the near future. Current proposals for new commercial development may become an important issue in that the overall

environmental impacts to local infrastructure may arise unnoticed. While many believe that population losses from the Central New York Region are not likely to bring residential growth any time soon, population patterns and changes to the traditional structure of the family are driving growth in suburban development. In fact, some communities throughout the U.S are growing at a rate of 4 to 15 times the rate of local population growth. Many of these areas are actually experiencing population losses within the Metropolitan Statistical Area (Source: New York Planning Federation).

Several other conflicts arise when residential development encroaches upon active farms. These conflicts include:

- Use of agricultural fertilizers and pesticides.
- Noise associated with farm implementation and irrigation.
- Dust or odors associated with fertilizer and livestock.
- Farm equipment access from public roads.

While all of these conditions exist in rural areas, new local roads and neighborhoods, over time, will interrupt agricultural operations. This can affect the farmer's efficiency over time, resulting in a net loss of the economic viability of a farming operation. This is particularly hard on small farms or operations where fields are not concentrated on single or adjacent parcels of land.

Based upon a cursory review of similar rural communities, the following general trends require consideration by the Town of Aurelius over the planning horizon:

- Large Lot Subdivisions tend to follow in the wake of and in proximity to commercial growth areas.
- Americans are finding that real estate is a safer investment that will bring a greater return in the end, as a response to the decline in the stock market since 2000.
- Home mortgage interest rates are at record lows making larger homes on larger lots more affordable.

- The local population is moving from cities and older suburbs into new homes in newer suburbs. These newer suburbs tend to sprawl into important agricultural areas.
- Residential developers are able to absorb the costs associated with infrastructure extensions because they are now able to obtain a higher sales price and distribute those costs over a greater number of units.

As discussed during the Transportation and Infrastructure Session, long-term maintenance of poorly planned infrastructure extensions becomes a burden on State and Local funding sources. For example, the extension of water and sewer infrastructure to service a new development may not appear to impact viable farmland. However, if that extension brings water and sewer availability adjacent to active farmland the owner of that acreage may be faced with an offer for his property that he cannot refuse. By making this infrastructure available to a developer without proper planning the potential for a major subdivision proposal becomes more likely. Without a method for requiring the developer to pay for costly infrastructure improvements, the Town may be forced to accommodate the developer at taxpayer expense. This is the primary reason for requiring new development that is driving the demand for services to bear the costs of making improvements to those services.

In another example, suppose a 100 unit residential development is proposed on land that was formerly farmed. This land is part of the agricultural fabric of the community and is surrounded by active farmland. The remaining farmland would be impacted by the increase in traffic generated by the proposed project in several ways.

1. The remaining farmer now has to negotiate increased traffic volume to access his fields.
2. The development may alter drainage patterns that were beneficial to the farmer.
3. The farmer must now become concerned with complaints from landowners who may feel that farming is a distraction to the neighborhood.

4. The farmer has to contend with changes in patterns of maintenance that may influence the efficiency of farming his fields, applying fertilizers or irrigation of crops.

These are just a few examples of how development can affect farm operations. If the community looks at the overall land area and the fabric of development areas versus agricultural lands, many of these impacts can be mitigated. This may be accomplished by establishing a comprehensive approach to preserving the remaining large tracts of farmland in large blocks to maintain agricultural efficiency and productivity.

It is quite possible that the Town of Aurelius is at the threshold of change. If the anticipated growth in the area continues in an unchecked fashion the Town may face a classic example of the forces that are eliminating prime farmlands near former agricultural centers throughout the country. This is not to say that it is too late to address the issue or that the anticipated growth will be swift or widespread. However, there is the opportunity to address these issues before they become a burden to the community.

Aurelius is similar to many rural communities in that the Town is characterized by the presence of agriculture in close proximity to a small urban area. Recent local trends reveal that Cayuga County is losing a major share of the farm-based economy. As a result, the preservation of agriculture in the community is likely to become an important issue over the next 20 to 30 years and the importance of linking program goals and objectives to the preservation of agricultural resources is key to the successful implementation of the plan.

The preservation of active farmland should become one of the primary objectives of the Towns Comprehensive Plan update and it is important that this be achieved through preliminary actions to be recommended through the Route 5/20 Clark Street Road Corridor Study. In the eyes of the public, the cumulative impact of poor planning on farming is not readily apparent. Thus, the required update to the Towns Comprehensive Plan provides an excellent opportunity for public education. The process of updating

the plan will also reveal conditions that affect the viability of farming that are not readily understood by the public or developers and the benefits of farming to the public realm.

A secondary result of the discussion during the March 8 Visioning Session is that, scenic vistas and rural quality of life are important to residents of the Town and agriculture is perceived as an integral component community character (i.e. Rural Character). Scenic vistas are closely tied to agriculture and the drumlin topography of the Fingerlakes Region. For the development community, these views may also become an attraction to future residents who seek valuable home sites.

Finally, one further issue with respect to residential development is facing the Town. Waterfront property and second homes are becoming a hot market trend. This will likely present a challenge to the Town and will be further discussed in the natural resources portion of the planning process. A few trends and issues that are relevant to Cayuga Lake are as follows:

- Second homes and vacation homes in the Fingerlakes is becoming a short-term trend.
- Waterfront property is the focus of vacation home development.
- Many of the Fingerlakes are experiencing the construction of large summer homes in undeveloped areas of the lakeshore.
- New lakefront homes tend to be highly visible and occupy a greater area than traditional lakefront homes.
- Many communities are seeing the demolition of lakefront cottages, camps and summer homes for the construction of larger waterfront homes.
- Many seasonal homes are being converted to year round use.

All of these trends will likely have an impact on the viewshed and natural resources of Cayuga Lake and its tributaries. It is important that these trends be incorporated into planning recommendations to be considered by the Town

### **3.0 Draft Recommendations:**

Based upon this session we have compiled several recommendations for consideration by the Ad-Hoc Committee in draft form. These recommendations should be considered among committee members as we move forward in the planning process.

### **3.1 Recommended Planning Goals:**

#### **3.1.1 Agricultural Goal:**

- Maintain and enhance natural resource based agricultural industries and encourage the conservation of productive agricultural lands for future generations.

#### **3.1.2 Open Space Goal:**

- Preserve the Rural Character of the Town of Aurelius and the Village of Cayuga in order to maintain or enhance a sustainable Quality of Life for current and future residents.

#### **3.1.3 Residential Development Goal:**

- Achieve a mix of residential housing opportunities that reflect the rural character of the Town and Village and concentrate those opportunities within close proximity to existing or planned water and sewer infrastructure.

### **3.2 Recommended Planning Objectives:**

- Discourage land use and development activities that are incompatible with agriculture in the farmland portions of the Town.

- Implement land use policy to target infrastructure improvements to future potential growth areas and away from agricultural areas with large parcels or land areas that actively maintain productive agricultural operations.
- Clearly establish agriculture as the preferred land use in the farmland portions of the Town, particularly those areas that contain prime farmland soils and are located within Agricultural Taxing and Zoning districts.
- Plan for future improvements local water service in a manner that mitigates impacts to the continuation of field agriculture in the Town.
- Encourage future residential development to locate within close proximity to current and future water and sewer infrastructure (i.e. near the City Line and Near the Village of Cayuga).
- Develop a water supply plan in concert with land use planning to implement infrastructure extensions on a schedule matching the potential rate of development.
- Encourage residential growth to occur within and around the proposed Commercial Center in the Town.
- Discourage future residential development to locate along Route 20 and along West Genesee Street Road west of Half Acre Road.
- Minimize access by suburban growth to arterials and primary collector highways and encourage access that is in keeping with the functional hierarchy of the highway system.
- Discourage residential strip development along collector roads by encouraging new development to occur in a manner that preserves highway function.

### **3.3 Short Term Strategies:**

The following strategies are recommended to be implemented by the Town in conjunction with the process of completing the Routes 5 & 20 Corridor Study and Comprehensive Plan. These strategies are short term in regards to their implementation timeline, however should be considered and established as long-term investments to ensure sound planning practice for generations to come.

### **3.3.1 Agricultural Zoning Districts:**

In Agricultural zone districts, agricultural uses should be permitted "by right", indicating that these are the preferred uses which are conducive to preserving the intent of the district. All other land use should require a special use permit and should demonstrate the availability of water and sewer infrastructure or the appropriate amount of land for on-site water and wastewater disposal.

### **3.1.2 Subdivision Regulations**

Subdivision review regulations should be established as indicated in the current Zoning Law. While subdivision regulations are cited by reference, it is apparent that they were not officially adopted or recorded according to the Town Law of New York State. These regulations should provide guidance to landowners, developers and site designers, informing them of general principles basic to good design. In establishing subdivision regulations for the Town, a subdivision should be defined by the "sub-dividing" of a single lot from its original lot.

Recommended guidance tools to be included in the Subdivision regulations include:

- Adopt a 3:1 or a 4:1 lot configuration standard that will mitigate the future impact of flag lots and inefficient lot sizes. (for example: a 3:1 lot with 150.0' of road frontage should be no more than 450.0' in depth and a 4:1 lot with 200.0' of road frontage should be no more than 800.0' deep).
- Require that major subdivisions be located in a manner that maintains the functional hierarchy of the Town's highway system.

- Discourage building in the center of active farmland or open space areas;
- Reduce visual prominence by building into woodland edges;
- Avoid large setbacks from the road if lot is served by a local road, is small in size and is located near the proposed Town Center or Village center;
- Encourage large setbacks and limited access points to residences along major roads (high speed collectors or arterials).
- Avoid building on north-facing slopes or on ridgelines;
- Ensure an appropriate lot size for on site wastewater disposal and locate septic systems to the south to create a clearing allowing more winter sunshine into the homes;
- Open up views through selective tree removal, as opposed to clear-cutting lots.
- Develop in a manner that maximizes the protection of tillable acres throughout the Town.
- Consider performance standards and design requirements to be incorporated in subdivision regulations.

Other subdivision review criteria should be included to address issues such as avoidance of critical wildlife habitat areas, preservation of significant site features, and providing for road connections and trail linkages between current and future subdivisions.

### **3.3.3 Provisions for Clustering**

To further guide residential development, and ultimately protect agricultural land while promoting open space planning, clustering provisions should be adopted. Clustering

provision should incorporate design standards that address the issues of farmland protection, rural landscape preservation, and open space planning. Clustering provisions should be developed to establish a 3:1 ratio of development area to open space protection areas (excluding, steep slopes, wetlands and environmentally sensitive areas). This will allow the concentration of residential development at a higher density in the areas that are most suitable for residential development and will maximize the amount of open space available for the continuation of agriculture.

### **3.3.4 Provisions for Planned Unit Development (PUD)**

PUD's should encourage design flexibility within future residential areas that will be built in proximity to existing residential neighborhoods. They should promote a diversity of types and location of dwelling units, and allow a more efficient use of land for circulation, open space, utilities. PUD's should also be intended to minimize adverse environmental impacts by harmonious utilization of the existing physical identity a particular area.

This approach provides for recreational facilities within the development, enhances the ability of designers, builders or developers to coordinate architectural design and building placement, and upgrades the overall quality of new residential construction.

Since the PUD concept is to allow for more flexibility in design while retaining control through review procedures, some design standards that could be incorporated into a PUD ordinance should be less structured than those found in standard residential zone districts or subdivision regulations, yet formal enough to ensure the desired outcome. These standards should also offer incentives to developers to invest in PUD's. Design standards for PUD's should address the following components into the ordinance:

- Density
- Lot size variations,
- Open Space,
- Environmental Design Requirements,
- Traffic Circulation,
- Private Streets,
- Parking Standards, and

- Perimeter Treatment
- Homeowners Association,

In addition, general standards that follow the principal advantage of a PUD, which is establishing flexible design, should be followed in determining basic building and site standards. These generally include:

- Building Spacing requirements,
- Front Yard requirements,
- Lot width, and
- Building heights.

### **3.3.5 Shoreline Lot Development / Redevelopment**

Regulations should be established for the development of open space and the redevelopment of old camps and cottages along the lake shore, to ensure quality, compatible development, and to protect water quality and surrounding environmental systems. Current trends in other areas of the Fingerlakes Region suggest that second home/vacation homebuyers will purchase old cottages for demolition and reconstruction. In many instances, the homes that are reconstructed are larger create a greater amount of impervious surface. These homes require larger on-site waster systems on lots that may not be large enough to contain non-point sources of pollution. This trend affects the traditional character of the area as well as local water quality and the view shed of the Lake. Although the vast majority of existing housing along Cayuga Lake are not classified as historic, many exhibit a regional quality that is in keeping with the traditional development patterns surrounding the Village of Cayuga. Therefore, it is recommended that the character of the traditional development along the lake be maintained to the greatest extent possible.

The Town and Village should consider a requirement that the redevelopment of any lot or structure within 500' of the Cayuga Lake shoreline and associated tributaries not exceed 15% of the original building footprint, unless public sewer service is available. In addition, all construction involving the addition of bedrooms or bathrooms should require proper inspection of existing on-site wastewater treatment systems by Cayuga County

Department of Health to ensure that adequate improvements are made to the existing septic system, if necessary.

### **3.3.6 Overlay Districts for Primary Transportation Corridors**

The Town should incorporate zoning regulations that work toward minimizing adverse affects from future residential development adjacent to any of the Towns primary transportation corridors. This is similar to the suggested approach for the Route 5/20 Clark Street Road Corridor. Therefore, in addition to the overlay recommended for Route 5/20 Clark Street Road it is recommended that highway overlay districts be adopted to address residential development and traffic impacts along for the following corridors:

- West Genesee Street,
- Turnpike Road,
- Scenic Route 90

The intent of the Residential Overlay is to provide a set of minimum standards for residential development along the Towns major transportation routes that will preserve the transportation function of these roads. This will help to mitigate the potential for costly future road improvements due to unforeseen major subdivisions or residential strip development affecting highway function.

### **4.0 Summary Conclusion**

The overall benefit to the Town will be the result of quality subdivision designs that incorporate open space and greenway trails from one neighborhood to the next, and ultimately to the Village and core commercial areas. This will help to achieve Town Goals and Objectives relating to protection of active farmland and open space (i.e. rural character) while simultaneously preserving highway function throughout the Towns highway system.

Town of Aurelius Comprehensive Plan

Agenda

Tuesday April 12, 2005 7:00 p.m.

Town of Aurelius Fire Department

Natural and Cultural Resources Planning

The purpose of this session is to solicit public participation and gain public input with respect to community concerns regarding the Natural Resources and Recreational needs of the community.

I. Introduction

A. Introductory Presentation

- a. Brief Review of Previous Meetings
- b. Trends in Natural Resource Protection
- c. Trends in Cultural and Recreational Resource Planning

B. Introduction of Panel Guests

Kristy LaManche - Central New York Regional Planning Board

Darby Kiley - Cayuga Lake Watershed Inter-Municipal Organization

Jeffery Robins - New York State Department of Environmental Conservation

II. Interactive Panel Discussion and Public Visioning (open forum)

III. Closing

(Please read the reverse side)



**Town of Aurelius  
Ad Hoc Committee Working Session  
April 26, 2005**

Present: Mark, Steph, Don Mary, Jerry, Paul, Matt, Brian, Deborah

Excused: Jim, Dick, Ted

Mark opened the meeting at 7:10 pm.

1) Discussion of April session. Least attended of all the sessions.

Don – People who had not been at previous sessions were stuck on water and infrastructure.

Steph – People thought we should concern ourselves with water and not recreational trails.

Matt – People are looking at 5 & 20, Yawger brook.

Mark – Remember Christy's comment about the whole comprehensive plan.

Brian – As an environmental planner that's her forte.

Mark – Is that something that we should include in survey?

2) Survey. There are some environmental issues linked more to water on Cayuga Lake.

Brian – Interprets Christy's comments as how to get out public information. The bottom line not a lot of natural resource problems came up.

Mark – Talked about the DEC website and health hazards in the Adirondack lakes – high mercury which we don't want here.

Brian – Failing septic systems/ conversion of systems. Milfoil identification was mention in 1973 Plan.

Steph – Maybe we need to reword as to: Very Important / Somewhat Important?

Final format handed out.

Steph – Suggested we go with checkbox instead of grid. This format is quite a small font. Can we cluster the demographic questions – add 'Do you have sewer and water?'

Brian – Said good responses are had when you circle. Check box is the consensus. Sometime the instructions and a separate sheet are confusing, that's why I put 'Please Check'.

Chad – Is there anything we have overlooked? Dislikes?

Font will be 12 point. #46 – put that at top – Brian says there will be a cover sheet.

Brian – Again, trying to avoid the overpowering instruction sheet. Any talk of water questions? Do you buy drinking water? Does your well dry up?

Steph – Valid question that will alert us, so we can be ready.

Next Visioning should be in September, as July and August will have poor turn out. Finalize corridor Study. Survey pushed back.

Mark asked John about cultural resources questions.

Next meeting May 10<sup>th</sup> here at 7:00pm

**Town of Aurelius  
Ad Hoc  
May 10, 2005**

Mark Harris opened the meeting at 7:10 pm.

Discussion about verbiage for the proposed questionnaire/survey. Some suggestions were: See attached.

Don – Felt needed “own or rent” at end of survey.

Steph – Maybe move demographics to one category, before section 7.

Mary and Mark – Put in age group question.

Steph – Do you plan to still live in the Town 5 years from now?

Brian Madigan thanked the Committee for their suggestions, will make corrections and work with Debbie to mail the survey.

To: Residents and Property Owners in the Town of Aurelius & Village of Cayuga  
Re: Community Survey

The Town of Aurelius is in the process of updating the Town Comprehensive Plan and has convened an Ad Hoc Planning Committee to assist in this process. The finished product will be the foundation of town policies regarding development for the next 5-20 years.

Public opinion is a key element in the development of the plan. Over the past few months, the Ad Hoc Planning Committee has hosted a series of public visioning sessions to solicit public input on a variety of topics. We now are conducting a town-wide survey in our effort to hear from as many people as possible.

**Your opinion is important** and we urge you to please complete the attached survey. It should take no more than 15 minutes of your time to complete.

**Survey Instructions:** Mark your answers by placing a checkmark or an X in the appropriate box. Most questions require only one answer. In a few cases, instructions in italics indicate more than one answer is allowed.

At the end of the survey, we have included space for you to provide comments. We value your ideas and opinions and encourage you to use this section to share them with us. It will be particularly helpful if you can suggest possible solutions for any problems you see. You may include additional sheets if necessary.

**Returning the Survey:** Please mail the completed survey by **June 10** to Debbie Pinckney, Town Clerk, Town of Aurelius, Ad-Hoc Planning Committee, 1241 West Genesee Street Road, Auburn, NY 13021.

**Additional surveys:** If other members of your household wish to complete a survey you may request additional copies from the Town Clerk or pick them up at the Town Hall. You may also print additional copies at [www.co.cayuga.ny.us/aurelius](http://www.co.cayuga.ny.us/aurelius).

If you have questions about the survey, please call Debbie Pinckney, Town Clerk, at (315) 255-1894 or e-mail her at [aurelius@cayuga.net](mailto:aurelius@cayuga.net).

**Thank you!**

Sincerely,

The Ad Hoc Planning Committee:

Ted Herrling, co-chair	John Greer	Debbie Pinckney
Jim Taber, co-chair	Mark Harris	Paul Pinckney
Christy Bass	Chad Hayden	Jerry Scouten
Stephanie Church	Don Huber	Richard Stark
Mary Gratton	John Lawler	Bernard Watkins

**Please remember to mail your completed survey by June 10, 2005!**

**SECTION 1 - QUALITY OF LIFE ISSUES**

1. Which of the following best describes the part of the town that you live in?

- |   |   |
|---|---|
| <input type="checkbox"/> Along Routes 5&20/Clark Street Road                              | <input type="checkbox"/> North of Routes 5&20/Clark Street Road |
| <input type="checkbox"/> East of Half Acre Road   | <input type="checkbox"/> Between 5&20 and Genesee Street Road   |
| <input type="checkbox"/> In the Village of Cayuga   | <input type="checkbox"/> South of Genesee Street Road           |
| <input type="checkbox"/> Along the Shoreline of Cayuga Lake<br>(Route 90/River Road Area) | <input type="checkbox"/> Other _____                            |

2. Please rate the following items in their importance to you:

*Very Important*      *Important*      *Not Important*

- |   |                          |                          |                          |
|---|--------------------------|--------------------------|--------------------------|
| a. Agricultural appearance of the area                          | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Farming and agriculture as a business                        | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Connection to the heritage of the town                       | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d. Existing mix of building styles (appearance of buildings)    | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e. Employment opportunities                                     | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| f. Living close to my job                                       | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| g. Community services (e.g., fire, police, highway maintenance) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| h. Reasonable cost of living                                    | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| i. The rural character of the town                              | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| j. Opportunity for outdoor sports and recreation                | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| k. Close to family and friends                                  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| l. Quality of housing   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| m. Quality of school district                                   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| n. Living on, or near, Cayuga Lake                              | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| o. Recreation opportunity of Cayuga Lake                        | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| p. Living near the City of Auburn                               | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| q. A clean and healthy environment (clean water and clean air)  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| r. Leaving our descendents a community similar to the present   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

3. Please rate Aurelius in the following areas:

*Excellent*      *Good*      *Poor*

- |   |                          |                          |                          |
|---|--------------------------|--------------------------|--------------------------|
| a. Agriculture and farming                                      | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Style of existing buildings (architecture)                   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Employment opportunities                                     | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d. Community services (e.g., fire, police, highway maintenance) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e. Cost of living   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| f. The rural character of the town                              | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| g. Opportunity for outdoor sports and recreation                | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| h. Close to family and friends                                  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| i. Quality of housing   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| j. Quality of school district                                   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| k. Living on, or near, Cayuga Lake                              | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| l. Recreation opportunity of Cayuga Lake                        | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| m. A clean and healthy environment (clean water and clean air)  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| n. Availability of shopping and restaurants                     | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| o. Traffic volume   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

4. Should the Town encourage the continuation of farming in the town?

- Encourage       Discourage       No Change       No Opinion

5. Is it important to maintain the rural character of the town?

- Yes       No       No Opinion

6. Should the Town encourage or limit the conversion of farm land to residential use?

- Encourage       Limit       No Opinion

7. Should the Town encourage or limit the conversion of farm land to retail or industrial use?

- Encourage       Limit       No Opinion

## SECTION 2 - HOUSING AND RESIDENTIAL DEVELOPMENT

8. Is it important for the town/village to have affordable housing?

- Very Important     Important     Not Important     No Opinion

9. How important is future residential development in the town?

- Very Important     Important     Not Important     No Opinion

10. Where should residential development take place in the Town? *(check all that apply)*

- Near Auburn  
 Near the Village of Cayuga  
 North of Routes 5&20/Clark Street Road  
 South of Routes 5&20/Clark Street Road  
 Anywhere in the Town  
 Other specific area *(please specify)* \_\_\_\_\_

11. Should the Town encourage or minimize further single family residential development?

- Encourage     Minimize     No Change     No Opinion

12. Should the Town encourage or minimize apartments or rental unit development?

- Encourage     Minimize     No Change     No Opinion

13. Should the Town concentrate residential development in areas that are already developed?

- Yes     No     No Opinion

14. Should there be more housing opportunity for Senior Citizens?

- Yes     No     No Opinion

15. Should there be more housing opportunity for first time home buyers?

- Yes     No     No Opinion

16. Should the Town encourage or minimize housing opportunities for seniors and first time home buyers?

- Encourage     Minimize     No Change     No Opinion

17. What type of new housing do you feel is best for the town? *(check all that apply)*

- Single Family Homes  
 Duplex  
 Apartments  
 Senior Housing  
 Mixed Housing (all of the above in the same area)  
 No Opinion

18. Would you support concentrating future housing near Auburn and/or near the Village of Cayuga as opposed to distributing houses throughout the Town?

- Yes     No     No Opinion

19. Is it important for the Town to establish architectural design standards for new housing?

- Very Important     Important     Not Important     No Opinion

**SECTION 3 - COMMERCIAL / INDUSTRIAL DEVELOPMENT**

20. Do you feel additional commercial development is good for the future of the town?

- Yes                       No                       No Opinion

21. Do you support retail development like Bass Pro Shop, restaurants and retail chain stores?

- Yes                       No                       No Opinion

22. Where do you prefer **commercial** development to be located in the town? *(check all that apply)*

- Close to Fingerlakes Mall  
 Close to the Village of Cayuga  
 Route 90  
 Route 326  
 Other areas of the town *(please specify)* \_\_\_\_\_

23. Where do you prefer **industrial** development to be located in the town? *(check all that apply)*

- Close to Fingerlakes Mall  
 Close to the Village of Cayuga  
 Route 90  
 Route 326  
 Other areas of the town *(please specify)* \_\_\_\_\_

24. Is it important for the Town to prevent Routes 5&20/Clark Street Road from becoming as congested as Grant Avenue in Auburn and Sennett?

- Yes                       No                       No Opinion

25. Are sidewalks, bike paths, and pedestrian connections important to commercial areas?

- Very Important       Important               Not Important       No Opinion

26. Should the Town minimize or encourage more **retail** development in the town?

- Encourage               Minimize               No Opinion

27. Should the Town minimize or encourage more **industrial** development in the town?

- Encourage               Minimize               No Opinion

28. Would you like our commercial area to contain a mix of uses (retail, commercial, and residential) in close proximity?

- Yes                       No                       No Opinion

29. Should the Town promote development in a concentrated growth center near existing commercial development as opposed to encouraging growth evenly throughout the town?

- Yes                       No                       No Opinion

30. Should the Town set architectural standards for commercial buildings?

- Yes                       No                       No Opinion

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**SECTION 4 - PUBLIC WATER AND SEWER**

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31. Should water and sewer to be extended into new areas of town?

- Yes                       No                       No Opinion

32. If you do not have water and sewer service now, what is the maximum amount that you are willing pay for the costs of extending water and sewer?

- \$1,500/yr     \$1,000/yr     \$500/yr     \$0/yr     Have water & sewer already

33. Is it important for new residential subdivisions to be required to connect to public water?

- Very Important     Important     Not Important     No Opinion

34. Is it important for new residential subdivisions to be required to connect to public sewers?

- Very Important     Important     Not Important     No Opinion

35. Is it important for new commercial and industrial development to be required to connect to public water and sewers?

- Very Important     Important     Not Important     No Opinion

36. Do you believe that sewers are important to protect Cayuga Lake from being polluted by failing or flooding septic systems?

- Yes                       No                       No Opinion

37. What type of development should be a priority for public water and sewer? *(check all that apply)*

- Commercial and Industrial  
 Residential  
 Waterfront homes  
 Agricultural  
 Community facilities (schools etc.)  
 None  
 No Opinion

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**SECTION 5 - TRANSPORTATION AND TRAFFIC**

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38. Are you concerned with increasing traffic on Routes 5&20/Clark Street Road?

- Very Concerned     Concerned     Not Concerned     No Opinion

39. Are you concerned with increasing traffic or speeding on other roads?

- Very Concerned     Concerned     Not Concerned     No Opinion

40. Where is the most troubled area of the town with respect to traffic? \_\_\_\_\_

41. How important is it to you to limit the number of vehicles stopping, turning, entering or exiting the major routes in the town (i.e. Routes 5&20, West Genesee Street Road, Route 90, Route 326)?

- Very Important     Important     Not Important     No Opinion

42. How important is it to link the town's commercial centers and residential areas with designated areas for walking and bicycling?

- Very Important     Important     Not Important     No Opinion

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**SECTION 6 - OPEN SPACE AND RECREATION**

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43. Do you feel that open spaces and outdoor recreational activities are important to the vitality of the town?  
 Very Important     Important     Not Important     No Opinion
44. How important is it for the residents of the town to have access to Cayuga Lake for recreation (fishing, boating, swimming)?  
 Very Important     Important     Not Important     No Opinion
45. Do you feel that there is a need for outdoor athletic fields in the town?  
 Yes     No     No Opinion
46. How important is it to provide safe areas for walking and bicycling throughout the town?  
 Very Important     Important     Not Important     No Opinion
47. How important is to you to protect the water quality of Cayuga Lake?  
 Very Important     Important     Not Important     No Opinion
48. Is it important for town/village take an active role in protecting the water quality of Cayuga Lake?  
 Yes     No     No Opinion

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**SECTION 7 - BACKGROUND INFORMATION**

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49. What is your age group?  
 18-25     26-35     36-45     46-55     56-65     Over 65
50. How long have you lived in the town?  
 Less than 10 years     10-20 years     More than 20 years
51. Do you plan on living in the town in 5 years?  
 Yes     No
52. Do you rent or own your home?  
 Rent     Own
53. Are you on a septic system or public sewer?  
 Public Sewer     Septic     Holding Tank
54. Where does your water supply come from?  
 Public Water     Well     Cistern     Cayuga Lake/Seneca River
- If you answered "well" to question 54, please answer the next 3 questions. Otherwise, skip to Section 8.
55. Do you drink the water from your well?  
 No     Yes
56. Do you have a problem with water **quality** from your well?  
 No     Yes (*please specify*) \_\_\_\_\_
57. Do you have a problem with water **quantity** from your well?  
 No     Yes (*please specify*) \_\_\_\_\_



Town of Aurelius Comprehensive Plan  
Agenda  
July 12, 2005 7:00 p.m.  
Town of Aurelius Municipal Building

**Ad Hoc-Committee Meeting**

- I. Distribution of Survey Results (5 min.)
- II. General Discussion of Survey Results (60 min)
- III. Relationship of the Survey to the Comprehensive Plan (30 min)
- IV. Finalization of the Corridor Study (5min.)
- V. Closing

**Town of Aurelius  
Ad Hoc Committee  
July 7, 2005**

Present: Brain Madigan, Don Huber, Mark Harris, Dick Stark, Stephanie Church, Jim Taber, Bernard Watkins, Matt Schooley, Paul Pinckney, Emilee Garropy.

Excused: Mary, Jerry Ted.

Meeting opened at 7:10 pm.

Brian – Good sample from response. It's a good sample as I tabulated by batch and the batch answer's matched.

Group went thru question by question – see report.

# 12-16 Talked about the interest in affordable senior housing but limit apartments.

# 19 Interesting 50-50 most people don't want their housing designed guidelines.

Matt and Jim Taber – Thinking trailer parks. I read into it wrong. Thinking to control substandard housing not how to build the home.

# 22-23 Really large response.

#24-25 & 30 Large % response.

#31 Probably worried about water quality and water sources.

Mark – Looking to correlate Village respondents.

#32 If 16% responded from Cayuga than 54 of the 98 have it.

#33-34 Large % response.

#36 Townwide consensus.

#37 Community, schools, BOCES

#38 Need stratification. Who answered? Look at #24.

#41 I was thinking visual of tractor and lots of cars.

Steph – I was thinking of Rt 690 on and off ramps.

#43 Open space protection.

#44 Fishing, boating – need more boat launches.

Bernard – I think people don't know where to go.

#45 50% Maybe collaboration with BOCES.

#46 Respondents were above 46.

#47-48 Everyone wants to protect Cayuga Lake.

#51 Important response.

#52 Couldn't get it to renters.

#56 A little surprising.

#58 Kind of funny when you look at questions #2 and #3.

Brian – What does it mean? When we go to the finalization of Comprehensive Plan this survey solidifies the comments from the Visioning Sessions.

Don – What could we do better?

Brian – Maybe less number of questions, although the sample was consistent. Maybe not have written comments.

Bernard – Survey shows we're on target. The survey supports the visioning sessions.

Brian – The Corridor Study can now move forward with the results of the survey. A lot of the recommendations for Rt 20 can be applied to Rt 90. 25% is a great response. Don't expect Ad Hoc to come up with details. It's important to formulate and agree with goals.

Chad – Question #30 (my take) looking for architectural review board, our strategy will be to present a plan and goals that follow the Ad Hoc and Survey respondents vision.

Dick Stark – What about BOCES?

Steph and Mark – Can you identify the range of answers by cross tabulation?

Steph – Other than that survey is great. I was expecting cross tabbing and it's probably not worth doing now.

Mark – I do this every day.

Don – A year and a half ago you were not really into the survey. Now that it is said and done, what do you think?

Brian – In my experience once you go thru visioning sessions the input isn't much different from survey respondents.

Steph – Natural Resources Visioning was poorly attended by question #47. Shouldn't be a surprise.

Matt – How do we incorporate this overwhelming support of protecting the quality of Cayuga Lake?

Steph – Now that it's done was it worth it?

Brian – Definitely.

**Town of Aurelius  
Ad Hoc Committee  
December 13, 2005**

Present: Ted Herrling, Mary Gratton, Dick Stark, Chad Hayden, Jim Taber, Mark Harris, John Henry, Stephanie Church, Tim

Staff: Debbie Pinckney

Meeting opened at 7:10 pm.

Brian – B & L submitted a draft of the comprehensive plan. It is necessary to decide and approve the goals, objectives and short term actions. The data is in Qualities Communities format as recommended it is just a rough draft, it is your job to edit, enhance or reject the content of the draft.

Stephanie – I feel the alternatives may be too early in the process but we do need them to button up the concept.

Ted Herrling recommends #1 and suggests we strength why others were rejected

Discussion:

Should we include demographics or put it in inventory, some of the information is redundant. Conclusion: separate it out and give it its' own section

Do we really need that much information with regards to history? Maybe we should concentrate on more recent history instead of what happened 300 years ago, the data is interesting but really has nothing to do with what is happening right now.

If possible have equal amounts of historic information about the Village of Cayuga and the Town.

Matt and Jim Taber – Thinking trailer parks. I read into it wrong. Thinking to control substandard housing not how to build the home.

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